

TRC AGENDA



**CITY OF DELAND
THURSDAY JULY 20, 2023 AT 1:30 P.M.
CITY OF DELAND TRC MEETING ROOM
DELAND, FLORIDA**

A. CALL TO ORDER

B. ROLL CALL

C. OLD BUSINESS

1. **Review of June 15, 2023 TRC Meeting Minutes**
2. **Applicant Name:** Robert Blackberry – BC DeLand LLC **Belinda**
Project Name: SP22-215 – Class II Site Plan for Tire Service Center
Project Location: 1.16 acres located at 144 Fenway Dr
Project Description: 6,765 square foot service center
3. **Applicant Name:** Mark Watts – Cobb Cole **Belinda**
Project Name: PSB23-057 – Preliminary Plat for Spring Garden Townhomes
Project Location: 14.72 acres located on the west side of S Spring Garden south of Plymouth Ave
Project Description: 90 Townhomes
4. **Applicant Name:** Angie Corbitt – Evans Engineering **Kendall**
Project Name: SP23-068 – Class IV Site Plan for Hillpointe DeLand
Project Location: 6.40 acres located at the NE corner of Spring Garden Ave and Plymouth Ave
Project Description: 204 Apartments
5. **Applicant Name:** Strickland Smith – Heidt Design **Melissa**
Project Name: PSB23-086 – Preliminary Plat for Cresswind Phase 2 and 3
Project Location: 77.77 acres located at 2751 E New York Ave
Project Description: 223 Single Family Lots
6. **Applicant Name:** Corey Sitler – Zev-Cohen **Melissa**
Project Name: SP23-097 – Class II Site Plan for Coggin Hyundai
Project Location: 13.50 acres located at 2308 S Woodland Blvd
Project Description: Building addition and parking area changes
7. **Applicant Name:** Harry Newkirk – Newkirk Engineering **Sam**
Project Name: SP23-098 – Class II Site Plan for Gator's Dockside
Project Location: .824 acres located at 1526 S Woodland Blvd
Project Description: 6848 sf restaurant

D. NEW BUSINESS

1. **Applicant Name:** Michael Wojtuniak – Engineered Permits **Kendall**
Project Name: Z23-034 – PD Rezoning for DeLand Toyota
Project Location 10.43 acres located at 1701 S Woodland Blvd
Project Description: Amend and restate current PD
2. **Applicant Name:** Leigh Paul – Brixmor Property Group **Sam**
Project Name: SP23-112 – Class II Site Plan for Chipotle
Project Location .803 acres located at 101 E International Speedway Blvd
Project Description: 2332 sf restaurant
3. **Applicant Name:** Richard Brown – Johnston’s Surveying Inc **Belinda**
Project Name: FSB23-117 – Final Plat for Lakewood Park Phase 3
Project Location 79.74 acres located on the east of MLK Blvd and the E Beresford Extension
Project Description: 123 single family lots
4. **Applicant Name:** Mark Watts – Cobb Cole **Kendall**
Project Name: Z23-123 – PD Rezoning for Manchester Communities
Project Location 38.5 acres located at 801 Sol Y Sombra
Project Description: 1st amendment to Manchester PD PH 2A and 2B

E. OTHER BUSINESS

F. ADJOURNMENT

OLD BUSINESS

1



**CITY OF DELAND
TECHNICAL REVIEW COMMITTEE MEETING
MEETING MINUTES
THURSDAY, JUNE 15, 2023 -1:30 P.M.
CITY HALL**

OPENING OF MEETING:

Call to Order:

1:30 pm

Members Present:

Carol Kuhn, Chairperson
Belinda Williams Collins
Melissa Winsett
Debi Glick
Sam Nelson
Mariellen Calabro
Kit Dennis
Jamie Lunsford
Jerry Hindman
Ray Bahrami
Chad Gamble
Scott Zender
Donald James

OLD BUSINESS:

1. Approval of the minutes of the TRC Meeting Minutes from May 18, 2023

*Mariellen Calabro moved to approve the minutes with the correction of the meeting date,
Ray Bahrami seconded the motion.*

The TRC Committee voted unanimously in favor of motion.

1. **Applicant Name:** Josh Kinsley – LUV Car Wash Southeast LLC Kendall
Project Name: SP23-044 – Class II Site Plan LUV Car Wash
Project Location 0.68 acres located at 104 E International Spdwy Blvd
Project Description: Changes to site layout

Applicants Present:

Bob Ziegenfuss – ZDS

Sarah Culotta – ZDS

Jason Bridgewater – Caddscapes

Applicant will address all comments as discussed and resubmit plans.

Mariellen Calabro moved to conditionally approve the application, at the June 15, 2023 TRC meeting,

Chad Gamble seconded the motion.

The TRC Committee voted unanimously in favor of motion.

NEW BUSINESS:

1. **Applicant Name:** Timothy Olmstead – Superior Drafting and Engineering Belinda
Project Name: CP23-084 – Concept Plan for Medical Office Bldg
Project Location 1.41 acres located at 843 N Woodland Blvd
Project Description: 6457 sf medical office with parking garage

Applicants Present:

Tim Olmstead – Superior Drafting and Engineering

Sera Pomdeto – Sonhile and Fost Sport Medicine

Mike Walker - Contractor

The applicant will address the comments as discussed at the meeting in a Class II Site Plan submittal.

No Action Required

2. **Applicant Name:** Strickland Smith – Heidt Design Melissa
Project Name: SP23-090 – Class II Site Plan for Cresswind DeLand
Project Location 0.61 acres located at 2751 E New York Ave
Project Description: Phase 2 Operations Center

Applicants Present:

Brad Walker – Kolter Homes

Nika Hossieni – Cobb Cole

Mark Watts – Cobb Cole

The applicant will address comments as discussed at the meeting and resubmit plans.

Chad Gamble moved to conditionally approve the application, at the June 15, 2023 TRC meeting.

Ray Bahrami seconded the motion.

The TRC Committee voted unanimously in favor of motion.

3. **Applicant Name:** Corey Sitler – Zev-Cohen Melissa
Project Name: SP23-097 – Class II Site Plan for Coggin Hyundai
Project Location 13.50 acres located at 2308 S Woodland Blvd
Project Description: Building addition and parking area changes

Applicants Present:

Cory Sitler – Kimley-Horn

Applicant will address all comments as discussed and resubmit plans by June 28, 2028 in order to be placed on the July 20, 2023 TRC meeting agenda.

Mariellen moved to continue the application to the July 20, 2023 TRC, at the June 15, 2023 TRC meeting,

Jerry Hindman seconded the motion.

The TRC Committee voted unanimously in favor of motion.

4. **Applicant Name:** Harry Newkirk – Newkirk Engineering Sam
Project Name: SP23-098 – Class II Site Plan for Gator's Dockside
Project Location 0.824 acres located at 1526 S Woodland Blvd
Project Description: 6848 sf restaurant

Applicants Present:

Brad Donley – Newkirk Engineering
Terry M Lodge – Gerald Gross Architecture
Matt Joyce – Empire Custom Builders

Applicant will address all comments as discussed and resubmit plans by June 28, 2028 in order to be placed on the July 20, 2023 TRC meeting agenda.

Chad Gamble moved to continue the application to the July 20, 2023 TRC, at the June 15, 2023 TRC meeting,

Sam Nelson seconded the motion.

The TRC Committee voted unanimously in favor of motion.

5. **Applicant Name:** Michael Woods – Cobb Cole Kendall
Project Name: Z23-104 – PD Rezoning for Taylor Ridge
Project Location 26.01 acres located at S Blue Lake and Taylor Rd
Project Description: PD for 65 single family units

Applicants Present:

Michael Woods – Cobb Cole
Tony Iorio – Hanover Land Co.
Ben Snyder – Hanover Land Co.
Sean Fortier - KCG

Applicant will address staff comments and resubmit the revised PD and concept plan. Application will be scheduled for TRC once resubmittal is received.

*Jerry Hindman moved to continue the application, at the June 15, 2023 TRC meeting,
Ray Bahrami seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

6. **Applicant Name:** Ray Bahrami – City of DeLand Kendall
Project Name: SP23-110 – Class II Site Plan for The City of DeLand
Project Location: 3.76 acres located at 1101 S Amelia Ave
Project Description: North parking lot and stormwater

Applicants Present:

Randy Hudak – Zev Cohen
Steve Glaze – Zev Cohen

There were no representatives present to discuss staff comments. Application was continued to the April 20, 2023 TRC contingent upon receiving revised plans addressing staff comment by March 24, 2023.

*Sam Nelson moved to conditionally approve the application, at the June 15, 2023 TRC meeting,
Jerry Hindman seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

OTHER BUSINESS:

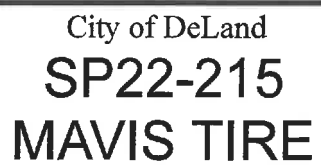
None.

ADJOURNMENT:

3:48 pm

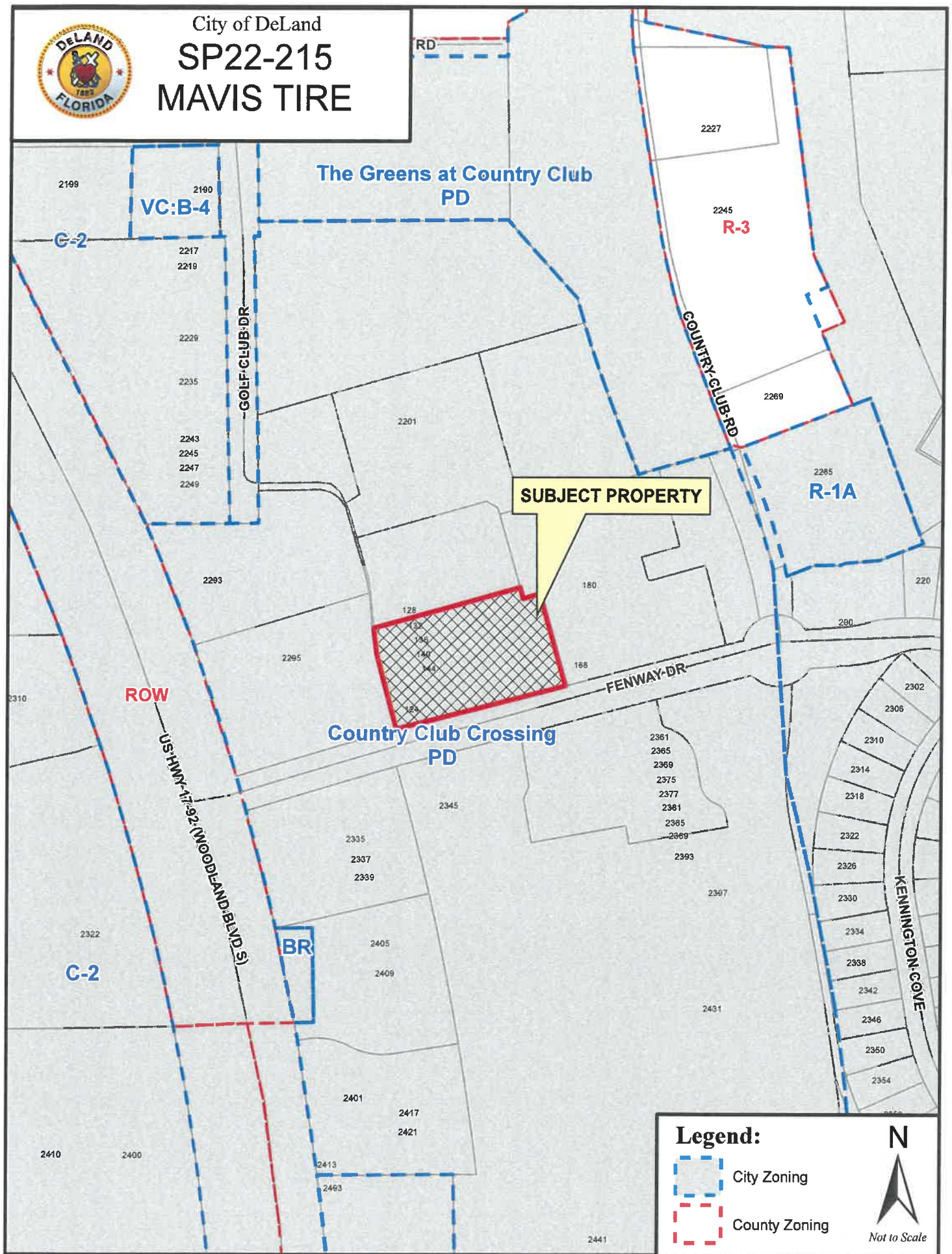
OLD BUSINESS

2





City of DeLand
SP22-215
MAVIS TIRE



Issues for record SP22-215**Job Address: 144 FENWAY DR, DELAND FL 32724****Job Description: Development of a tire service center and accompanying onsite infrastructure**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Insufficient Tree Information Provided						
Please provide tree survey, landscape plan, tree worksheets, tree barricade detail, and irrigation plan. If any Tree Protection Area is on this parcel, please show it on the plan. Sufficient landscaping must be provided per the Country Club Corners PD and mitigation plan.						
Forestry	Not Accepted	Last comment from reviewer: Your current plant list only provides a total of 36" DBH. The lot size requires 121" DBH to meet minimum requirements. You are currently 85" deficient in meeting minimum coverage. The mitigation plan for Country Club Corners Lot 6 requires 416" DBH of canopy trees and 22 palm trees. If you do not wish to plant palms, the mitigation is 6" DBH per palm. The total mitigation would be 548" DBH. If you can meet the minimum requirement of 121" DBH you would be 427" DBH deficient. Last response: Please see revised sheet L-100.	C-101	Mariellen Calabro	Kit Dennis	Yes
Sign details						
Provide details on the monument sign and verify if there will be any additional building signage.						
Planning	Not Accepted	Last comment from reviewer: Sign details depict a 12-foot high pole sign which is not permitted. Per the PD "one outparcel sign per outparcel with frontage on a public right-of-way. Maximum of 48 s.f. per side, maximum of 6 feet in height." The signage will be acceptable once the adjustment is made to comply with the PD agreement. Last response: Please see attached Brand Book HM for sign details.	C-301	Belinda Collins	Belinda Collins	Yes

