

TRC AGENDA



**CITY OF DELAND
THURSDAY JUNE 15, 2023 AT 1:30 P.M.
CITY OF DELAND TRC MEETING ROOM
DELAND, FLORIDA**

A. CALL TO ORDER

B. ROLL CALL

C. OLD BUSINESS

1. Review of May 18, 2023 TRC Meeting Minutes
2. **Applicant Name:** Josh Kinsley – LUV Car Wash Southeast LLC Kendall
Project Name: SP23-044 – Class II Site Plan LUV Car Wash
Project Location: .68 acres located at 104 E International Spdwy Blvd
Project Description: Changes to site layout

D. NEW BUSINESS

1. **Applicant Name:** Timothy Olmstead – Superior Drafting and Engineering Belinda
Project Name: CP23-084 – Concept Plan for Medical Office Bldg
Project Location: 1.41 acres located at 843 N Woodland Blvd
Project Description: 6457 sf medical office with parking garage
2. **Applicant Name:** Strickland Smith – Heidt Design Melissa
Project Name: SP23-090 – Class II Site Plan for Cresswind DeLand
Project Location: .61 acres located at 2751 E New York Ave
Project Description: Phase 2 Operations Center
3. **Applicant Name:** Corey Sitler – Zev-Cohen Melissa
Project Name: SP23-097 – Class II Site Plan for Coggin Hyundai
Project Location: 13.50 acres located at 2308 S Woodland Blvd
Project Description: Building addition and parking area changes
4. **Applicant Name:** Harry Newkirk – Newkirk Engineering Sam
Project Name: SP23-098 – Class II Site Plan for Gator's Dockside
Project Location: .824 acres located at 1526 S Woodland Blvd
Project Description: 6848 sf restaurant
5. **Applicant Name:** Michael Woods – Cobb Cole Kendall
Project Name: Z23-104 – PD Rezoning for Taylor Ridge
Project Location: 26.01 acres located at S Blue Lake and Taylor Rd
Project Description: PD for 65 single family units

6. **Applicant Name:** Ray Bahrami – City of DeLand Kendall
Project Name: SP23-110 – Class II Site Plan for The City of DeLand
Project Location 3.76 acres located at 1101 S Amelia Ave
Project Description: North parking lot and stormwater

E. OTHER BUSINESS

F. ADJOURNMENT

OLD BUSINESS

1



**CITY OF DELAND
TECHNICAL REVIEW COMMITTEE MEETING
MEETING MINUTES
THURSDAY, MAY 18, 2023 - 1:30 P.M.
CITY HALL**

OPENING OF MEETING:

Call to Order:

1:30 pm

Members Present:

Carol Kuhn, Chairperson

Belinda Williams Collins

Melissa Winsett

Debi Glick

Sam Nelson

Mariellen Calabro

Kit Dennis

Jerry Hindman

Ray Bahrami

Jim Ailes

Scott Zender

OLD BUSINESS:

1. Approval of the minutes of the TRC Meeting Minutes from April 20, 2023

*Jim Ailes moved to approve the minutes with the correction of the meeting date,
Jerry Hindman seconded the motion.*

The TRC Committee voted unanimously in favor of motion.

2. **Applicant Name:** Daniel Micochen – CPH Melissa
Project Name: SP23-011 – Class II Site Plan for Walmart
Project Location 23.98 acres located at 1699 N Woodland Blvd
Project Description: 5,128 SF addition

Applicants Present:

No applicants were required to be present

Applicant agreed prior to the meeting, to address all comments and resubmit plans for review

Melissa Winsett moved to conditionally approve the application, at the May 18, 2023 TRC meeting,

Ray Bahrami seconded the motion.

The TRC Committee voted unanimously in favor of motion.

3. **Applicant Name:** Mike Woods – Cobb Cole Kendall
Project Name: Z22-212 – PD Rezoning for Dixie Lodge
Project Location 1.99 acres located at 647 S Woodland Blvd
Project Description: Change of zoning from C-2 to PD

Applicants Present:

No applicants were required to be present

Mariellen Calabro moved to continue the application to allow time for the applicant to explore the option under the new Live Local Act, at the May 18, 2023 TRC meeting,

Scott Zender seconded the motion.

The TRC Committee voted unanimously in favor of motion.

NEW BUSINESS:

1. **Applicant Name:** Mark Watts – Cobb Cole Belinda
Project Name: PSB23-057 – Preliminary Plat for Spring Garden Townhomes
Project Location 14.72 acres located on the west side of S Spring Garden south of Plymouth Ave
Project Description: 90 Townhomes

Applicants Present:

Garrett George – CFSO

Nika Hosseini – Cobb Cole

Mark Watts – Cobb Cole

Applicant will address all comments as discussed and resubmit plans by June 19, 2023 in order to be placed on the July 20, 2023 TRC meeting agenda.