OLD BUSINESS

3

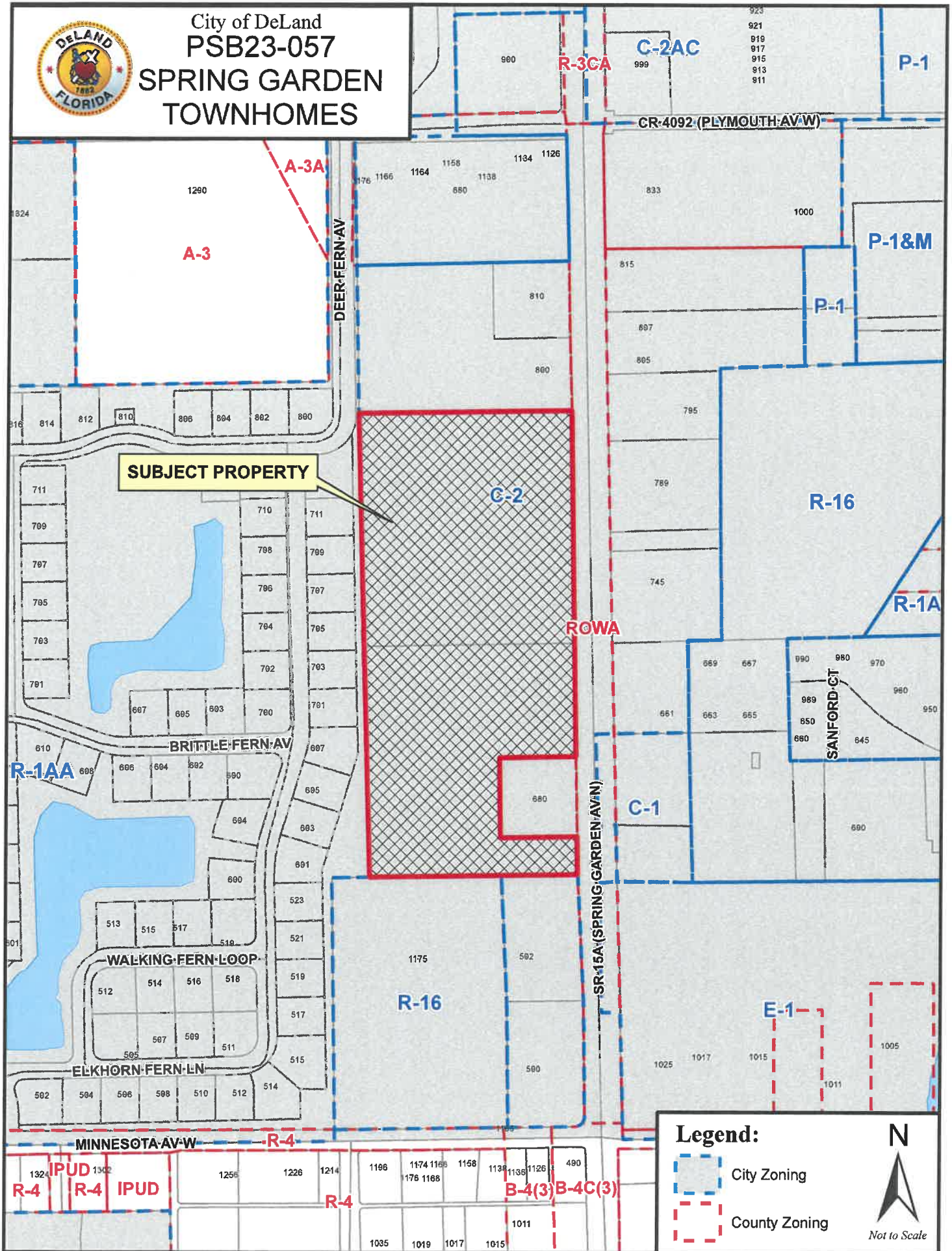


City of DeLand
PSB23-057
SPRING GARDEN
TOWNHOMES





City of DeLand
PSB23-057
SPRING GARDEN
TOWNHOMES



Issues for record PSB23-057**Job Address: 0 N SPRING GARDEN AV, DELAND FL 32720****Job Description: Preliminary Plat application for Spring Garden Townhomes project.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Reference to VC						
Engineering	Not Accepted	1. Reference to Volusia County needs to be removed since utilities will be provided by City of DeLand.	C4.7	Ray Bahrami	Ray Bahrami	Yes
		Last comment from reviewer: VC references were not removed				
		Last response: Volusia County references were removed.				
Reference to VC						
Engineering	Not Accepted	1. Reference to Volusia County needs to be removed since utilities will be provided by City of DeLand.	C4.6	Ray Bahrami	Ray Bahrami	Yes
		Last comment from reviewer: Reference to VC is still there				
		Last response: Volusia County references were removed.				
Sarasota						
Forestry	Draft	Remove reference to Sarasota County.	C3.2	Mariellen Calabro	Mariellen Calabro	Yes
Tree Protection Areas						
Forestry	Draft	Show Tree Protection Areas on the plat.	2	Mariellen Calabro	Mariellen Calabro	Yes
Note 15						
Forestry	Draft	All plant material substitutions must also be approved by the City Forester.	L2.0	Mariellen Calabro	Mariellen Calabro	Yes
Note 13						
Forestry	Draft	End sentence after the word "Florida" and remove the part that starts with "or to the standards..."	L2.0	Mariellen Calabro	Mariellen Calabro	Yes
7. TYP. TREE PROTECTION						
Forestry	Draft	Replace with City standard tree barricade detail. If you keep the text to the right, change reference to "tree surgeon" to ISA Certified Arborist.	L2.0	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
In Note 3 on the third line, insert the word IF between SYSTEMS and UTILITIES						
Planting Specifications -- Tree and Palm Staking						
Forestry	Draft	Update your staking graphics. The hose and wire method of staking can cause damage to trees and is not recommended. Trees should be planted on existing grade and not backfilled with topsoil. Mulch should not be placed on top of the root ball.	L2.0	Mariellen Calabro	Mariellen Calabro	Yes
Mulch						
Forestry	Draft	Mulch should not be placed on top of the root ball of newly planted trees or within 6" of existing trees.	L1.1	Mariellen Calabro	Mariellen Calabro	Yes
Historic Tree Replacement						
Forestry	Draft	The minimum size for historic tree replacement is 6" caliper. None of the trees on your landscape plan are large enough to meet this requirement. If you cannot save the two historic trees proposed for removal, you will need to add sufficient inches in 6" caliper canopy trees to provide sufficient replacement.	L1.1	Mariellen Calabro	Mariellen Calabro	Yes
Project Phasing						
Forestry	Draft	How will this project be constructed? If all landscaping will not be installed prior to the CO on the first set of buildings, please show a phasing plan. All common area and buffer landscaping will need to be installed prior to the first building CO.	C3.0	Mariellen Calabro	Mariellen Calabro	Yes
Tree Barricade detail						
Forestry	Draft	This would be a good place to add the tree layer and tree barricade detail. Rather than circling each tree, you could show tree barricade fencing around the perimeter of the Tree Protection Area.	C3.0	Mariellen Calabro	Mariellen Calabro	Yes
Tree Replacement - Total DBH Protected Tree Replacement Inches						
Forestry	Draft	Based on my calculations (which will most likely change once you revise your spreadsheet), your replacement required will be: Protected trees: 3,451" Specimen trees: 146" Deteriorated Laurel Oaks: 56" Historic Trees (if approved): 53" ----- Total 3,706" DBH Your landscape plan (with revisions) appears to provide 533.5" DBH of trees and 416" DBH of palms. This would leave you 2,756.5" DBH deficient in tree replacement. If you do not plant additional trees, you would need to contribute \$75 per inch not planted into the Tree Replacement Reserve Account. This would result in a \$206,737.50 contribution based on the data provided and suggested revisions.	C2.14	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
These numbers will change during your next submission as none of the trees provided in the landscape plan are large enough for historic tree replacement.						
Tree Replacement – Total DBH of Proposed Trees						
Forestry	Draft	I'm not sure where these numbers come from. Your proposed trees would be the trees on your landscape plan, which looks like it will provide 533.5" DBH of trees and 416" DBH of palms. I'm not sure where the 1,589 (1,531) caliper comes from, and your plan doesn't provide 961" DBH of palms. Up to 25% of the canopy tree replacement requirement can be palms; it is not required.	C2.14	Mariellen Calabro	Mariellen Calabro	Yes
Tree Replacement – Other Protected Tree Removal						
Forestry	Draft	Please revise based on comments in tables. It looks like you will have about 10,354" DBH of protected tree removals based on my calculations. Please recheck these numbers once you have made the requested changes as your numbers do not match my calculations.	C2.14	Mariellen Calabro	Mariellen Calabro	Yes
Tree Replacement - Deteriorated Laurel Oaks						
Forestry	Draft	Update based on comments on table. It looks like you will have about 28 deteriorated Laurel Oaks, with a replacement requirement of 56" DBH.	C2.14	Mariellen Calabro	Mariellen Calabro	Yes
Tree Replacement - Specimen Trees						
Forestry	Draft	Update based on revised table. It looks like it should go from 304" to 291" and from 152" to 146" DBH.	C2.14	Mariellen Calabro	Mariellen Calabro	Yes
Tree Replacement - Historic Trees						
Forestry	Draft	Any historic tree removal would be required to be reviewed by the Tree Advisory Committee and approved by the City Commission. This will add at least two months to your project review process. We encourage saving any historic trees that can be saved.	C2.14	Mariellen Calabro	Mariellen Calabro	Yes
Specimen Tree Preservation						
Forestry	Draft	Please update these calculations based on revisions requested for this plan.	C2.14	Mariellen Calabro	Mariellen Calabro	Yes
Minimum Tree Coverage						
Forestry	Draft	Minimum coverage is calculated for the entire project area. If your project area is 641,254 sf, you would need 257 trees with a DBH of 1,539" DBH. Because you will be preserving 2,290" DBH of trees, minimum coverage requirements will be met.	C2.14	Mariellen Calabro	Mariellen Calabro	Yes
Tree Protection Area						
Forestry	Draft		C2.14	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Your summary shows that you will provide sufficient tree protection area. Please show limits clearly on your plan.						
Forestry	Draft	Tree 5377 this tree does not meet the requirements for reduced replacement. Change to 11.3" DBH replacement required and update overall calculations.	C2.14	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 5312 This tree does not meet the requirements for reduced replacement. Please revise the replacement required to 9" DBH. This will require changes to overall replacement calculations.	C2.13	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 5297 This tree would not be considered specimen as each trunk is less than 10" DBH. Please update table.	C2.13	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 5110 If the historic tree proposed for removal is approved, the replacement requirement would be the actual DBH of the tree. It is shown as both 27" DBH and 30" DBH. Please correct whichever is incorrect.	C2.11	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 5098 Only the 30" DBH trunk meets the reduced replacement requirements. Add 6.3" DBH for a total of 8.3" DBH replacement required.	C2.11	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	5096 Only the 24" DBH trunk meets the requirements for reduced replacement. Add 6.3" DBH for a total of 8.3" replacement required. This will change overall replacement calculations.	C2.11	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 5030 Only the 24" DBH trunk meets the requirements for reduced replacement. Please add an additional 3.7" DBH for a total of 5.7" DBH replacement. This will require changes to total replacement.	C2.10	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 5025 Only the 27" DBH trunk meets the requirements for reduced replacement. Please add an additional 4" DBH for the 12" DBH trunk, which would make the total 6" DBH. This will change total replacement calculations.	C2.10	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Tree 5021 This tree does not meet the requirements for reduced replacement. Please update to 2.6" DBH replacement. This will require updating the total replacement calculations.	C2.10	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 3147 This tree does not meet the requirements for reduced replacement, please update to 6.3" DBH replacement required. This will change total replacement calculations.	C2.10	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 3131 Only the 22" DBH trunk meets the requirements for reduced replacement. the other trunk would require 4.7" DBH replacement, for a total of 6.7" DBH. This will require updating total replacement calculations.	C2.10	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 3099 Only the 20" DBH trunk meets the requirements to be considered deteriorated Laurel Oak. Please revise to provide 2" DBH replacement plus 4.3" DBH for a total of 6.3" DBH replacement required. This will require revising total replacement calculations.	C2.9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Trees 3045, 3051, 3056, and 3079 These trees do not meet the requirements to be considered deteriorated Laurel Oaks and should be added to protected tree replacement at one third DBH.	C2.9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 3007 Only the 26" DBH trunk can be considered deteriorated laurel oak. the 19" DBH trunk would need to be replaced at 1/3 DBH. This will change replacement calculations.	C2.8	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 2946 Tree is shown as 7" DBH and 8" DBH. Please correct whichever is incorrect.	C2.7	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 2848 Update calculations to shown one 20" DBH deteriorated Laurel Oak plus 10" DBH of other protected trees for the 12" and 18" trunks. This will change overall replacement calculations.	C2.6	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 2827 Tree diameter is shown as 34 and 36. Please correct whichever is incorrect.	C2.6	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tee 2824	C2.6	Mariellen Calabro	Mariellen Calabro	Yes

Replacement should be two 2-inch DBH trees for the two deteriorated Laurel Oaks plus 6.7 for the two 10" DBH trees, for a total of 10.7" DBH.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Tree 2817 Replacement should be 4" DBH because our Code considers this to be two trees.	C2.6	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 2766 The two-trunk tree is shown as 11" + 11", but the total is shown as 24". Please correct whichever is incorrect.	C2.5	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 2723 This tree does not meet the requirements for deteriorated Laurel Oaks larger than 20" DBH. Please revise to 21.7" DBH replacement. This will change replacement on subsequent pages.	C2.5	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 2654 Tree DBH is shown as 25" and 24". Please correct whichever is incorrect.	C2.4	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree 2636 Update table to show half DBH replacement for this specimen tree. This will change overall specimen tree calculations.	C2.4	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Specimen Tree Replacement Non-historic specimen tree removals must be replaced at one half DBH. Please update your table to show this. Trees 2525, 2526, 2528, 2529, 2531, 2538, and 2563 will need to be revised. This will change impact calculations on subsequent pages.	C2.3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Deteriorated Laurel Oaks The provision for reduced replacement of Laurel Oaks is only for 20" DBH trees. The way our code is written, each trunk is considered a separate tree, so only the 20" DBH trunks of multi-trees can be considered for reduced replacement. Trees with several smaller trunks that add up to 20 would not meet the requirement. Please update your table to address this issue. Trees 2566, 2568, and 2600 will need to be recalculated. This will change your replacement calculations on subsequent pages.	C2.3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic Trees Identify all historic trees as historic and show 1.5 times the dripline of each tree. Two of the trees proposed for removal appear to be in locations that might allow them to be preserved. You will need to go before the Tree Advisory Committee (TAC) and City Commission for approval of the removal of any historic trees. This will add at least two months to your project timeline. You will need to demonstrate that the trees are in deteriorated condition or that there is no way to develop the property without removing the trees before the TAC and Commission will approve removals.	C2.2	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Historic Trees						
Forestry	Draft	Identify all historic trees as historic and show 1.5 times the dripline of each tree. Two of the trees proposed for removal appear to be in locations that might allow them to be preserved. You will need to go before the Tree Advisory Committee (TAC) and City Commission for approval of the removal of any historic trees. This will add at least two months to your project timeline. You will need to demonstrate that the trees are in deteriorated condition or that there is no way to develop the property without removing the trees before the TAC and Commission will approve removals.	C2.1	Mariellen Calabro	Mariellen Calabro	Yes
Commercial Property for Future Development						
Forestry	Draft	You have used the same background for tree protection area and commercial property for future development. If this area is tree protection area, it cannot be used for future development. Please change the legend to show the difference.	C2.0	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	DBH Label "DBH" as "Minimum Coverage DBH." Add DBH Proposed to adjacent column.	C1.0	Mariellen Calabro	Mariellen Calabro	Yes
Tree Protection Area						
Forestry	Draft	If your project area is 641,254 sf, you will need 96,188 sf of tree protection area. The 87,098 sf shown on Sheet C1.0 does not meet the 96,188 sf requirement.. Please add the TPA provided to this table.	C1.0	Mariellen Calabro	Mariellen Calabro	Yes
Tree Protection Area						
Forestry	Draft	If your project area is 641,254 sf, you will need 96,188 sf of tree protection area. Please indicate the sf provided in your plan.	C2.0	Mariellen Calabro	Mariellen Calabro	Yes
Plant Schedule						
Forestry	Not Accepted	Update based on changes made on Sheet L1.1. Last comment from reviewer: More changes are required. See Sheet L1.1. Last response: The plant schedule has been updated.	L1.3	Mariellen Calabro	Mariellen Calabro	Yes
Plant Schedule						
Forestry	Not Accepted	Update Plant Schedule to match changes made on Sheet L1.1. Last comment from reviewer: More changes are required. See Sheet L1.1. Last response: The plant schedule has been updated.	L1.2	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required	
Update Tree Specifications							
Forestry	Not Accepted	AR: Change height to 9', add 5' sp., and 65 gallon container size.	L.1.1	Mariellen Calabro	Mariellen Calabro	Yes	
		QV: Change height to 10', 6' spread, and 100 gallon container size.					
		TD: Change height to 10', 3' spread, and 100 gallon container size.					
		UP: Change height to 9', spread to 5', and 65 gallon container size.					
		Holly: Add 42" spread and 45 gallon container size.					
		LI: Add 8' height, 4' spread, and 65 gallon container size.					
		Magnolia: This tree does not meet minimum size requirements. Increase to 3" caliper, 8' height, 42" spread, and 45 gallon container size.					
		Last comment from reviewer: The calipers shown do not match the other specifications. Based on the other information provided, change the following calipers:					
		AR to 3.5" caliper for 2.5" DBH credit					
		QV to 4" caliper for 3" DBH credit					
UP to 4" caliper for 3" DBH credit							
Ilex: add 3" caliper for 2" DBH credit							
MV: change to 3.5" caliper for 2.5" DBH credit.							
With these changes, your plan would provide:							
AR: 10"							
QV: 117"							
TD: 153"							
UP: 90"							
INS: 18"							
LI: 78"							
MV: 67.5							
Total: 533.5" DBH plus 416" DBH of palms							
Last response: These revisions were made. The tree calipers are still included in the Plant Schedule so the total caliper and DBH can be calculated for tree mitigation purposes.							
Spell out Abbreviation							
Forestry	Not Accepted	Spell out abbreviation the first time you use EPSC	C3.2	Mariellen Calabro	Mariellen Calabro	Yes	
		Last response: Erosion Prevention and Sediment Control (EPSC) has been added to the first use of EPSC on revised sheet C3.2.					
Forestry	Not Accepted	Historic Trees	C2.3	Mariellen Calabro	Mariellen Calabro	Yes	
		There may be several historic trees on site. Please schedule a field visit with Forestry staff to identify potentially historic trees. The 24 inch DBH oak should be included in this review.					
Last comment from reviewer: Please schedule a historic tree review with Chris Jackson if you have not done so already. He can be reached at jacksonc@deland.org .							

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Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Last response: The Tree Disposition Table has been updated and includes the historic trees.						
Excel Spreadsheet Needed						
Provide a spreadsheet showing tree number, species, DBH, and whether it will be removed or remain.						
Forestry	Not Accepted	Last comment from reviewer: Spreadsheet has errors that need to be corrected before impacts can be calculated.	C2.2	Mariellen Calabro	Mariellen Calabro	Yes
Last response: The Tree Disposition Table has been updated. The Tree Disposition spreadsheet has also been provided.						
Excel Spreadsheet Needed						
Provide a spreadsheet showing tree number, species, DBH, and whether it will be removed or remain.						
Forestry	Not Accepted	Last comment from reviewer: Spreadsheet has errors that need to be corrected before impacts can be calculated.	C2.1	Mariellen Calabro	Mariellen Calabro	Yes
Last response: The Tree Disposition spreadsheet has been provided.						
Coded Note 1						
Show actual tree data when referencing tree removal data. Provide Species and DBH of tree removals and shown trees in the Tree Protection Area as shown on L1.0.						
Forestry	Not Accepted	Last comment from reviewer: Show actual tree removal on this page.	C2.0	Mariellen Calabro	Mariellen Calabro	Yes
Last response: The Tree Disposition Table has been updated to show this information.						
Tree Barricade Detail						
Forestry	Not Accepted	Add a Tree Barricade Detail to the plan showing how exiting trees will be protected.	C1.0	Mariellen Calabro	Mariellen Calabro	Yes
Last response: See sheet L2.0.						
Open space						
Planning	Not Accepted	LDR - 33-32.01(a) 4. n - "In return for flexibility in site design and development, planned developments (PDs) are expected to include exceptional design that preserves critical environmental resources; provides above-average open space and recreational amenities; incorporates creative design in the layout of buildings, open space, and circulation; ensures compatibility with surrounding land uses and neighborhood character; and, provides greater efficiency in the layout and provision of roads, utilities,	C4.0	Belinda Collins	Belinda Collins	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		and other infrastructure."				
		In addition to the open space area located on Parcel B, verify the amount of open space that is provided, location(s) and the anticipated use of any other open space areas.				
		Last comment from reviewer: The open spaces provided do not live up to the requirement to "include exceptional design" and to "provide above-average open space and recreational amenities". Please explain any intent to meet these requirements.				
		Last response: The areas provided to meet the open space requirement are parcel B (0.57 acres) and the pond area (1.96 acres) for a total of 2.53 acres of open space provided.				
		Building colors				
		Provide the colors to be used on the buildings with the elevations for the Community Design Review.				
		Last comment from reviewer: Please provide the colors.				
		Last response: Noted.				
Planning	Not Accepted		COLOR ELEVATIONS -4	Belinda Collins	Belinda Collins	Yes

OLD BUSINESS

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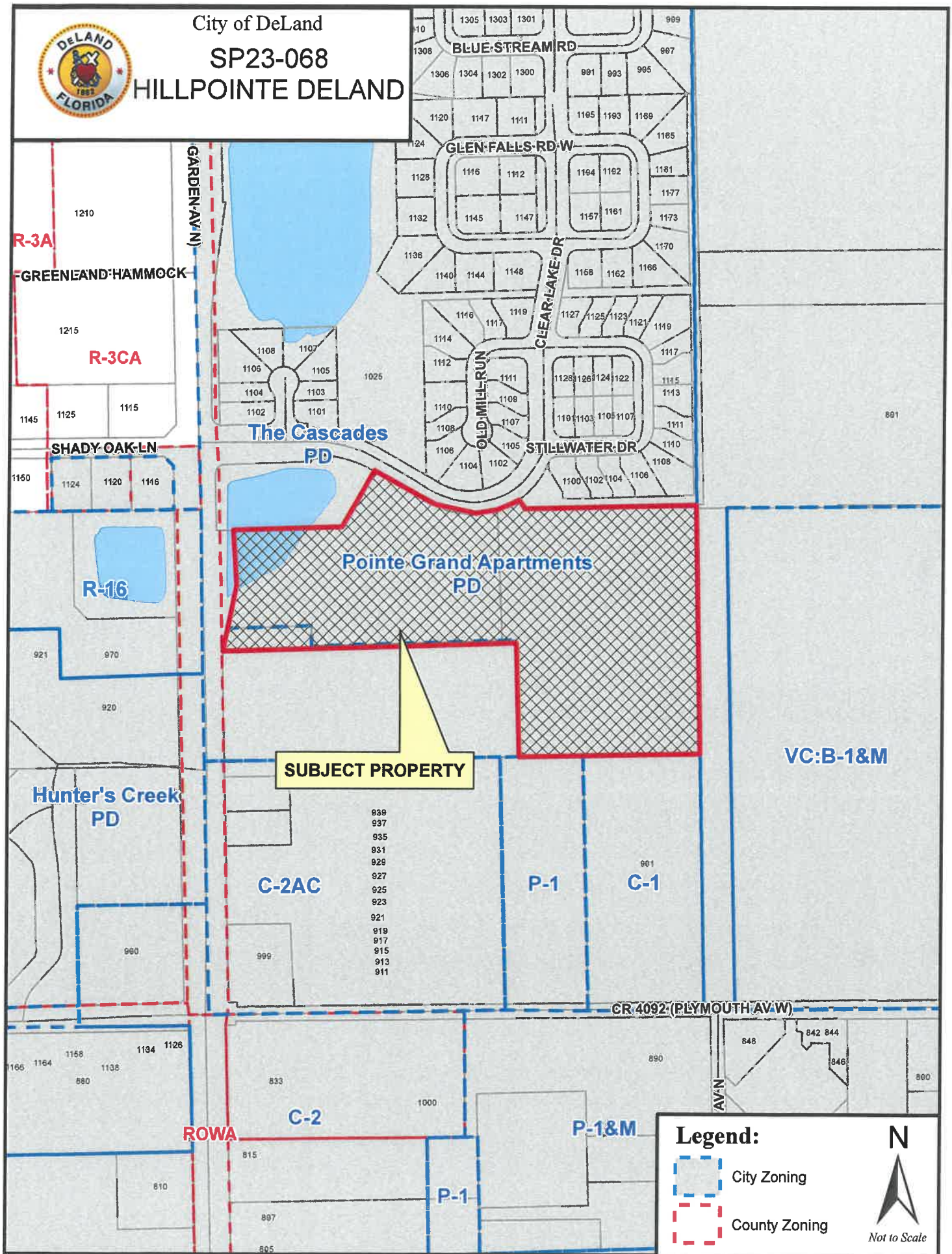


City of DeLand
SP23-068
HILLPOINTE DELAND





City of DeLand
SP23-068
HILLPOINTE DELAND



Legend:

- City Zoning
- County Zoning



Not to Scale

Issues for record SP23-068
Job Address: 0 N Spring Garden AV, Deland FL 32720
Job Description: 204 unit multi-family project off of N Spring Garden Ave.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Matchline						
Engineering	Draft	Matchline should refer to Sheet 5.0 rather than 8.0.	C5.1	Ray Bahrami	Ray Bahrami	Yes
Matchline						
Engineering	Draft	Matchline should refer to Sheet 5.1 rather than 6.1.	C5.0	Ray Bahrami	Ray Bahrami	Yes
Reference to State Coordinate System						
Engineering	Draft	Please update as-built requirements notes to "State Plane East Coordinate System" and not west.	C2.0	Ray Bahrami	Ray Bahrami	Yes
Deteriorated Trees						
Forestry	Draft	Please show the tree ID number for each of the trees in the Deteriorated Trees chart.	A-204	Kit Dennis	Kit Dennis	Yes
Poor Laurel oaks						
Forestry	Draft	Some are mitigated at 1/2 DBH and some 1/3 DBH. Please change all to 1/3 unless the Laurel oak is 20" DBH or greater and the arborist report indicates that it is eligible for reduced replacement. In that case, change the mitigation to 2".	A-204	Kit Dennis	Kit Dennis	Yes
Poor Tree Mitigation						
Forestry	Draft	Black cherry, Hog plum, Longleaf pine have a mitigation of 0 in your chart. Only invasive species do not have a mitigation requirement. Please update the chart.	A-204	Kit Dennis	Kit Dennis	Yes
Tree #1002						
Forestry	Draft	This is listed as a 13" Live oak. It would be considered a specimen tree. Please update the replacement to 7" and make the corrections to the mitigation calculations.	A-204	Kit Dennis	Kit Dennis	Yes
Tree Replacement Required						
Forestry	Not Accepted	Once issues on Sheets A-202 to A-204 have been resolved, the tree replacement table will need to be revised. We will provide a complete review then. Based on current data, you may be 1,865" DBH deficient in tree replacement requirements. You will either need to add more trees or larger trees to meet the tree replacement requirements. If you	A-202	Mariellen Calabro	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
cannot plant enough trees to meet this requirement, you can contribute into the Tree Replacement Reserve Account at a rate of \$75 per inch not planted to meet this requirement. Last comment from reviewer: It appears that you are counting caliper inches instead of DBH inches when calculating replacement inches provided. DBH should be calculated as one inch less than the caliper being planted. Based on your current plan, you are planting 845" DBH. That amount will leave you 2,133" deficient. If you wish to contribute to the Tree Replacement Reserve Account in lieu of modifications to the planting plan, the amount contributed would be \$159,975. Last response: Tables have been revised.						
Total Inches Planted on Site Based on your current plan, this should be changed to 892" DBH. Last comment from reviewer: It appears that you are submitting the caliper inches planted. The DBH for each tree is calculated as one inch less than the caliper. This number should be 845" DBH planted on site based on your plan. Last response: Tables have been revised						
Forestry	Not Accepted		A-202	Mariellen Calabro	Kit Dennis	Yes
Tree Protection Areas Change all Tree Preservation Areas to Tree Protection Areas to be consistent with Code language. Last comment from reviewer: Change "Tree Preservation Area Provided" to "Tree Protection Area Provided" in the Tree Protection Table. Last response: Labeling has been corrected.						
Forestry	Not Accepted		A-202	Mariellen Calabro	Kit Dennis	Yes
Tree Replacement Provided With the suggested revisions, 892" DBH of tree replacement would be provided. Last comment from reviewer: The plant schedule has a total of 845" DBH being planted. Last response: updated						
Forestry	Not Accepted		L-001	Mariellen Calabro	Kit Dennis	No
Forestry	Not Accepted	Tree ID 1015 Tree 1015 is missing from sheet L-101 and is not listed in any of the tree calculation lists. Please make the appropriate correction to whichever sheets need to be corrected. Last comment from reviewer: Please add this to the existing trees to be saved and	C3.0	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
calculate it into the DBH for saved trees.						
Last response: tree 1015 is a 15" sabal palm and is not included in mitigation figures						
Tree 1015						
Forestry	Not Accepted	Tree 1015 from sheet C3.0 is missing from this sheet. It is not identified in any of the tree calculation lists. Please make the appropriate corrections to whichever sheets need to be corrected.	L-101	Kit Dennis	Kit Dennis	Yes
Last comment from reviewer: Please add it to the trees saved and recalculate the trees saved DBH.						
Last response: tree 1015 is a 15" sabal palm and is not included in mitigation figures						
Impervious square footage						
Planning	Draft	The Total Impervious Area of 6.68 acres should come out to 290,981 sq. ft. (not 278,784 sq. ft.). All other calculations in the table are accurate.	C4.0	Kendall Story	Kendall Story	Yes
parking count is off						
Planning	Draft	I only counted 472 spaces total. Included in that count are 11 handicap spaces, not 10 as noted on plan. Total should be 510.	C4.0	Kendall Story	Kendall Story	Yes
Traffic Safety Concern						
Planning	Not Accepted	The current configuration of Clear Lake Drive/SR 15A intersection is very wide and open, which leaves multiple areas for traffic to stop while trying to yield to oncoming traffic. The north terminus of the concrete median, on the southside, is ~75-feet from the intersection's center point. Per Google Earth images, FDOT recently updated the intersection's striping, which has likely improved operations by delineating the intersection's center area where motorists are supposed to queue while waiting to make left turns onto SR 15A. Since the project's driveway is Right-in, Right-out, the motorists leaving the site will have to travel north and make U-turns, using the northbound left turn lane at the Clear Lake Drive intersection, to be able to travel southbound on SR 15A. The project is forecasted to generate an additional 35 U-turns in the AM peak-hour and 18 in the PM peak-hour. Due to the wide configuration and the location of the concrete median, city staff has concerns that the project + background U-turns (Total: 39 AM Peak Hour, 28 PM Peak Hour) will occur where the concrete median terminates instead of at/near the intersection's center point. If this occurs, there would be two separate turning movements within the same intersection occurring within 75-feet of one another on a high-speed, higher volume truck route. This is cause for concern that the current configuration may not be safe. Please coordinate with FDOT and provide written documentation stating FDOT does not have concerns with the high number of U-turns occurring at the intersection as it's currently configured.	T0	Melissa Winsett	Kendall Story	Yes

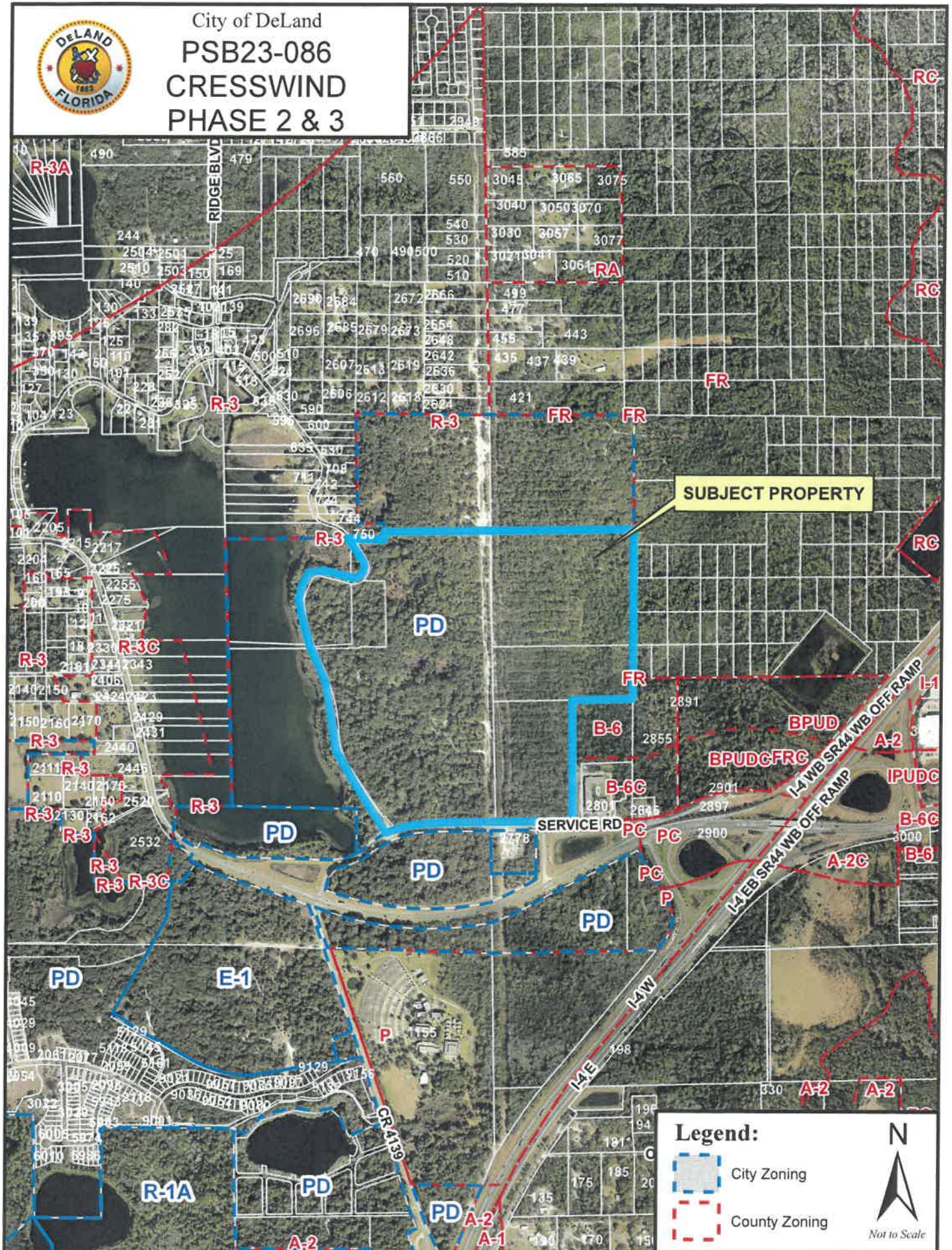
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Last comment from reviewer: Repeat comment.						
Last response: tree 1015 is a 15" sabal palm and is not included in mitigation figures						
TIA Comments						
Planning	Not Accepted	A. Projected AM Peak Hour Traffic Volumes, Page 17, Clear Lake Drive/SR 15A Intersection: Projected AM & PM Peak Hour Traffic Volumes, Page 17-18, Turning Movement Counts The graphic shows "driveway" at the intersection of Hunter's Creek/Spring Garden Ave. This is confusing. Please label it with a different name and move the site driveway/Spring Garden Ave graphic in between it and the Clear Lake Dr/Spring Garden Ave intersection graphic.	T0	Melissa Winsett	Kendall Story	Yes
		B. HCS Analysis: SR 15A/Plymouth Ave intersection: Please revise HCS input values and check the existing and proposed condition approach volumes. AM Peak-Hour: NB Thru existing volume is shown as 158 while the projected is 828.				
Last comment from reviewer: Repeat comment.						
Last response: tree 1015 is a 15" sabal palm and is not included in mitigation figures						
Combine 4 Parcels						
Planning	Not Accepted	Parcels must be combined. An application for combining property is done online using the Citizen Portal.	T0	Kendall Story	Kendall Story	Yes
		Last comment from reviewer: "Not Accepted" until this is done.				
Last response: Noted. This will be completed.						

OLD BUSINESS

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City of DeLand
PSB23-086
CRESSWIND
PHASE 2 & 3



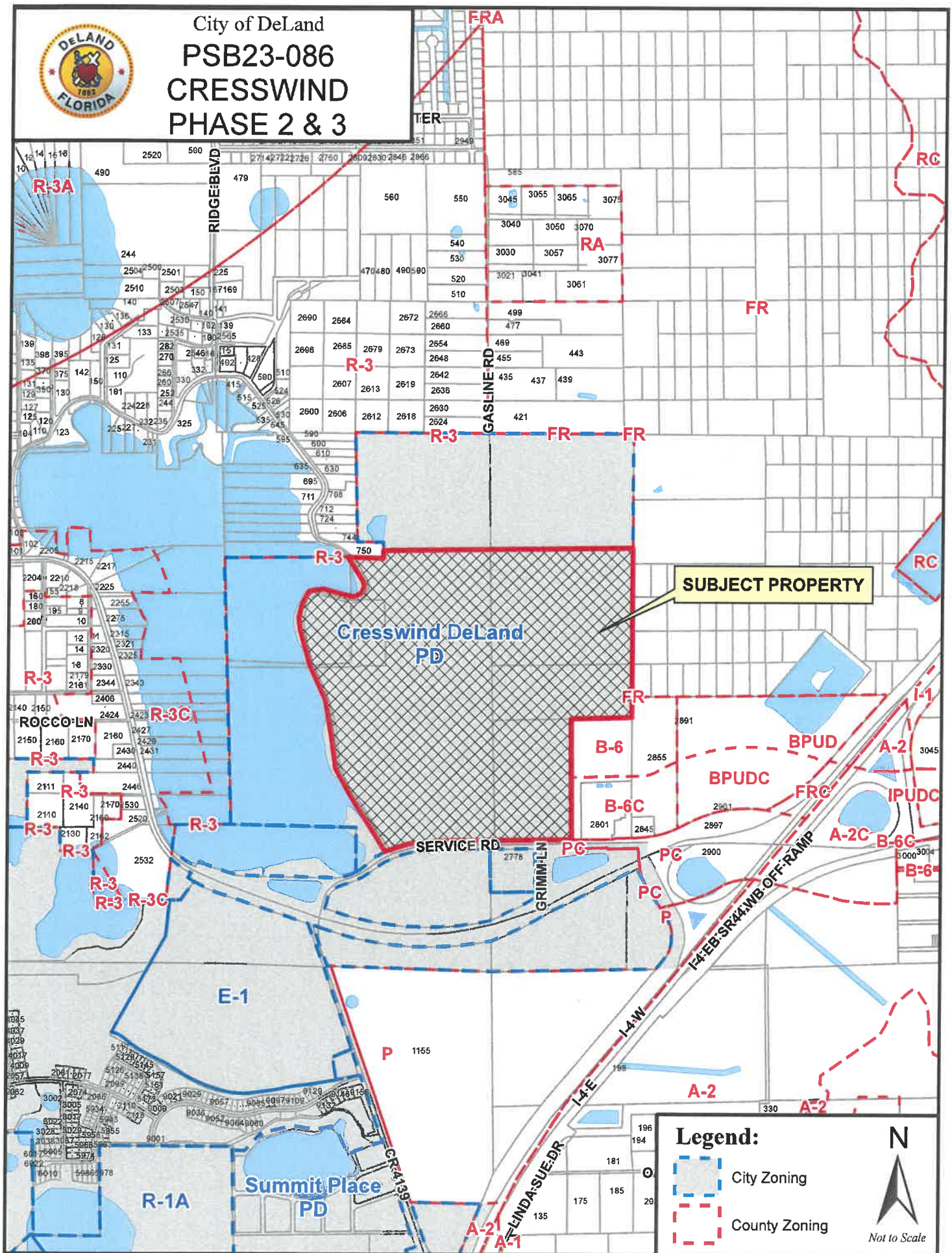
Legend:

-  City Zoning
-  County Zoning





City of DeLand
PSB23-086
CRESSWIND
PHASE 2 & 3



Issues for record PSB23-086
Job Address: 2751 E New York AV, Deland Volusia 32724
Job Description: Cresswind Deland Phase 2 and 3 improvements for 223 single family lots

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Not Accepted	Master Drainage Stormwater System Analysis 1. Page 3, Floodplain Impacts: There are two Floodplain Ponds proposed for this development. Please provide calculations to show how they were sized and BFEs established. 2. Are Curve Number (CN) calculations in ICPR based on 75% maximum lot impervious area? 3. Do Ponds 3 and 4 have a bleed down structure/orifice proposed per SJRWMD requirement? Last comment from reviewer: 1. Please provide an exhibit which shows Phases 1, 2 and 3 Development with FIRM in the background and BFE. 2. Sheet C-106 Table shows 75% Maximum Lot Impervious and 50% Maximum Project Impervious. Do Curve Numbers used in ICPR reflect that? Last response: 1. Response: Please note Floodplain Pond 1 (node LW-FPM01) is part of the previously approved Phase 1 design and Floodplain Pond 2 (node LW-09) is proposed with the Phase 2 development. As shown on the FEMA map within the previously provided Drainage Report (Appendix A; Page 20), both of the ponds are located within Zone A floodplain limits. Both ponds are sized to ensure no adverse impacts to downstream properties due to the proposed encroachment from both Phases 1 and 2. As shown in the 100-Yr, 24-Hr Discharge & Peak Summary Table within the previously provided Drainage Report (Appendix D; Page 159), nodes LW-04 and LW-08 have 100-year stages lower in the post-development condition than in the pre-development condition. Stage-Areas can be found in Appendix C Proposed Conditions Model (pages 107 & 108) for additional information. Also, BFE's have been added to the Grading & Drainage sheets for all floodplain pond and wetland areas. 2. Response: The CN's that were previously approved within the Phase 1 development have been carried over to the Phase 2 design. The CN's used are based on the Florida Land Use Cover Classification System (FLUCCS) and appropriately defined for the proposed development as shown on the Post-Development Land Use Map in the previously provided Drainage Report (Appendix A; page 18). All proposed development uses a 1300-High Density Residential land use cover for the single-family areas and an 8100-Transportation land use cover for all Right-Of-Way areas. For type A soils, as shown in the Soils Map within the previously provided Drainage Report (Appendix A; page 11), these land uses have CN values of 77 and 81, respectively, and are consistent with all previous approvals. 3. Response: Pond 3 and Pond 4 both have bleed-down orifices sized per SJRWMD	Ray Bahrami	Ray Bahrami	Yes	