Mariellen Calabro moved to continue the application to the July 20, 2023 TRC meeting conditioned upon receiving the revised plans by June 19, 2023, at the April 20, 2023 TRC meeting,

Belinda Collins seconded the motion.

The TRC Committee voted unanimously in favor of motion.

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2. **Applicant Name:** Howard Lefkowitz – Manchester Communities Kendall
Project Name: PSB23-059 – Preliminary Plat for Manchester Phase 2A
Project Location 7 acres located at 801 Sol Y Sombra

Project Description: 34 Single Family Attached Units

Applicants Present:

Applicants were not required to be present

The applicant requested an extension to the statutory 180 day time limit for the review of the plans. The PD is required to be amended to support the additional 34 DU's they are seeking preliminary plat approval. No deadline was given for the resubmittal of plans.

Jerry Hindman moved to continue the application until such time the amended PD has been approved and granting the extension the review time limit, at the May 18, 2023 TRC meeting, Jim Ailes seconded the motion.

The TRC Committee voted unanimously in favor of motion.

3. **Applicant Name:** Howard Lefkowitz – Manchester Communities **Kendall**
Project Name: PSB23-065 – Preliminary Plat for Manchester Phase 2B
Project Location 8.04 acres located at 801 Sol Y Sombra
Project Description: 4 Single Family Lots

Applicants Present:

Applicants were not required to be present

The applicant requested an extension to the statutory 180 day time limit for the review of the plans. The PD is required to be amended to support the additional 4 DU's they are seeking preliminary plat approval. No deadline was given for the resubmittal of plans.

Jerry Hindman moved to continue the application until such time the amended PD has been approved and granting the extension the review time limit, at the May 18, 2023 TRC meeting, Jim Ailes seconded the motion.

The TRC Committee voted unanimously in favor of motion.

4. **Applicant Name:** Dvonne Hernandez – Property Owner **Sam**
Project Name: MS23-061 – Minor Subdivision for Hernandez
Project Location 4.38 acres located on the south side of E Taylor Rd
Project Description: 2 Single Family Lots

Applicants Present:

Luis and Dvonne Hernandez – owners

Applicant will address all comments as discussed once staff has had time to consider the request for the use of millings for the driveway after the first 75' of asphalt paving.

Mariellen moved to continue the application, at the May 18, 2023 TRC meeting, Sam Nelson seconded the motion.

The TRC Committee voted unanimously in favor of motion.

5. **Applicant Name:** Sean Fortier – KCG Belinda
Project Name: SP23-063 – Class II Site Plan for Trinity Gardens Stockpile
Project Location 77.77 acres located S Kepler Ave
Project Description: Stockpile

Applicants Present:

Applicants were not required to be present

Applicant agreed to address all comments and was not required to attend the meeting.

*Ray Bahrami moved to conditionally approve the application, at the April 20, 2023 TRC meeting,
Ray Bahrami seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

6. **Applicant Name:** Candace Boamah Sam
Project Name: MS23-066 – Minor Subdivision for Boamah
Project Location .26 acres located at 675 E Euclid Ave
Project Description: 2 Single Family Lots

Applicants Present:

Michael Williams – Remax
Candace Boamah – Owner

Applicant will address staff comments and resubmit revised plans.

*Mariellen Calabro moved to conditionally approve the application, at the May 18, 2023 TRC
meeting,
Jerry Hindman seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

7. **Applicant Name:** Angie Corbitt – Evans Engineering Kendall
Project Name: SP23-068 – Class IV Site Plan for Hillpointe DeLand
Project Location 6.40 acres located at the NE corner of Spring Garden Ave and
Plymouth Ave
Project Description: 204 Apartments

Applicants Present:

Nika Hosseini – Cobb Cole
Mark Watts – Cobb Cole
Nick Everly – Hillpointe
David Evans - EEI

There were no representatives present to discuss staff comments. Application was continued to the April 20, 2023 TRC contingent upon receiving revised plans addressing staff comment by March 24, 2023.

Mariellen Calabro moved to continue the application to the July 20, 2023 TRC meeting conditioned upon receiving the revised plans by June 19, 2023, at the April 20, 2023 TRC meeting,

Jim Ailes seconded the motion.

The TRC Committee voted unanimously in favor of motion.

8. **Applicant Name:** Joseph Hopkins – The Performance Group **Belinda**
Project Name: SP23-081 – Class II Site Plan for Gaff’s
Project Location .65 acres located on Golf Club Dr
Project Description: Additional Parking lot for Gaff’s

Applicants Present:

Joe Hopkins – TPG

Bruce Gaffka – Owner

Applicant will address staff comments and resubmit revised plans.