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Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
requirements. Bleed-down calculations for both ponds are provided in the previously submitted Drainage Report (Appendix E; pages 175 and 181)						
Forestry	Draft	Total DBH Removed Should the last column say Total DBH Replacement Required?	L-200A	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Average Saved DBH per Area Should these titles be Average Replacement/Saved DBH per Acre?	L-101	Mariellen Calabro	Mariellen Calabro	Yes
Tree Protection Area						
Insufficient Tree Protection Area has been provided in this phase.						
Forestry	Not Accepted	Last response: Response: In each phase there is a deficiency in the tree protection requirement. As the enhanced plans and future phase landscape plans are finalized, there will be additional inches/trees added to the plans to comply with the minimum coverage requirements. There will also be tree protection areas that will have smaller trees that will be added to the inches saved. There is a chart on sheet L-100 that is tracking the overall tree protection that shows the entire project meets the requirements.	L-400A	Mariellen Calabro	Mariellen Calabro	Yes
Tree Deficit						
If your deficit is 21,742, your contribution to the Tree Replacement Reserve Account would be \$1,630,650. Additional planting is recommended.						
Forestry	Not Accepted	Last comment from reviewer: Based on this review, your deficit would be 21,617" DBH which would require a contribution of \$1,621,275 if no additional trees are planted.	L-200A	Mariellen Calabro	Mariellen Calabro	Yes
Last response: Response: It is understood that the plan is deficient. Like the other phases, there will be additional trees added in the future and money paid into the tree account.						
Forestry	Not Accepted	Minimum Coverage and Tree Protection Area Requirements If the project area is 77.77 acres, 11.7 acres of TPA will be needed and 8,130" DBH will be needed to meet minimum coverage requirements. Last comment from reviewer: At what phase will these requirements be met? We are three phases in, and all have been deficient. Please provide a timeline for addressing the deficiencies. Last response: Response: It is understood that the plan is deficient. Like the other phases, there will be additional trees added in the future and money paid into the tree account. In each phase there is a deficiency in the tree protection requirement. As the enhanced plans and future phase landscape plans are finalized, there will be additional inches/trees added to the plans to comply with the minimum coverage requirements.	C-100	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		There will also be tree protection areas that will have smaller trees that will be added to the inches saved. There is a chart on sheet L-100 that is tracking the overall tree protection that shows the entire project meets the requirements.				
		Acreage				
		Sheet L-400A shows the total acreage of Phase 2 and 3 as having 89.08 acres, yet the survey shows it has 79.324 acres. Please clarify this discrepancy and revise on all sheets as well as recalculate data.				
Planning	Not Accepted	Last comment from reviewer: Minor: Please add a note on the plan to identify and explain the discrepancy as articulated in the applicant's response.	L-400A	Melissa Winsett	Melissa Winsett	Yes
		Last response: Response: There is a discrepancy due to the difference in the boundary lines and phase lines. The survey calculates the acreage per the boundary line and the landscape sheet acreage is calculated per the phase lines. This is ok that it is a different number. All area are accounted for within this plan set.				
		"Phase 2-3 Boundary Site Data and Open Space Calculations" Table:				
Planning	Not Accepted	A. The "Phase 2-3 Boundary Site Data and Open Space Calculations" table includes inconsistent data and descriptions, which makes verification difficult. Please compare this table with the table on Sheet L-100. The "descriptions" should have matching and consistent data. For example, Sheet L-400A's table shows the "Open Space Area" as having 17.94 acres, yet L-100's table shows "Other Open Space (Phase 2-3 Plat)" as having 1.8 acres. Instead, expand the table to break out the subcomponents that make up their "Descriptions." Per city staff's review, the combined acreages of Phase 2&3's Net Wetland Conservation, Wetland Setbacks, Other Open Space, and Utility Easement totals 17.4 acres, which is close to the 17.94 acres shown in the L-400A table. However, the numbers are off and the data used in the table not accurate and consistent. Please revise either sheet, or both, to be consistent (use exact numbers) – especially due to the note below the respective table that directs readers to "See Sheet L-100 for Overall Site Data and Open space Calculations Chart." As previously mentioned, the table's information should be transparent enough for the public to understand. Note: City staff's review of Sheet L-100 found the data to be consistent to the data within the PD's development agreement. B. Please document sources and/or explain the table's descriptions. For example, "Future Development" is shown as having 1.76 acres. Considering that the application is for Phases II and III, please explain why 1.76 acres of "Future Development" is shown within those respective phases. Also explain how the acreage was computed for areas like ROW area, Utility Easement, and any item that isn't in the table on sheet L-100). Expand the table and use footnotes to show where the acreage calculations are located elsewhere in the plan. The reader should be able to go back and forth between the plan sheets to understand the acreages and verify the percentages. Last comment from reviewer: The Site Data and Open Space calculations are sufficient and fairly similar to staff's calculations; however, they are very difficult to review	L-400A	Melissa Winsett	Melissa Winsett	Yes

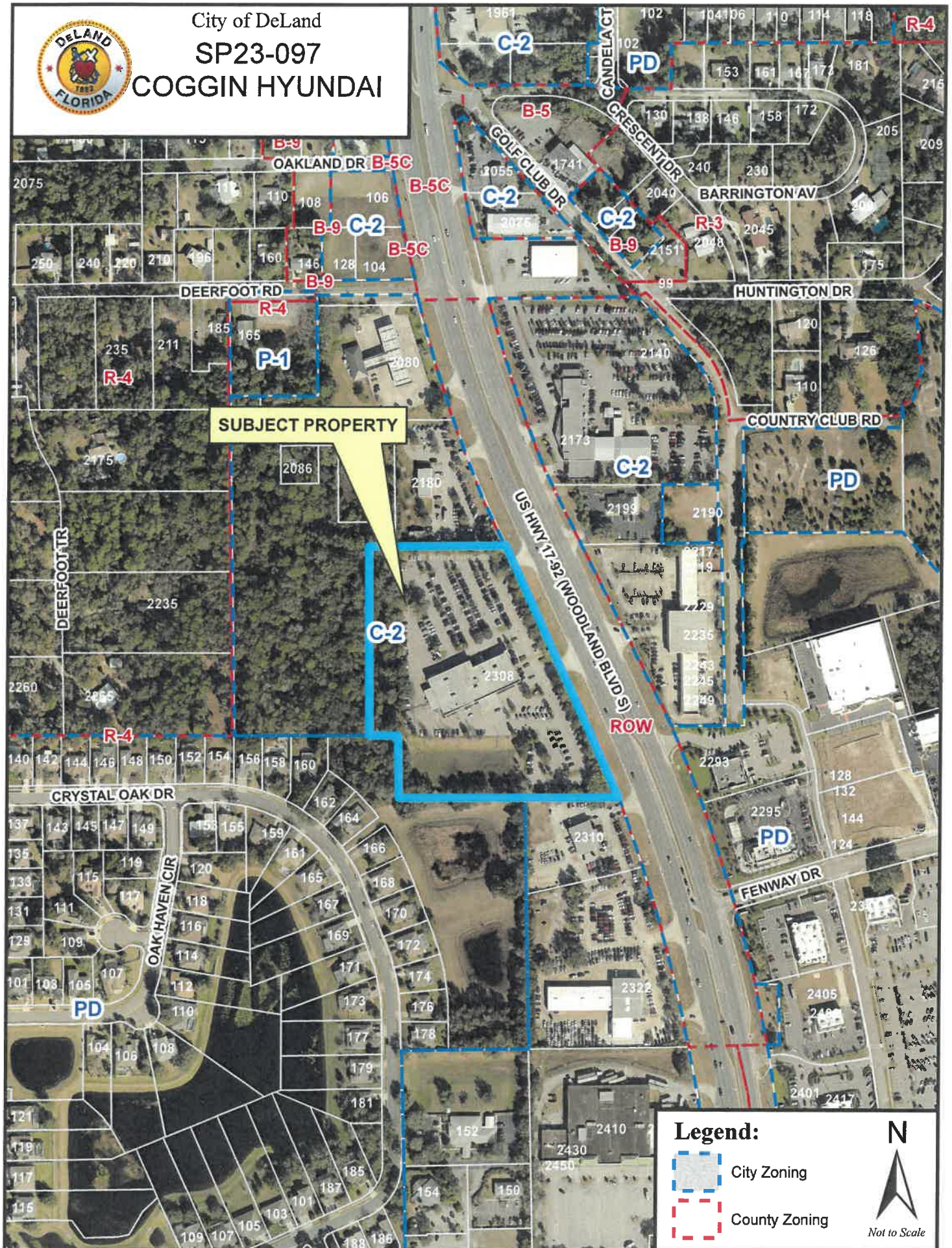
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		for compliance with the PD. Prior to the Planning Board Meeting, please provide a new table that demonstrates how the PD's Exhibit B Open Space, TPAs, Impervious Surface, etc. targets/thresholds have been drawn down with Phases 1 – 3 and the remaining acreages for Phases 4 and 5. The table must clearly demonstrate that the Exhibit B targets can be achieved. It must also include the PD data for comparison. Note: The PD includes Exhibit B information, but does not explain how it is to be applied to the different phases nor does it provide any flexibility if the numbers cannot be met. Please work with city staff (Melissa Winsett) prior to submitting. Last response: A. Response: All charts have been updated to the correct calculations to be consistent. B. Response: Sheet L-100 shows the different areas colored with a legend. This is what was established how to tract this entire project in Phase 1. We are just continuing this tracking of the different phases.				
Clarification Statements						
Planning	Not Accepted	A. Add a statement identifying that the plan is for Phases II and III (total of 223 single family homes) with Cresswind Planned Development age-restricted community. B. Please explain whether both phases are planned to be concurrently constructed. The city does not want both phases cleared if the intent is to only submit a final plat for one of the two phases. Last comment from reviewer: Regarding the Response to Comment B and the city's stated desire, please add a statement on the plan that commits the applicant from clearing both phases concurrently if both phases aren't being constructed concurrently. Last response: A. Response: We have added a qualifier to the project name on sheet C-100 that says "(A Kolter Age Restricted Community)". B. Response: The intent is to build both phases, however the order of construction has not yet been determined.	C-100	Melissa Winsett	Melissa Winsett	Yes

OLD BUSINESS

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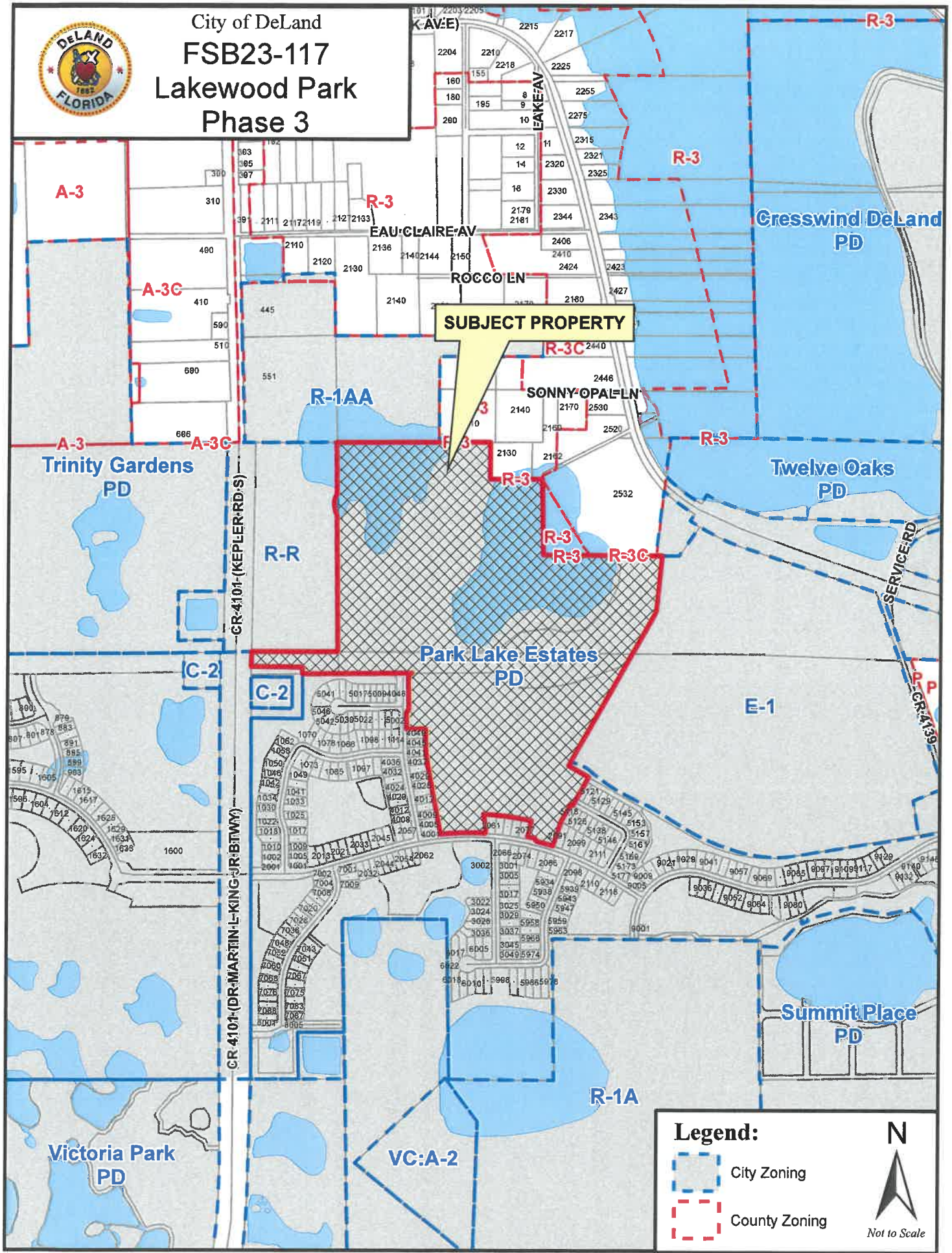


City of DeLand
SP23-097
COGGIN HYUNDAI





City of DeLand
FSB23-117
Lakewood Park
Phase 3



Project:	Coggin Hyundai	Application No:	SP23-097
Date of Submission:	7-6-23	Date of Review:	7-12-23
Review Architect:	Jim Wachtel		

Comments and Recommendations

RECOMMENDATION:

☐ **APPROVAL** as conditioned below:

X DENIAL The project as submitted is inconsistent with the applicable provisions of City of Deland Community Design Standards as indicated herein.

☐ **INCOMPLETE** Please submit items indicated for review in accordance with LDR Chapter 8, Section 33-94; Community Design

CONDITIONS FOR APPROVAL/REASONS FOR DENIAL:

7-12-23 Comments

1. Colors for EP-1 and EP-2 are not in conformance with City Standards. Please refer to section 33-94.03€ for requirements.
2. No information was given on MCM-1 or MCM-2. Please submit pictures or other literature of Metal Panels with intended colors, finishes and patterns.
3. No information was seen on any fences. Is there any site fencing?

NOTE:

APPEALS MUST BE SUBMITTED IN WRITNG TO THE PLANNING DIRECTOR WITHIN 10 DAYS OF THE ACTION

REVIEW & PERFORMANCE DESIGN CHECKLIST (Section 33-94)				
ADMINISTRATION (Section 33-94.06):	YES	NO	N/A	Comments
Has there been a pre-design conference?	☐	☐	☐	?
HPB Review	☐	☐	X	
Class II	☐	X	☐	
Class III	X	☐	☐	
GENERAL PROVISIONS (Section 33-94.02):	YES	NO	N/A	Comments
In the Thoroughfare Design District?	X	☐	☐	
In the Historic Design or Downtown Support District?	☐	X	☐	
Large commercial establishment?	X	☐	☐	
Single family structure in commercial zone?	☐	☐	X	
GENERAL DESIGN CRITERIA (Section 33-94.03)				
RELATIONSHIP OF THE STRUCTURE TO THE SITE (Section 33-94.03 A):	YES	NO	N/A	Comments
Does the site plan avoid extreme changes of grade in the site design?	X	☐	☐	
Are building mechanical equipment, service, delivery and work areas screened from public view?	X	☐	☐	
Is a transition provided between single family and non-residential?	X	☐	☐	
Do building design, scale and details provide variety and interest from both pedestrian and vehicular points of view?	X	☐	☐	
Do entrances provide focal points and protection from the weather?	X	☐	☐	
For multiple buildings on a site, is there a variety of spacing between structures?	☐	☐	X	
Does the site design avoid a monotonous repetition of identical structures on site?	X	☐	☐	
Is signage compatible in scale, design, materials and construction with the principal structure?	X	☐	☐	
GENERAL ARCHITECTURAL BUILDING DESIGN (Section 33-94.03 B):	YES	NO	N/A	Comments
Is there a consistent architectural treatment for all elevations exposed to public view?	X	☐	☐	
If a contemporary design, does the project relate to the historic character of DeLand through the following:		X		
A. Use of materials	☐	☐	☐	
B. Use of colors	☐	☐	☐	
C. Use of roof types	☐	☐	☐	
In established areas, is there a compatible relationship with the existing neighborhood through use of the following:	X			
A. Similar architectural style or character	☐	☐	☐	
B. Similar building massing and setbacks	☐	☐	☐	
C. Similar colors used	☐	☐	☐	
D. Similar materials used	☐	☐	☐	
E. Another architectural technique that would relate or transition the project to the existing neighborhood (landscaping, fences, walls, screens, etc...)	☐	☐	☐	
Historical Styles (Section 33-94.03 C):	YES	NO	N/A	Comments

Are there features in the building design to provide sufficient relief to the appearance of facades?	☒	☐	☐	
If a historical style, does the design use material, elements & details consistent with that style?	☐	☐	☒	
MATERIALS USE (Section 33-94.03 D):	YES	NO	N/A	Comments
Are the materials proposed of durable quality and suitable to the type of building and design in which they are used?	☒	☐	☐	
Does the design avoid metal siding used exclusively as the exterior finish?	☒	☐	☐	Metal Panels are used
Does the design avoid exposed standard concrete block in the design of the exterior?	☒	☐	☐	
Is materials usage consistent for all facades of the exterior?	☒	☐	☐	
Are the materials used consistent with the style and character of the structure?	☒	☐	☐	
COLORS (Section 33-94.03 E):	YES	NO	N/A	Comments
Are colors City of DeLand approved colors?	☐	☒	☐	Both EP-1 and EP-2 are darker than standards allow.
If other colors are used as accents, does the design avoid using accent colors exceeding 10% of the surface area of any one elevation?	☐	☐	☐	Accent area is not documented
Is the color treatment consistent for the entire building?	☒	☐	☐	
ROOF TYPES AND APPEARANCE (Section 33-94.03 F):	YES	NO	N/A	Comments
Are variations in the roofline used to add interest to and reduce the massing of the building?	☒	☐	☐	
Are roof features in scale with the building's mass or compliment adjoining or adjacent buildings and the neighborhood?	☒	☐	☐	
Is the design of visible roof structures or features consistent with the style of the building?	☒	☐	☐	
Is the roof treatment consistent for all facades of the building?	☒	☐	☐	
If a flat or low-slope roof is utilized, are there vertical roofline changes to reduce the buildings mass and create visual relief?	☒	☐	☐	
Do all roof appurtenances used in the design appear as an integral part of the roof?	☐	☐	☒	
LIGHTING (Section 33-94.03 G):	YES	NO	N/A	Comments
Is site lighting scaled for the use and compatible with the character of the building?	☐	☐	☒	
Is thematic or historical character lighting used? (Optional)	☐	☐	☐	
Are off-site areas shielded from offensive or excessive illumination?	☐	☐	☐	
Is pedestrian area lighting of scale, intensity and character appropriate to pedestrian movement?	☐	☐	☐	
Are lighting sources indirect, designed or placed to reduce glare from the light source?	☐	☐	☐	
Is general architectural lighting designed to conceal sources from direct view?	☐	☐	☐	

Is security lighting incorporated into the lighting scheme for the project?	☐	☐	☐	
FENCES, WALLS, SCREENS AND LANDSCAPE BUFFERS (Section 33-94.03 H):	YES	NO	N/A	Comments
Do fences, walls or visual screens used express similar character to the building design through use of materials, color or texture?	☐	☐	☐	No fences are shown
Is a berm being used in lieu of fence or wall?	☐	☐	☐	
In non-industrial areas, does the design avoid using unscreened chain link fencing?	☐	☐	☐	
Are visual screens used between single-family and non-residential?	☐	☐	☐	
ACCESSORY USES AND STRUCTURES (Section 33-94.03 I):	YES	NO	N/A	Comments
Are accessory structures and uses consistent in design character with the principal structure?	☐	☐	X	
Are any outdoor garden supply and similar areas used for retail sales screened from view and integrated into the overall design and structure?	☐	☐	☐	
Are any drink dispensers, coin-operated rides or other amusement devices located inside the principal structure? Exterior locations are not permitted.	☐	☐	☐	
Are outdoor storage areas behind the front façade or screened from view?	X	☐	☐	
Are solid waste/recycling areas screened from view as required?	X	☐	☐	
SPECIAL BUILDING CONSIDERATIONS (Section 33-94.03 J):	YES	NO	N/A	Comments
If a gas station or convenience store, are any canopies constructed with the same roof design and materials as the main building?	☐	☐	X	
Covered façade between multiple entrances?	☐	☐	X	
If an auto repair facility is involved, are open repair/ service bays screened from view on the main public right of way?	X	☐	☐	
REQUIREMENTS FOR HISTORIC DESIGN & DOWNTOWN SUPPORT DISTRICTS (Section 33-94.04)				
GENERAL DESIGN CRITERIA (Section 33-94.04 A):	YES	NO	N/A	Comments
Does the design of the structure reflect or enhance the historic character of this part of the community through:			X	
A. Similar or related architectural styling or character	☐	☐	☐	
B. Similar or related massing, proportions and scale	☐	☐	☐	
C. Similar or related fenestration treatment, relating to the repetition and rhythm of openings in exterior walls	☐	☐	☐	
D. Similar or related materials or textures	☐	☐	☐	
E. Colors approved by HPB	☐	☐	☐	
F. Similar or related architectural details and decorative treatments	☐	☐	☐	
Is the structure located as close to the street as possible? (Only applies if compatible with adjacent buildings)	☐	☐	☐	
Is glazing at street level transparent?	☐	☐	☐	
If project is within the Historic District, is there a Certificate of Appropriateness?	☐	☐	☐	
If project is a modification or addition to an existing structure, are changes consistent with the style and character of the existing building?	☐	☐	☐	
Does this project extend or enhance the city's streetscape?	☐	☐	☐	
Does the building design relate to the pedestrian scale of the area?	☐	☐	☐	

Where adjacent buildings present a consistent massing, does the proposed building treatment reinforce that effect?	☐	☐	☐	
If a historical style, is it preferred style? (Federal, Classical Revival or Mediterranean Revival)	☐	☐	☐	
ADDITIONAL DESIGN CRITERIA FOR LARGE COMMERCIAL ESTABLISHMENTS (Section 33-94.05)				
ARCHITECTURAL CHARACTER (Section 33-94.05 A):	YES	NO	N/A	Comments
Does the design avoid uninterrupted facades in excess of 100'?	☐	☐	X	
Are there variations in roof line to reduce the scale of mass or the structures?	☐	☐	☐	
If there are smaller commercial entities not part of the principal use, do they have exterior display windows and useable separate outside entrances?	☐	☐	☐	
Are exterior entrances clearly defined and highly visible?	☐	☐	☐	
Are exterior entrances protected from the weather and incorporate landscaping or landscape planters?	☐	☐	☐	
Does design reflect existing historic architecture of City?	☐	☐	☐	
PARKING, VEHICULAR AND PEDESTRIAN TRAFFIC (Section 33-94.05 B):	YES	NO	N/A	Comments
Are large parking areas separated into distinct areas through use of landscaping or other site features?	☐	☐	☐	
Is there a clear differentiation between vehicular and pedestrian routes on the site?	☐	☐	☐	
Are contrasting or distinctive paving materials used to distinguish pedestrian areas from vehicular areas?	☐	☐	☐	
Are any temporary display and sales areas limited to arcaded areas structurally integrated into the design of the principal structure?	☐	☐	☐	
Are these temporary display and sales areas designed so as not to impede pedestrian or vehicular traffic?	☐	☐	☐	
Are any permanent shopping cart storage areas either contained within the principal structure or screened from view?	☐	☐	☐	
BUILDING PERIMETER LANDSCAPING (Section 33-94.05 C)	YES	NO	N/A	Comments
Is there perimeter landscaping adjacent to the primary facades and at entrance areas?	☐	☐	☐	
Does the perimeter landscaping conform to the minimum requirements as to size, type and spacing?	☐	☐	☐	

Issues for record SP23-097**Job Address: 2308 S WOODLAND BLVD, DELAND FL 32720****Job Description: Project proposes to expand the current Coggin Hyundai dealership building and alter the parking lot to allow for truck movements throughout the site.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Spot Grade elevations adjacent to the building						
Engineering	Draft	Please check proposed spot grade elevations adjacent to the Northwest section of the building for positive drainage. It appears that stormwater runoff is going toward the building area (D-3 Elev. = 30.75', Adjacent building grades 30.19', 30.15', ...) In addition, proposed 24" RCP will connect to an existing 18" pipe. Has storm sewer design performed to make sure it is okay?	C5.1	Ray Bahrami	Ray Bahrami	Yes
Retaining Wall						
1. It appears that proposed retaining walls will be designed by others. If that is the case, they need to be labelled on the plans. 2. There are multiple call-outs for Start Retaining Wall without any ending by the dumpster area. Last comment from reviewer: You may want to include a call out "Designed by Others". Last response: All retaining walls have been labeled. The structural plans for the wall around the dumpster will be included in a subsequent submittal. Top and bottom of wall elevations have been added to the plans.						
Engineering	Not Accepted		C5.1	Ray Bahrami	Ray Bahrami	Yes
Stop sign						
1. Is there an existing stop sign and stop bar by exit to Woodland Blvd.?						
Engineering	Not Accepted		C4.1	Ray Bahrami	Ray Bahrami	Yes
Last comment from reviewer: Please change the spelling to Sign (It is spelled as Sing). Last response: There is an existing stop bar at the northern exit and a stop sign and stop bar at the southern exit to Woodland Blvd. Refer to the existing conditions sheets for locations.						
Forestry	Not Accepted		L1.51	Mariellen Calabro	Kit Dennis	Yes
Note O. 13. Removal of all sucker growth is not a recommended pruning practice. Limit sucker removal to the lower third of the trunk. Suckers in the branches should be removed,						

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
reduced, and retained according to pruning best management practices.						
Last comment from reviewer: Has not been revised.						
Last response: The plans have been revised accordingly.						
Note H. 2.						
Forestry	Not Accepted	Do not place mulch directly on top of the root ball of newly planted trees or within six inches of existing trees.	L1.51	Mariellen Calabro	Kit Dennis	Yes
Last comment from reviewer: Has not been revised.						
Last response: The plans have been revised accordingly.						
Note 2a						
Forestry	Not Accepted	Add "and approval of City Forester" to the end of the sentence.	L1.51	Mariellen Calabro	Kit Dennis	Yes
Last comment from reviewer: Has not been revised.						
Last response: This note has been added to plan sheet.						
Plant Schedule						
Forestry	Not Accepted	For 4" DBH credit on Live Oaks, increase to 14' height and 8' spread. Once you do this, you plan would provide 112" DBH of replacement.	L1.03	Mariellen Calabro	Kit Dennis	Yes
Last comment from reviewer: Modifications not shown.						
Last response: The plant schedule has been modified to 14' height and 8' spread.						
The second note 9						
Forestry	Not Accepted	9. Trees who's root systems will be impacted... Remove this note as pruning is not necessary to compensate for root loss.	L0.55	Mariellen Calabro	Kit Dennis	Yes
Last comment from reviewer: Note has not been removed.						
Last response: Note removed per comment - sheet L0.55.						
Tree Replacement Required and Provided						
Forestry	Not Accepted	These numbers do not match what is shown on the tree removal plan and landscape plans.	L0.54	Mariellen Calabro	Kit Dennis	Yes
Last comment from reviewer: The numbers do not match.						

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Last response: the tree removal plan and landscape plans have been revised to be consistent.						
Laurel Oak removals						
Forestry	Not Accepted	Reduced replacement on laurel oaks requires an arborist report.				
		Last comment from reviewer: Tree Replacement Worksheet still shows reduced replacement for the deteriorated Laurel oaks of 20" DBH and greater.	L0.53	Mariellen Calabro	Kit Dennis	Yes
		Last response: Revised tree replacement calculations have been adjusted.				
Total Inches to be mitigated						
These numbers do not match what I came up with. Please provide the requested excel spreadsheet to confirm replacement requirements. Tree removals do not appear to be shown for L0.52. They do not match what is shown on C3.2.						
Forestry	Not Accepted	Last comment from reviewer: Sheet L0.52 still doesn't match with sheet C3.2.	L0.50	Mariellen Calabro	Kit Dennis	Yes
		Last response: This plan have been revised per feedback from the reviewer.				
Tree Data						
Please provide an excel spreadsheet showing trees removed and trees preserved.						
Forestry	Not Accepted	Last comment from reviewer: There are four historic Cypress trees (52400, 52405, 52408, 52409) and four specimen Cypress trees (52401, 52403, 52404, 52410) that need to be labeled as such. All are being preserved according to the chart. There are several "pines" that need to be identified by species due to their DBH. They may be specimen if they are Longleaf pines. The tree worksheets will need to be adjusted.	C0.0	Mariellen Calabro	Mariellen Calabro	Yes
		Last response: The excel spreadsheet has been included in this submittal.				
Building Perimeter Landscaping						
Planning	Draft	Per the Community Design Standards Section 33-92.03(j)3, building perimeters are required to be landscaped adjacent to the primary façade. Please see the requirements for canopy trees, understory trees, and shrubs. This is primarily regarding the area of the currently proposed garage doors on the front facade, which need to be relocated.	L1.00	Melissa Winsett	Melissa Winsett	Yes
Sheet Mislabeled						
Planning	Draft	This sheet is mislabeled as a Tree Protection Area Plan. Please revise to label it as a Site Plan.	C4.2	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Recalculation Request	C4.3	Melissa Winsett	Deborah Click	Yes

Please verify that tree protection requirements are met and update the data table.

Discipline	Status	Sheet	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Sheet is mislabeled as an Overall Paving, Grading and Drainage Plan. Please revise to label it as a Tree Protection Area Plan.	C4.3	Melissa Winsett	Melissa Winsett	Yes
Truck Loading/Unloading Area						
Planning	Draft	Please identify the location of truck loading/unloading area in the project area. Such area is located within the Vehicle Storage Lot.	C4.1	Melissa Winsett	Melissa Winsett	Yes
Identify Dashed Line						
Planning	Draft	Please label the dashed line located north of the driveway on sheet C4.1.	C4.1	Melissa Winsett	Deborah Glick	Yes
Landscape Buffer line						
Planning	Draft	Correct the Landscape Buffer dashed line to match that used on the plan.	C4.1	Melissa Winsett	Melissa Winsett	Yes
Detail						
Planning	Draft	Please provide a detail for all proposed fences and retaining walls including the proposed gravity wall adjacent to the compactor. Any fence, wall, or visual screen visible from public ROW shall be designed to match that of the principal structure. Please refer the Community Design Standards (33-94) (Fences, Walls, Screens and Landscape Buffers).	C4.1	Melissa Winsett	Melissa Winsett	Yes
Landscape Buffers						
Planning	Draft	Please show all Redevelopment Gateway Standard-required Landscape Buffers. If signage is being updated, please show all signage too.	C4.0	Melissa Winsett	Melissa Winsett	Yes
Pedestrian Access						
Planning	Draft	Please show all existing and proposed pedestrian accessways with dimensions including accessible routes to comply with the Florida Accessibility Code. Show how pedestrians will safely access the site from the Woodland Blvd sidewalks.	C4.0	Melissa Winsett	Melissa Winsett	Yes
Bicycle Parking						
Planning	Draft	Staff was unable to locate the required bicycle parking, number and placement of racks. Please identify location of bike parking if provided.	C4.0	Melissa Winsett	Deborah Glick	Yes
Project Area West Side						
Planning	Draft	A dashed "X" line is shown on the west side of the project area. This is typically a fence, but the plans cannot confirm this. Please include the dashed "X" line in the legend. Also, explain how this impacts the location of the large compactor since the dashed "X" line runs through it vertically.	C3.3	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Original Building Footprint						
Planning	Draft	For clarity, please delineate the original building's footprint with a bolder line. It currently blends into the new construction's proposed footprint.	C3.3	Melissa Winsett	Melissa Winsett	Yes
A400 (Exterior Elevations), City Architect Place Holder						
Planning	Draft	Please refer to the comment review sheet, included in as a separate document labeled "City Architect Comments" in the Documents section.	C0.0	Melissa Winsett	Melissa Winsett	Yes
A400 (Exterior Elevations), Building Signage						
Planning	Draft	Identify existing and proposed signage. A separate sign permit is required for any new signage.	C0.0	Melissa Winsett	Deborah Glick	Yes
A400 (Exterior Elevations), Required Screening:						
Planning	Draft	Please verify that overhead doors are not visible from the public right-of-way.	C0.0	Melissa Winsett	Melissa Winsett	Yes
A400 (Exterior Elevations), Garage Door Placement:						
Planning	Draft	Please verify that overhead doors are not visible from R.O.W.	C0.0	Melissa Winsett	Deborah Glick	Yes
A400 (Exterior Elevations), Photometric Plans						
Planning	Draft	Please include Photometric Plans. Note: Please demonstrate that the photometric readings will not exceed 0.5 foot-candles off-site by providing levels at or beyond the property line.	C0.0	Melissa Winsett	Melissa Winsett	Yes
A400 (Exterior Elevations), Legend						
Planning	Draft	(Sheet A400 was not shown in the Plan Room; therefore, those comments will be placed on the Cover Sheet.) Please provide a legend for all call outs on Sheets A400 and A401. For example, identification is needed for the numbers in the circles, hexagons, and squares.	C0.0	Melissa Winsett	Melissa Winsett	Yes
Landscape buffers						
Planning	Not Accepted	Landscape buffers not shown. Delineate buffer locations, lengths and widths on landscape plan. Provide a table of what is required vs. what is being provided for the buffer width and required plantings. a. The site is adjacent to Woodland Blvd, a Redevelopment Gateway Corridor, which requires landscape buffers that meet Sec. 33-36.05 buffer requirements. Everything else shall follow the general landscape section in the code Sec. 33-92. b. Per Section 33-92, "Redevelopment projects that require a Class II, III or IV site plan shall be required to meet the landscaping requirements of section 33-92 to the fullest extent possible. Due to site limitations, the technical review committee, planning board or	L 1.00	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		the city commission, depending on the type of site plan, may allow modifications that still meet the intent of the regulations. (33-92.01(c))”				
		Last comment from reviewer: Per previous comment, Woodland Blvd is a Redevelopment Gateway Corridor that requires a 30-ft landscaped buffer that meets the requirements of 33-36. A 30-ft landscape buffer is shown on the site plan; however, a buffer isn't shown on the landscape plan sheets. Please provide a table that demonstrates adherence to the code (see Table 33-92.02(b)) a. A minimum 30-foot-wide landscape buffer shall be required along the overlay street frontage. b. The buffer shall be planted with material appearing on the city's approved plant list. c. Canopy trees shall have a minimum four-inch diameter at breast height (DBH) and 14 feet in height at planting. The number of trees shall be based on meeting the requirements of Buffer Standard "D" along the overlay street frontage. The technical review committee will determine the actual spacing of the vegetation, which may include the grouping of trees. Last response: Buffer locations have been added to the plans.				
		Parking Lot Islands Per 33-92.02, parking bays cannot contain more than 15 continuous parking spaces or extend more than 150 ft without being broken up by a landscaped area – Minimum width 9-ft and minimum size of 72 SF. Please provide this calculation on the plan and show dimensions. Last comment from reviewer: See VUA Requirements updated comment. Last response: A landscape island has been added to meet these requirements.				
Planning	Not Accepted		L1.00	Melissa Winsett	Melissa Winsett	Yes
		VUA Requirements A parking calculation was provided showing that 24 total spaces are required. Please provide the information used in this calculation. Last comment from reviewer: Per 33-92.02, parking bays cannot contain more than 15 continuous parking spaces or extend more than 150 ft without being broken up by a landscaped area – Minimum width 9-ft and minimum size of 72 SF. The Landscape Calculations Table refers to the number of VUA trees required (1 tree per 75 SF) on the site, which is correct. However, per 33-92.02, each row of interior parking spaces in a parking lot is required to be terminated at each end by a landscaped area. Vehicle Use Areas landscape area requirements are located in 33-92.02(a)7. a. Sec. 33-57.07. All redevelopment projects that require a Class II, III, or IV site plan				
Planning	Not Accepted		L1.00	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		shall be required to meet the tree preservation area requirements of section 33-57 to the fullest extent possible. Due to site limitations technical review committee, planning board, or the city commission, depending on the type of site plan, may allow modifications, including modification of the size, number, species, and placement of trees in a manner which meets the intent of the regulations.				
		Last response: The plan sheet has been revised.				
		Tree Protection Area (TPA)				
		Please see forestry comments regarding clarification to TPA information on plan..				
		Last comment from reviewer: Since the Site Data Table and the Landscape plans were prepared for 6.55 Acre project site, the Tree Protection Areas should be calculated based on the same area size. Please do not include the Vehicle Storage Lot SP22-200 application Tree Protection Area calculation since they were approved under a different site plan, use, and area that did not front Woodland Blvd.				
Planning	Not Accepted	a. Sec. 33-57.07. All redevelopment projects that require a Class II, III, or IV site plan shall be required to meet the tree preservation area requirements of section 33-57 to the fullest extent possible. Due to site limitations technical review committee, planning board, or the city commission, depending on the type of site plan, may allow modifications, including modification of the size, number, species, and placement of trees in a manner which meets the intent of the regulations.	L1.00	Melissa Winsett	Melissa Winsett	Yes
		Last response: The updated calculations have been included in this submittal.				
		Incomplete Autoturn Area				
		Please revise the plan to depict access to the vehicle storage area (site plan recently approved) on the rear of the site. The parking lot is part of the site. Label areas for clarity.				
		Last comment from reviewer: The onsite circulation seems confusing since the site plan has so many proposed parking lot changes and modified access for the modified building as well as from the new inventory storage lot in the rear. Please provide a signage and striping plan to show how motorists will safely navigate on-site. As an example, inbound motorists using the north driveway appear to have to veer to the right or make a left turn. Since veering to the right is the vehicle delivery truck route to the vehicle storage lot, please show how this will be clear to the truck drivers and how customers will know to not park in the way of trucks needing to pass.	C9.0	Melissa Winsett	Melissa Winsett	Yes
Planning	Not Accepted					
		Last response: The truck routing plan has been updated.				

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Car Wash Access						
Planning	Not Accepted	Demonstrate how the car wash in the rear of the property will be accessed.				
		Last comment from reviewer: It is understood that the carwash is for employee use only, but explain and depict on the site plan the method of informing motorists that the carwash is one-way.	C5.0	Melissa Winsett	Melissa Winsett	Yes
		Last response: A directional arrow has been added to the plan to show how the car wash will be accessed.				
Bicycle Parking						
Planning	Not Accepted	Please indicate the provided bicycle parking and show the locations (See Sec. 33-91.03(1))				
		Last comment from reviewer: Staff was unable to locate bicycle parking on the site plan. Please identify location of bike parking if provided.	C4.1	Melissa Winsett	Melissa Winsett	Yes
		Last response: The existing driveway will be widened and resurfaced.				
Site Data Table:						
Planning	Not Accepted	Per related Cover Page comment, please include an updated site data table with an additional column with all changes (numbers, amounts, etc.) called out. The four columns in the site data table should include 1) Specific Item (Zoning District, Landscape buffers, Tree Protection Areas, Parking, Density, etc.), 2) Required (code Requirement for each item), 3) Previous Site Plan (what the approved site plan included), and 4) Proposed Site Plan (what the proposed site plan is including). *Site Data Tables typically include 1) total area of site with percentages allocated to Existing/New for: Building Area, 2) Pavement/Sidewalks/Impervious Area, and Open Space. 3) Include Gateway Overlay "Redevelopment Gateway," which require landscape buffer "C" standard, 4) Building Height information, 5) Tree Protection Area Information, 6) Density/FAR, 7. Minimum Lot Area, 8) Gross and Net Floor Area. If the items aren't proposed to change, state this in the table so the reviewer understands why the information is omitted.				
		Last comment from reviewer: Per previous comment, please include the following information/changes in the Site Data Table:	C4.0	Melissa Winsett	Melissa Winsett	Yes
		Tree Protection Areas (Show Areas on plan and include calculations for Required, Existing, and Proposed conditions.), Landscape buffers (Please update the "Required" and "Proposed" columns.), Impervious (include the required 70% Maximum Impervious threshold for C-2 zoning.), and Vehicular Parking (Please add the number of handicap parking spaces.)				
Last response: This has been updated on the overall site plan						

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Required Submittal Items						
Planning	Not Accepted	Please add/adjust the following on the Cover Sheet: 1) Title block with the name of the development, scale, a north arrow, and date 2) Both location and vicinity maps must be to-scale (depict where the 2 areas shown in boxes on sheet C3.0 are located within the property). 3) Linear dimensions and size of parcel(s). 4) Indicate that the site is within the City of Deland, FL and show municipal boundary lines in the Location Map. **Please be sure the statement of intended use is clear in case the public requests to review the application. Provide more detail regarding the proposed changes to the existing site. Last comment from reviewer: Per previous comment, please show the municipal boundary lines in the Location Map. Also, please move the statement of intended use/project description from Sheet C2.0 to C.0. Last response: Acknowledged.	C0.0	Melissa Winsett	Melissa Winsett	Yes
Trip Generation Calculation						
Planning	Not Accepted	In lieu of providing the required trip generation report, please provide a trip generation calculation that documents the net increase in trips. Last comment from reviewer: Trip Generation Calculations were not found. Since additional project information was provided, staff calculated an increase of 51 PM peak-hour trips. No TIA is required. Please include this statement on the plans and note where in the plans the information is being added. Last response: All overall plans have been updated to show the full property extents.	C0.0	Melissa Winsett	Melissa Winsett	Yes
Planning	Not Accepted	Description of Work/Request for Letter of Intent Provide a detailed project narrative with the next submittal. Please include: all aspects of the project - including existing and proposed square footages, building areas, parking, lighting, etc. For example: "to expand the current Coggin Hyundai dealership building and alter the parking lot to allow for truck movements throughout the site." Beyond this statement, the project intent remains unclear after reviewing the plans. A large majority of the proposed building appears to be new construction as opposed to a building expansion. Additionally, the vehicle storage parking area, approved under a separate site plan review, isn't shown in the plan; therefore, the proposed parking lot changes aren't fully understood. Please provide a clear intent statement that itemizes all the proposed changes (including numbers, size/area, amounts, etc.). Also, updated impervious area percentage, changes to the landscape islands, removed landscaping or impervious areas, any reduction in previously approved parking, changes to the approved photometric plan (it appears that the existing poles and parking lot lighting is being removed), etc. Clearly explain if modifications are being made to the access points, if applicable. Additionally, please include an updated site data table with an additional column with all changes (numbers, amounts, etc.) called out. The four columns in the site data table should include 1) Specific Item (Zoning District, Landscape buffers, Tree Protection Areas, Parking, Density, etc.), 2) Required (code Requirement for each item),	C0.0	Melissa Winsett	Melissa Winsett	Yes

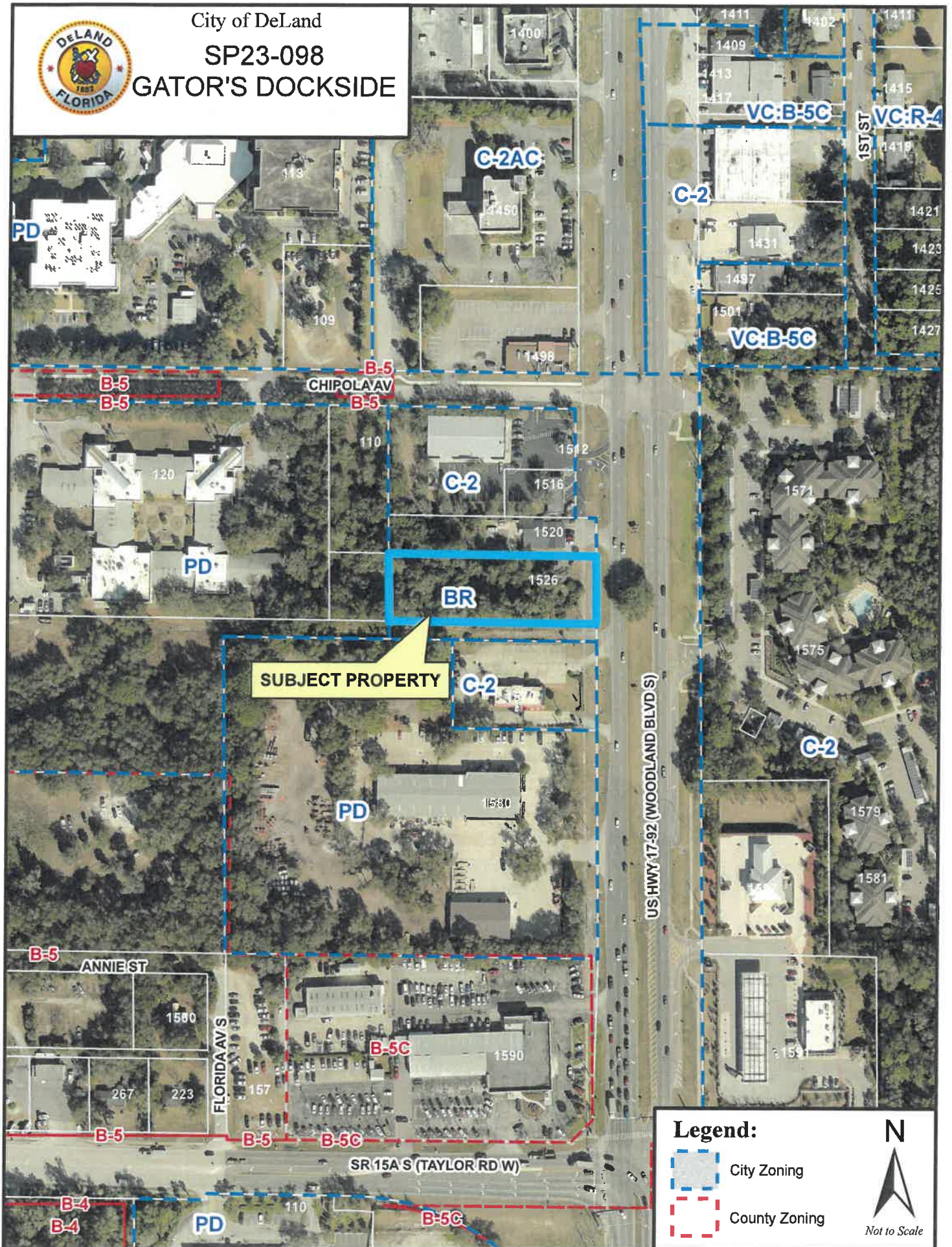
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
3) Previous Site Plan (what the approved site plan included), and 4) Proposed Site Plan (what the proposed site plan is including). Last comment from reviewer: A Project Description is included on Sheet C2.0 that states, "THIS PROJECT PROPOSES A BUILDING EXPANSION AT THE COGGIN HYUNDAI OF DELAND." Per the previous comment, please expand this to provide a clearer description of the project. The Letter of Intent provided a good summary of the project and was very helpful for review staff, but that information is not in the plans. Please understand that plans have to be clear for public records purposes. Also, please move the statement to the Cover Sheet (Sheet C0.0). Also, related to the response to comment, see Site Data Table and related comments on Sheet C4.0. Last response: A letter of intent has been included with this submittal and the site data table has been updated on the overall site plan.						
Utilities	Not Accepted	Details These are the wrong details, the correct details are dated 11/7/22 please replace with correct details Last response: The City details have been updated.	C6.5	Scott Zender	Jim Ailes	Yes
Utilities	Not Accepted	Details These are the wrong details, the correct details are dated 11/7/22 please replace with correct details Last response: The City details have been updated.	C6.4	Scott Zender	Jim Ailes	Yes

OLD BUSINESS

7

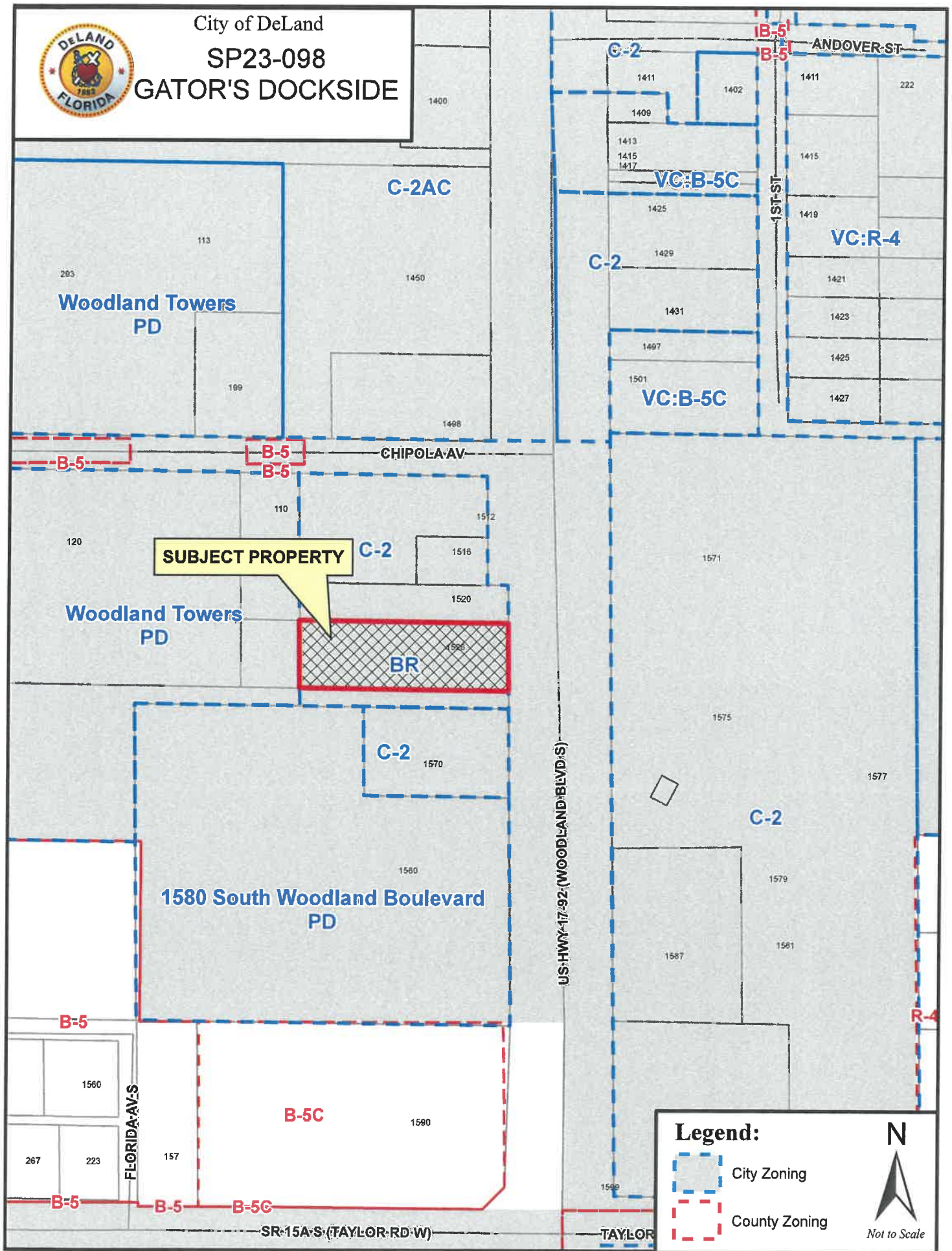


City of DeLand
SP23-098
GATOR'S DOCKSIDE





City of DeLand
SP23-098
GATOR'S DOCKSIDE



Legend:

- City Zoning
- County Zoning



Issues for record SP23-098**Job Address: 1526 S WOODLAND BLVD, DELAND FL 32720****Job Description: Propose a Gator's Dockside restaurant on a 0.824 acre parcel with site improvements consisting of paving, site grading, stormwater facility, and utilities.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Tree Protection Area						
Clearly show the limits of the 15% Tree Protection Area. This area should be shaded and clearly labeled.						
Forestry	Not Accepted	Last comment from reviewer: It doesn't appear that your Tree Protection Area meets the minimum width requirements. Minimum width is 30' for protecting existing trees, and 20' for replacement trees. Please show the measurements of your Tree Protection Area on the plan.	L1	Mariellen Calabro	Kit Dennis	Yes
Last response: Tree preservation area has been added to the landscape plan.						
Quercus nigra						
Quercus nigra is not typically found in this area. The deciduous trees on the property are most likely Quercus laurifolia.						
Forestry	Not Accepted	Last comment from reviewer: Please make the corrections based on the site visit. The trees in question were determined to be Quercus laurifolia.	02	Mariellen Calabro	Kit Dennis	Yes
Last response: A site visit has been scheduled to determine the tree species.						
Tree Removal Calculations						
Change trunk diameter for 6" trees to 54". Change total inches removed to 487. Change total replacement required to 162". Change proposed inches to 34", and deficit to 128".						
Forestry	Not Accepted	Last comment from reviewer: If you have nine six-inch DBH trees, you would have 54" total trunk diameter. This will change your total, replacement, and deficit calculations.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Last response: Tree removal calculations have been revised.						
Trees Removed and Preserved						
Forestry	Not Accepted	Please provide an excel spreadsheet showing trees removed and preserved.	L1	Mariellen Calabro	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Last comment from reviewer: Remove Water oak from the spreadsheet and add the trees previously listed as Water oaks to the Laurel oak count. (Based on the site visit information from Chris Jackson.) Last response: Excel Sheet showing the trees removed and preserved has been included in resubmittal.						
Grade 1 Trees						
Forestry	Not Accepted	All trees are required to meet Grade 1 specifications. In the Plant Schedule, please check the caliper and height against the latest version of Florida Grades and Standards and adjust, if needed. Also, include spread and container size for Grade 1 trees. Last comment from reviewer: American holly is listed in the Type 1 Tree Matrix and should have a crown diameter of 4'. Change the spread to 4' to meet the standard. Last response: The minimum sizes have been revised in the plant schedule.	L1	Mariellen Calabro	Kit Dennis	Yes
Mechanical Equipment						
Planning	Not Accepted	All rooftop mechanical equipment shall be screened. Show all rooftop mechanical equipment as dashed lines behind a screened wall. ***During the TRC meeting - it was determined that a small generator could encroach into the side setback (north side). Applicant stated that the generator would have a foot print of less than 3 feet in width and it would be properly screened." TRC found this to be acceptable. *** Last comment from reviewer: Please show the location of the mechanical equipment as dashed lines. Last response: Architectural plans have been revised to include a 48" high parapet which will provide screening for any proposed rooftop mechanical equipment.	06	Samuel Nelson	Samuel Nelson	Yes
Internal Landscaping Calculations						
Planning	Not Accepted	In the Redevelopment Overlay District, all nonresidential parking lots shall have internal landscaping equaling 10% of the total vehicle use area, including driveways, parking spaces, and vehicle storage and display areas. Where a pedestrian parking access pathway is required, the access pathway may be included in the required landscaping area. (33-36.05(b)2). Please show how this is being met. Last comment from reviewer: Please include calculations showing that the provided internal landscaping will equal 10% of the vehicle use area. Last response: Please see the hatch that has been added for the internal landscape area.	L1	Samuel Nelson	Samuel Nelson	Yes

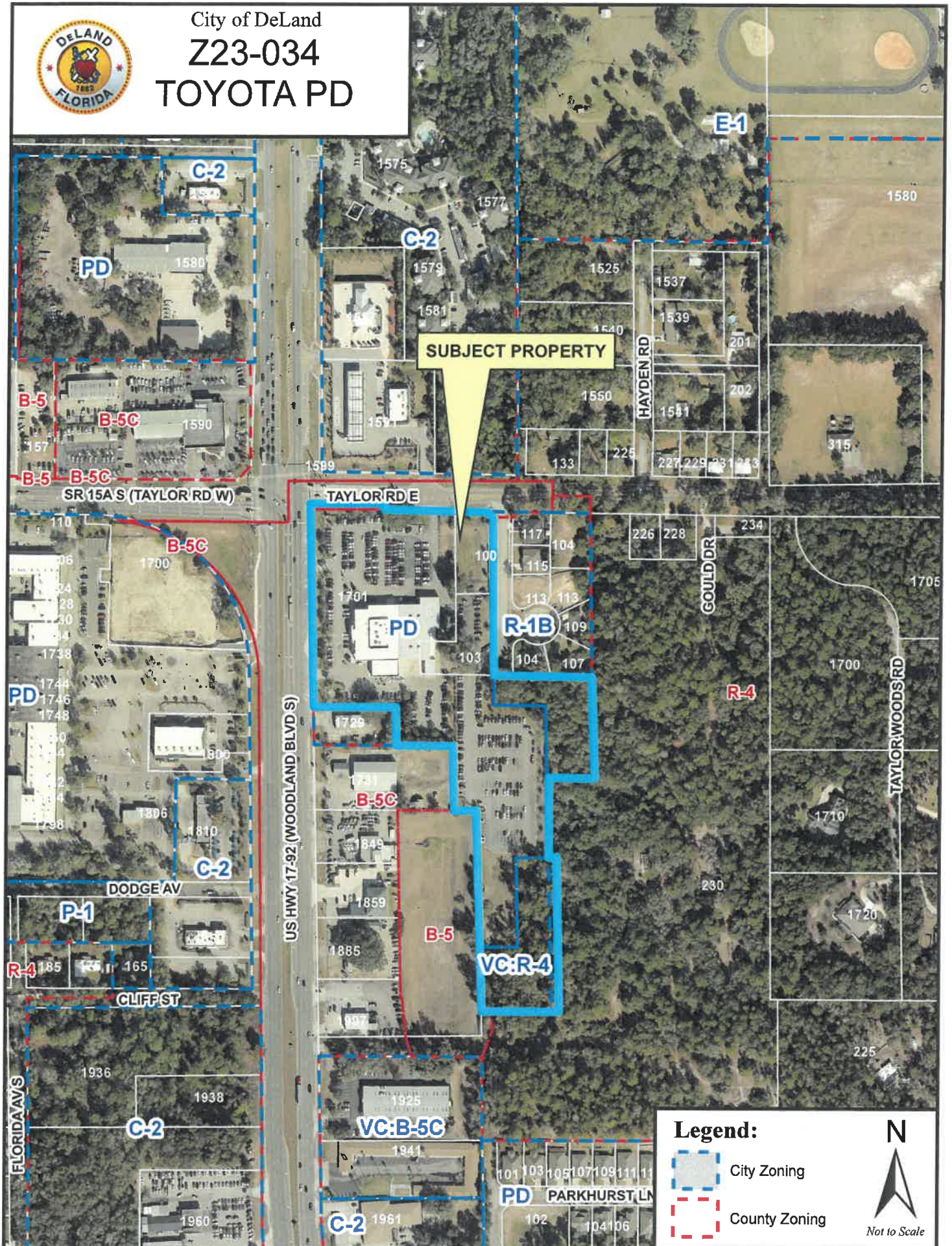
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Community Design Review						
Building colors are required to be submitted to complete the Community Design Review. Please include all manufacturers colors and materials.						
Planning	Not Accepted	Last comment from reviewer: Please provide a list of the colors used on the exterior of the building, as well as the percentage of the exterior each color covers. Last response: Building rendering with the proposed colors has been included in resubmittal.	A-5	Samuel Nelson	Samuel Nelson	Yes
Parking Stall Length						
Parking stalls are required to be 19' in length. Please confirm that each parking space will meet this requirement when including the vehicle overhang.						
Note: The vehicle overhang may not be counted towards stall length if it encroaches into the required 10' vehicle separation area. Please revise the plan to show that the overhang will not encroach.						
Planning	Not Accepted	33-91.06. (b) Last comment from reviewer: Please show the 10' vehicle separation area and show that the vehicle overhang will not encroach. Last response: The parking spaces have been revised to keep the vehicles out of the 10' separation area. The spaces along the southern portion of the site are 17' in length to the curb face with an additional 2' accounting for overhang. The effective parking space length is 19' and does not encroach in the required 10' separation.	06	Samuel Nelson	Samuel Nelson	Yes

NEW BUSINESS

1

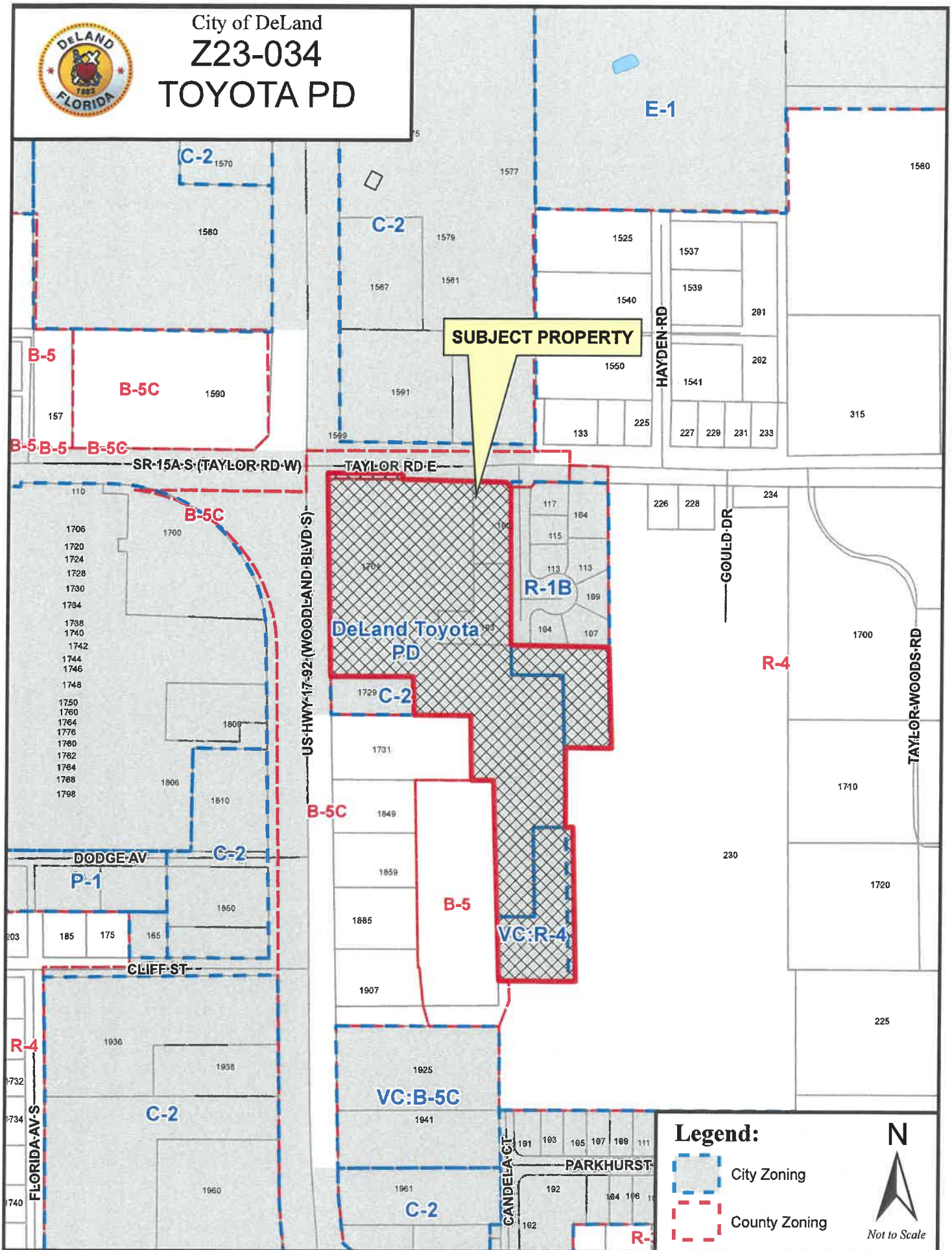


City of DeLand
Z23-034
TOYOTA PD





City of DeLand
Z23-034
TOYOTA PD



Issues for record Z23-034
Job Address: 1701 S WOODLAND BLVD, DELAND FL 32720
Job Description: Adding proposed 8,000 SF bldg. to existing development application.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Stormwater Management Area Are Retentions Areas 1 and 2 sized to handle additional impervious areas?		Ray Bahrami	Ray Bahrami	Yes
Fire	Draft	Roadway Widths Provide the widths of the roadways in the new lots.	Concept Plan PD Submission 6-16-2023.pdf	Jamie Lunsford	Jamie Lunsford	Yes
Fire	Draft	Auto Turn Provide auto turn data for the facility using the largest fire suppression apparatus operating in the city.	Concept Plan PD Submission 6-16-2023.pdf	Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	Tree Protection Area At least fifteen percent of the project area must be set aside as Tree Protection Area.	Concept Plan PD Submission 6-16-2023.pdf	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Data A tree survey for a portion of the project dated 2013 has been included. More recent survey information of the entire project area will be required prior to the site plan stage. Oaks must be identified by species as there are most likely specimen and historic trees in the project area.	Concept Plan PD Submission 6-16-2023.pdf	Mariellen Calabro	Mariellen Calabro	No
Planning	Draft	Combination All parcels must be combined before the Amended PD can move forward. Lot/parcel ownership must be addressed in order for the parcels to be combined. Please revise plans and address property ownership.	Concept Plan PD Submission 6-16-2023.pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Amended and Restated		Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Please revise the PD agreement as an "Amended and Restated" PD, following the template sent via email 6/29/23.						
Planning	Draft	Updated Concept Plan Once the parcels have been combined, a revised concept plan with updated lot lines and site data will be required.	Concept Plan PD Submission 6-16-2023.pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Building Encroachment The existing building encroaches into parcel 3. Buildings cannot cross property lines.	Concept Plan PD Submission 6-16-2023.pdf	Kendall Story	Kendall Story	Yes

NEW BUSINESS

2



City of DeLand
SP23-112
CHIPOTLE



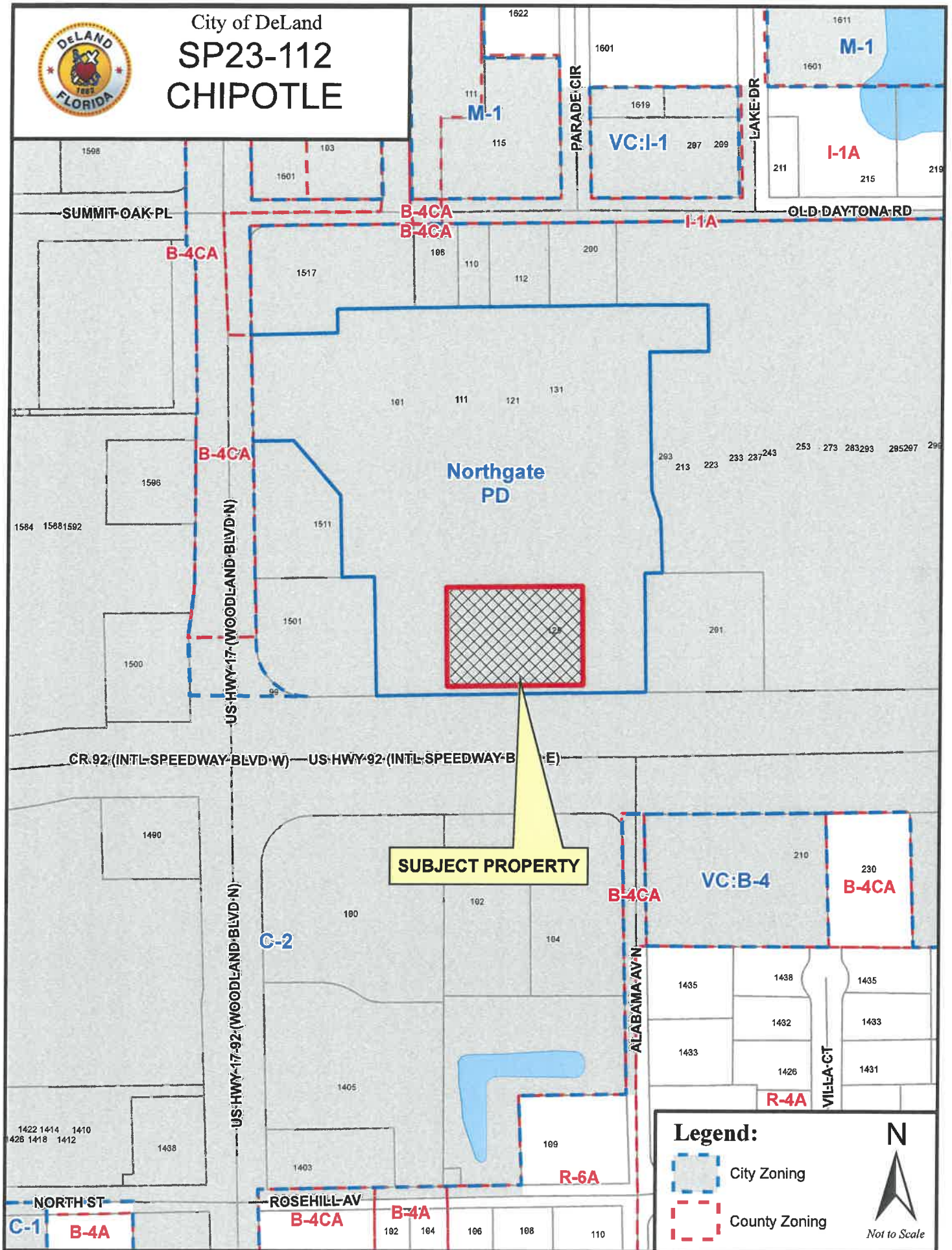
Legend:

- City Zoning
- County Zoning





City of DeLand
SP23-112
CHIPOTLE



Issues for record SP23-112**Job Address: 101 E INTL SPEEDWAY BLVD, DELAND FL 32724****Job Description: This project includes the construction of a 2,332 sqft restaurant & associated infrastructure**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
General Comments						
Engineering	Draft	1. Please check to make sure FDOT Drainage Permit is not required. 2. Will a construction fence be installed within project area boundary? Existing 18" RCP removals on north and east extends beyond project area boundary.		Ray Bahrami	Ray Bahrami	Yes
Cleanout and grease trap invert elevation						
Engineering	Draft	1. Is there a new cleanout proposed for sanitary sewer connection to the building? 2. How is new grease trap connected to existing sanitary sewer main? Please provide invert in and invert out elevation.	C8	Ray Bahrami	Ray Bahrami	Yes
Drainage Arrow and Geotechnical Report						
Engineering	Draft	1. Please show on the plan which existing storm inlets stormwater runoff from project site discharges to by using drainage arrows. 2. Per Note on this sheet, "Contractor to refer to Geotechnical Report for soil requirements and recommendations". Please provide a copy.	C7	Ray Bahrami	Ray Bahrami	Yes
Dumpster						
Engineering	Draft	1. Why is asphalt proposed rather than a 6" concrete in front of the new dumpster? Proposed concrete hatch needs to be shown where proposed concrete pad is located.	C6	Ray Bahrami	Ray Bahrami	Yes
Distance and exit lane width						
Engineering	Draft	1. What is the distance from the east side of the proposed building to back of the curb? 2. Why is a 12' wide lane reduced to 10' by the exit area?	C6	Ray Bahrami	Ray Bahrami	Yes
Roof Drain						
Engineering	Draft	There are two roof drain connections shown on the plan. Where do they discharge to?	C6	Ray Bahrami	Ray Bahrami	Yes
Tree Barricade						
Forestry	Draft		LA1	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Tree Barricade for trees that are to remain needs to be shown on the plan and in the legend.						
Tree Barricade Detail and Statement						
Forestry	Draft	Tree Barricade Detail and the following statement need to be added to the plan. "Tree barricades are required around all trees which have been designated on the site plan to be retained and protected. Prior to any clearing or construction activity occurring on the site, tree barricades shall be constructed by the contractor and approved by the City."	LA1	Kit Dennis	Kit Dennis	Yes
Planting Details						
Forestry	Draft	Planting Details need to be added to the plan.	LA1	Kit Dennis	Kit Dennis	Yes
Site Clearing & Grading Notes #3						
Forestry	Draft	Silt fence is never accepted as adequate tree protection. Tree Barricade must be installed where trees are to be protected. Silt fence may be installed in addition to the Tree Barricade.	C2	Kit Dennis	Kit Dennis	Yes
Protected Tree Replacement						
Forestry	Draft	Based on you Plant Schedule, you are planting 4" Cal Magnolias which would equate to 3" DBH trees. Change the DBH in the Protected Tree Replacement chart to 3" DBH and 9" Total DBH Provided.	LA1	Kit Dennis	Kit Dennis	Yes
Tree Specifications						
Forestry	Draft	Please add the spread measurements for the trees. Crape Myrtle - 3.5' SP (8' should be the min height) Magnolia - 6' SP Live oak - 5' SP (The min height for the Live oaks should be changed to 9' as well) All trees should meet Grade 1 specifications in the Florida Grades and Standards.	LA1	Kit Dennis	Kit Dennis	Yes
Site Acreage						
Forestry	Draft	The site acreage (.803 AC) is different from the site acreage on sheet C1 (.839 AC). Please correct whichever sheet that is not accurate. If sheet C1 is the accurate site size, the minimum DBH required for the site would need to be changed to 88 inches.	LA1	Kit Dennis	Kit Dennis	Yes
Trash Enclosure						
Planning	Draft	Please include elevations for the trash enclosure and confirm it will match in appearance to the primary building.	A301	Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Construction Area						
Planning	Draft	Please show the construction entrance to the project, and which areas will be blocked off.	C5	Samuel Nelson	Samuel Nelson	Yes
Cross Access						
Planning	Draft	Please confirm that the cross-access easement with the Taco Bell is still in effect.	C5	Samuel Nelson	Samuel Nelson	Yes
Accurate Square Footage						
Planning	Draft	Please confirm the correct building size is shown throughout the plans. There are 3 different measurements shown. (.053 AC = 2,352.24 sf, 2,332 sf, and 2,325 sf shown on the plans)	C1	Samuel Nelson	Samuel Nelson	Yes
PD Amendment						
Planning	Draft	The Northgate PD will need to be amended to include the standalone restaurant building in the concept plan.	C1	Samuel Nelson	Samuel Nelson	Yes
Parcel I.D. #						
Planning	Draft	There is an extra 0 in the Parcel I.D. # shown. The correct # is 700441000010.	C1	Samuel Nelson	Samuel Nelson	Yes
Rooftop Mechanical Equipment						
Planning	Draft	All rooftop mechanical equipment shall be screened. Show all rooftop mechanical equipment as dashed lines behind a screened wall.	LA1	Samuel Nelson	Samuel Nelson	Yes
Other Tenant Parking						
Planning	Draft	How many parking spaces are being removed from the site total? Please show how the other tenants will meet the parking requirements.	C1	Samuel Nelson	Samuel Nelson	Yes
Exterior Wall Mounted Lighting						
Planning	Draft	Please show any exterior wall mounted lighting on the photometric plan and update the photometric plan to include this wall mounted lighting.	SL3.0	Samuel Nelson	Samuel Nelson	Yes
Utility Details						
Utilities	Draft	Need to change out details to the latest version. 11/7/2022	C10	Jim Ailes	Jim Ailes	Yes
City Details						
Utilities	Draft		C9	Jim Ailes	Jim Ailes	Yes

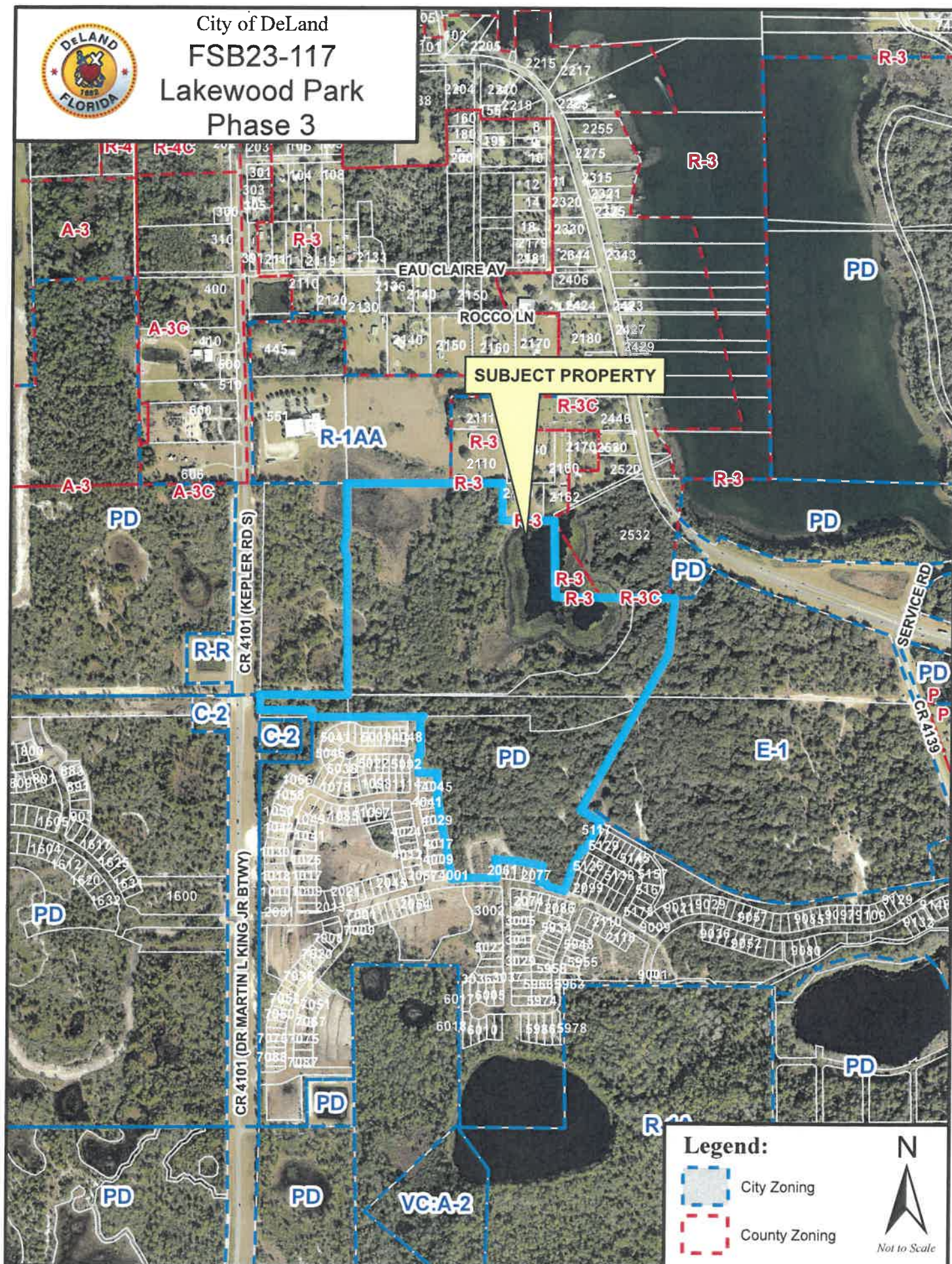
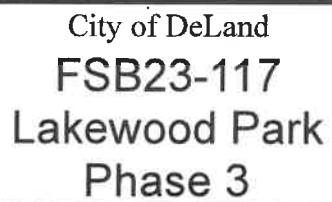
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Latest details are date 11/7/2022 please update.						
Utilities	Draft	Grease Trap Show grease trap connection to sewer lateral.	C8	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Tap Size Why are you doing a 12" x 6" tap, if only needing a 2" poly line?	C8	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Potable Water Notes #16 and #18 Deland Utility Department Phone Number should be 626-7250 not 7051	C3	Scott Zender	Scott Zender	Yes
Utilities	Draft	Utility Contact information Missing Utility Contacts	C1	Scott Zender	Scott Zender	Yes

Conditions and notes for record SP23-112**Job Address: 101 E INTL SPEEDWAY BLVD, DELAND FL 32724****Job Description: This project includes the construction of a 2,332 sqft restaurant & associated infrastructure**

Discipline	Status	Type	Details	Attached To	Created By
Planning	Draft	Note	Sign Requirements Maximum allowable building sign area is determined by Sec 33-75.04 of the Land Development Regulations. Additionally, any new monument signage will be subject to the additional requirements of the Emerging Gateway District. (33-36.04) 33-75.04. (b) Building Signs 2. For buildings and for each tenant storefront 50 feet in length or less, the maximum sign area shall be determined by multiplying the building front foot (length of building that faces street) by 1.5 feet. 33-36.04. (c) Emerging Gateway District. In the emerging Gateway District, ground-mounted monument signs are permitted; however, pole-mounted signs are specifically prohibited. 1. Ground-mounted monument signs shall comply with the following criteria: a. Size of sign. (3) Any property having a total area of more than five acres may have one double-faced sign per street frontage, with a maximum of 128 square feet of sign area per side. b. Height of sign. The maximum height of any monument sign shall be eight feet, including base, sign area, supporting structure, and/or architectural embellishments.	A301	Samuel Nelson
			Signage All signage shown is for illustrative purposes only; a separate sign permit will be required.		

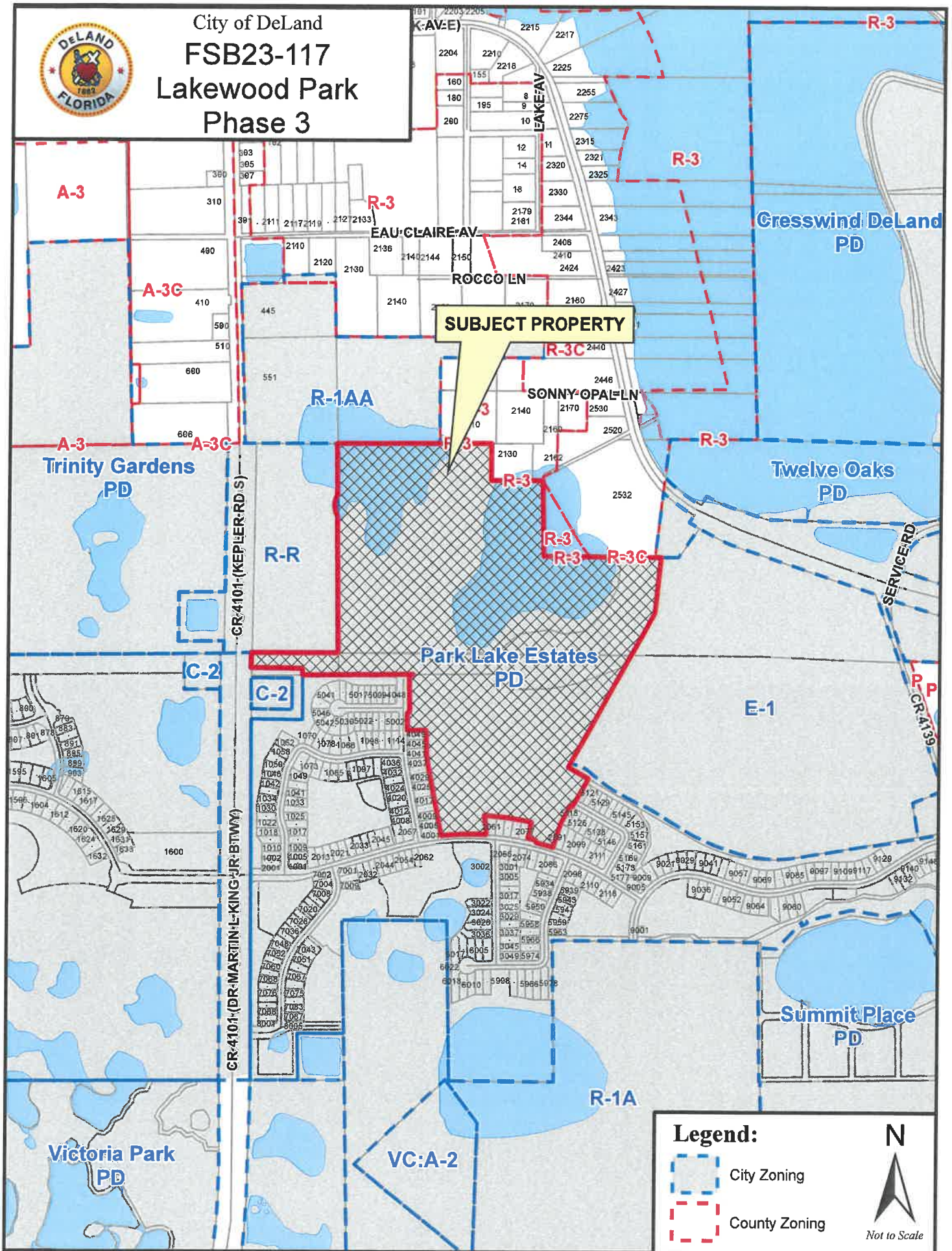
NEW BUSINESS

3





City of DeLand
FSB23-117
Lakewood Park
Phase 3



Issues for record FSB23-117
Job Address: 0 CR 4139, DELAND FL 32724
Job Description: FINAL SUBDIVISION PLAT

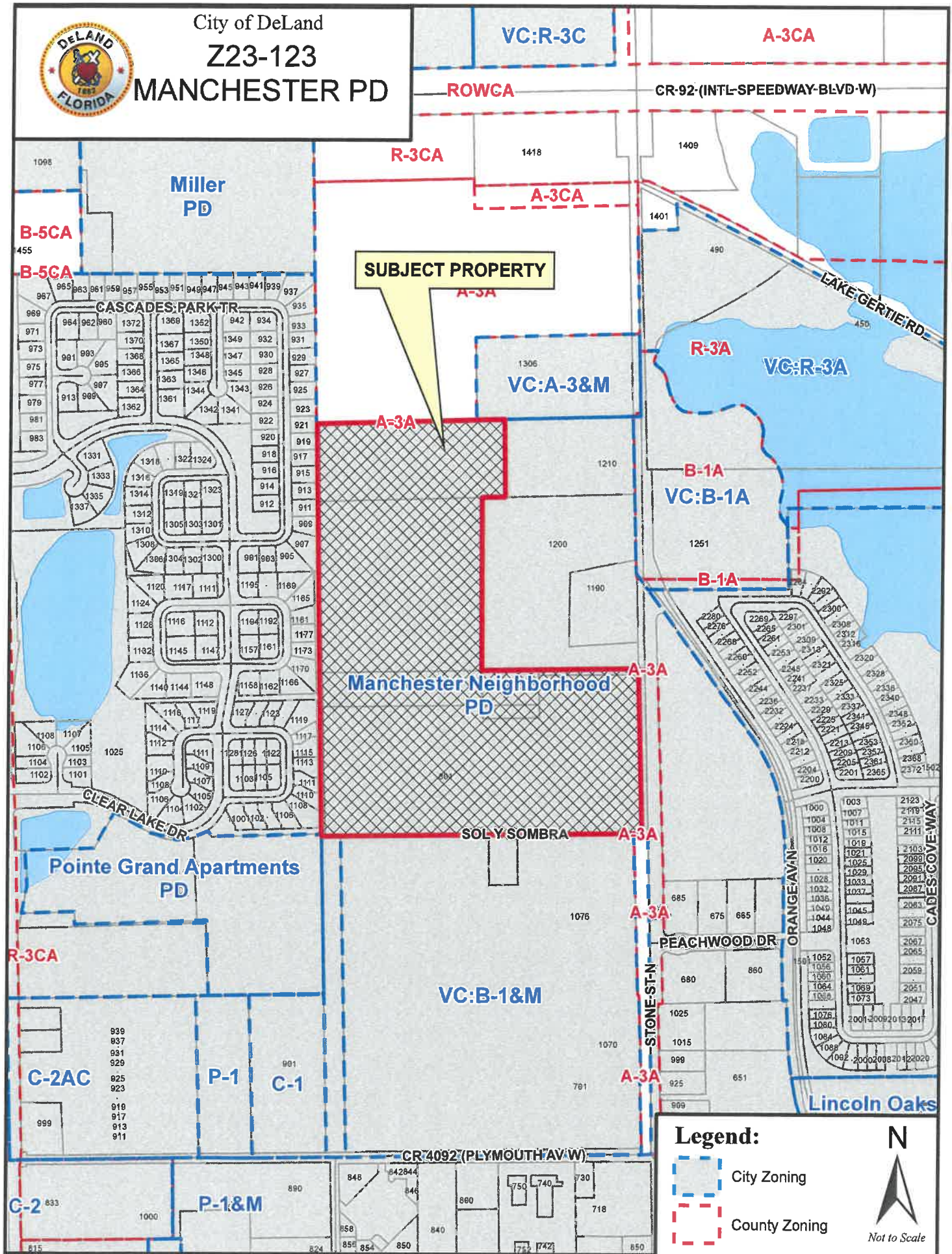
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Notes 5 and 8						
Forestry	Draft	Note 5 includes a TPA-15, which is not included in Note 8, which has a TPA-14A listed, which does not appear to be included in the next few pages. Please update the notes to match actual TPA numbers.	SHEET 1 OF 7	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Note 2 Change US to USE in line 2.	SHEET 1 OF 7	Mariellen Calabro	Mariellen Calabro	Yes
Adjustments						
Planning	Draft	The PD agreement and legal description will need to be updated to reflect the adjusted property parameters for the removal of TPA-15.	SHEET 1 OF 7	Belinda Collins	Belinda Collins	Yes
TPA						
Planning	Draft	Due to the reduction of the overall project size (TPA reduced by 3.41 acres) the project does not meet the minimum TPA requirement of 15%. The PD agreement needs to be revised to address the removal of TPA-15 and allow for a reduced minimum TPA%.	SHEET 2 OF 7	Belinda Collins	Belinda Collins	Yes
Clean up items						
Planning	Draft	Cleanup items: - Item 2 – "...for the perpetual use of the public utilities." - Item 8 – Clarify if there is a Tract TPA-14A - Item 18 - Fix spelling/grammar of several words in the text. - Item 19 - Fix spelling/grammar of several words in the text. - Item 21 - Fix spelling/grammar of several words in the text. - Dedication block – paragraph 6 correct wetland buffers notation from 1B-14 to WB-14.	SHEET 1 OF 7	Belinda Collins	Belinda Collins	Yes

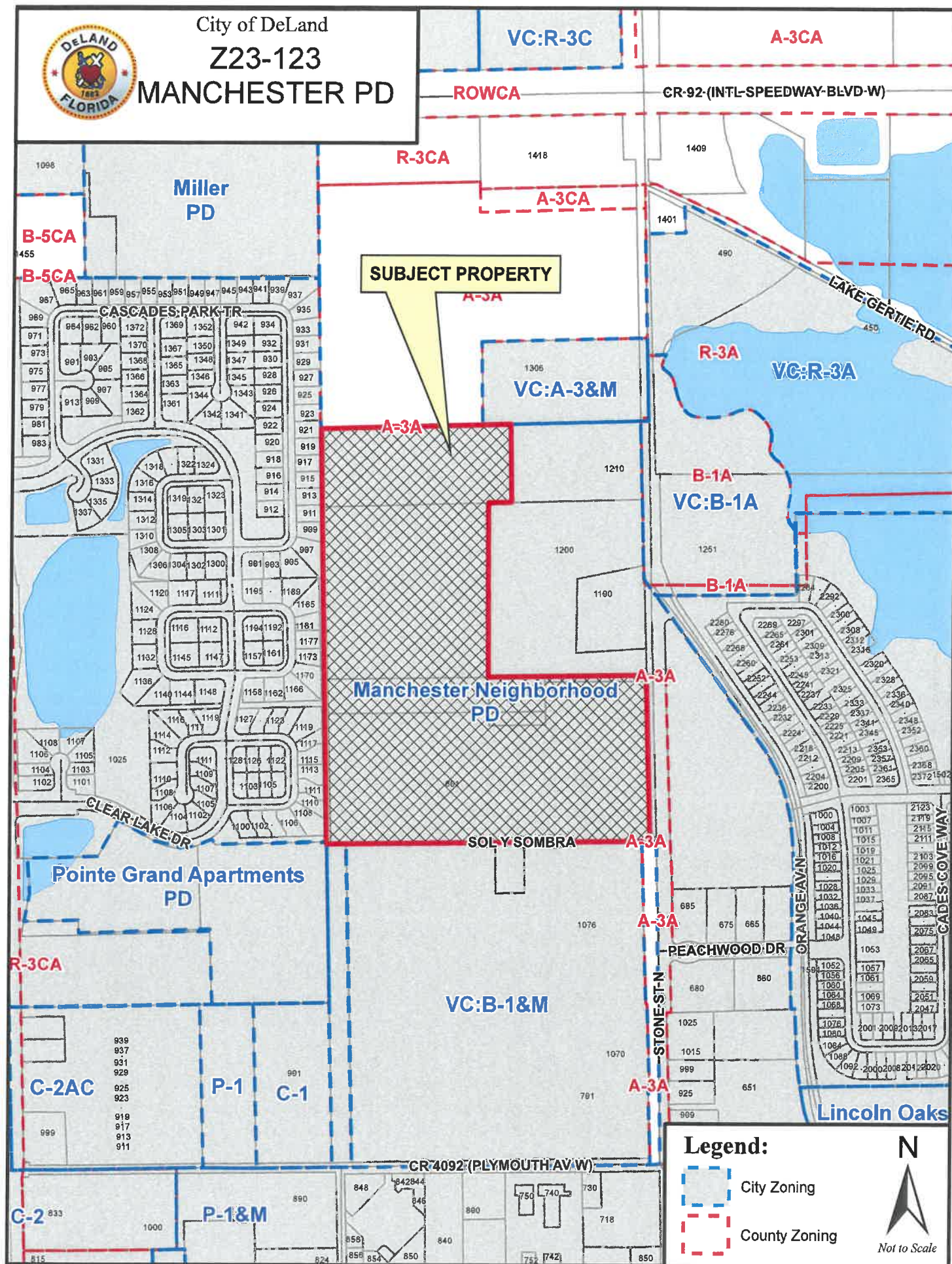
OLD BUSINESS

4



City of DeLand
Z23-123
MANCHESTER PD





Issues for record Z23-123

Job Address: 801 SOL Y SOMBRA, DELAND FL 32720

Job Description: Amending the Manchester Neighborhood PD

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Roadway and Hydrants						
Fire	Draft	1. Provide road and cul-de-sac widths in phase 2B 2. Provide fire hydrant locations in phase 2B.	19194-PD_PLAN_(06-01-23).pdf	Jamie Lunsford	Jamie Lunsford	Yes
Page 4 of 9						
Forestry	Draft	On the first underlined section on the page, I think that you need to change criterion to criteria. I also don't think that "10." needs to be in parenthesis. Please check with Planning on this.	First Amendment to Manchester Neighborhood PD Agreement with exhibits (6-1-2023).pdf	Mariellen Calabro	Mariellen Calabro	Yes
Development Standards						
		It would be helpful to include paragraph E in this amendment. Specify which phase and what type of structure each set of development standards describes. For example, instead of lumping it all together under "residential structures", try clarifying which standards apply to which building type/Use:				
Planning	Draft	EXAMPLE Phases 1A & 1B: Adult Residential Housing (Townhomes) Phase 2A: Refer to A1 & 1B standards Phase 2B: Single-Family Residential standards	First Amendment to Manchester Neighborhood PD Agreement with exhibits (6-1-2023).pdf	Kendall Story	Kendall Story	Yes
Fencing locations						
Planning	Draft	Please indicated the location of all fencing with X's.	19194-PD_PLAN_(06-01-23).pdf	Kendall Story	Kendall Story	Yes
Road widths						
Planning	Draft			Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
The lot layout exhibit shows the road width of 22'. Min. road width is 24. 33-91.06(b)						
Parking for Single Family Residential (phase 2B)						
Planning	Draft	Add parking standards for the SFR phase (2B). NOTE: Parking for SFR should be 2 interior, 2 exterior. If on street parking is not permitted or is restricted on the unit's street frontage, then visitor parking at .25 space/unit shall be required. The visitor space shall be located not more than 250 feet from the unit's street frontage.		Kendall Story	Kendall Story	Yes
Dead-ends						
Planning	Draft	Dead-ends exceeding 150' require a cul de sac. This may require reconfiguration of your concept plan. Please revise the circulation. NOTE: This will also affect your preliminary plat and draft final plat (project#: PSB23-059).	First Amendment to Manchester Neighborhood PD Agreement with exhibits (6-1-2023).pdf	Kendall Story	Kendall Story	Yes
Stormwater Depressional Area						
Planning	Draft	Stormwater depressional area appears to be encroaching into the parcels/buildings. Please clarify or revise.	First Amendment to Manchester Neighborhood PD Agreement with exhibits (6-1-2023).pdf	Kendall Story	Kendall Story	Yes
Access Phase 2B						
Planning	Draft	Add a section describing access to Phase 2B. Describe how it will be stabilized.	First Amendment to Manchester Neighborhood PD Agreement with exhibits (6-1-2023).pdf	Kendall Story	Kendall Story	Yes
TPA						
Planning	Draft	Please indicate the location of Tree Protection Areas (TPA) for both. This may be best shown by adding a separate exhibit. a & 2B		Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Parking 2B						
Planning	Draft	Please clarify if the intent is to provide two interior (garage spaces) & two exterior (driveway spaces). If a reduced parking requirement is desired, please revise the PD to reflect this proposed reduction.	19194-PD_PLAN_06-01-23).pdf	Kendall Story	Kendall Story	Yes
LS Plan						
Planning	Draft	This landscape plan appears to depict the landscape details for Phase 1B. Please provide the landscape details for Phase 2A and Phase 2B.		Kendall Story	Kendall Story	Yes
Describe development tracts by phase (2A/2B)						
Planning	Draft	Describe development tracts by phase (2A/2B)		Kendall Story	Kendall Story	Yes