Belinda Collins moved to conditionally approve the application, at the May 18, 2023 TRC meeting,

Jim Ailes seconded the motion.

The TRC Committee voted unanimously in favor of motion.

9. **Applicant Name:** Strickland Smith – Heidt Design **Melissa**
Project Name: PSB23-086 – Preliminary Plat for Cresswind Phase 2 and 3
Project Location 77.77 acres located at 2751 E New York Ave
Project Description: 223 Single Family Lots

Applicants Present:

Emily Vaughn – Kolter Homes

Strickland Smith – Heidt Design

Brad Walker – Kolter Homes

Applicant will address all comments as discussed and resubmit plans by June 19, 2023 in order to be placed on the July 20, 2023 TRC meeting agenda.

Mariellen Calabro moved to continue the application to the July 20, 2023 TRC meeting conditioned upon receiving the revised plans by June 19, 2023, at the April 20, 2023 TRC meeting,

Melissa Winsett seconded the motion.

The TRC Committee voted unanimously in favor of motion.

10. **Applicant Name:** Steve Costello – City of DeLand **Belinda**
Project Name: SP23-087 – Class II Site Plan for The City of DeLand
Project Location .81 acres located at 201 W Howry Ave
Project Description: Parking Lot

Applicants Present:

Applicants was not required to attend

Applicant agreed to address staff comments and resubmit revised plans.

Scott Zender moved to conditionally approve the application, at the May 18, 2023 TRC meeting,

Sam Nelson seconded the motion.

The TRC Committee voted unanimously in favor of motion.

OTHER BUSINESS:

None.

ADJOURNMENT:

3:43 pm

OLD BUSINESS

2



City of DeLand
TRC
SP23-044
JUNE 15, 2023

US HWY 92 (INTL SPEEDWAY BL)

SUBJECT PROPERTY

C-2

VC:B-4

B-4CA

ALABAMA AVE N

104

1435

R-4A

R-6A

Legend:

-  City Zoning
-  County Zoning



Not to Scale



City of DeLand
TRC
SP23-044
JUNE 15, 2023

SUBJECT PROPERTY

US HWY 92 (INTL SPEEDWAY)

C-2

182

184

VC:B-4

B-4CA

ALABAMA AV N

1435

R-4A

1433

R-6A

189

Legend:



City Zoning

County Zoning



Not to Scale

Issues for record SP23-044**Job Address: 104 E INTL SPEEDWAY BLVD, DELAND FL 32724****Job Description: Proposed remodel of an automated car wash (tunnel existing), with new pay station and vacuum stations, along with associated site and utility work.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Mitigation Provided						
Forestry	Draft	Your current landscape plan would provide 12" DBH replacement. Until tree removal issues on L-1 have been resolved, we cannot determine whether this is sufficient. Based on preliminary information provided, you will most likely need to contribute into the Tree Replacement Reserve Account if you do not plan to add additional trees.	L-2	Mariellen Calabro	Mariellen Calabro	Yes
Tree ID 49						
Forestry	Draft	Tree ID 49 is listed as a 9" "oak" on the survey. On the Tree Removal Plan (Sheet L-1) it is identified as a 20" "oak." Identify the oak species on both pages and make the diameter correction on whichever page is incorrect.	SURVEY	Kit Dennis	Kit Dennis	Yes
OAK						
Forestry	Not Accepted	Identify oak trees larger than 9" DBH by species to determine whether they are historic, specimen, or protected trees.				
		Last comment from reviewer: Trees 39,40,41, and 49 have not been identified.	SURVEY	Mariellen Calabro	Kit Dennis	Yes
		Last response: Acknowledged, please see revised survey.				
UA Specifications						
Forestry	Not Accepted	Your specifications for elm do not match what is shown in Florida grades and standards. Because Planning is requiring 4" DBH trees, you would need to plant trees that are 14' height, 8' spread, 44" root ball or 100-gallon container size. Assuming that the trees on your property are all Live Oaks, you would need 51" DBH replacement. With the 12" provided by the plan, you would still need to plant larger trees or more trees to provide sufficient replacement. If you do not want to change your landscape plan, you would need to contribute the inches not planted into the Tree Replacement Reserve Account. At the current rate of \$75 per inch not planted, you would need to contribute \$2,925 to make up for the 39" DBH deficiency. Last comment from reviewer: The oak tree species need to be identified before the actual replacement amount can be calculated.	L-3	Mariellen Calabro	Kit Dennis	Yes

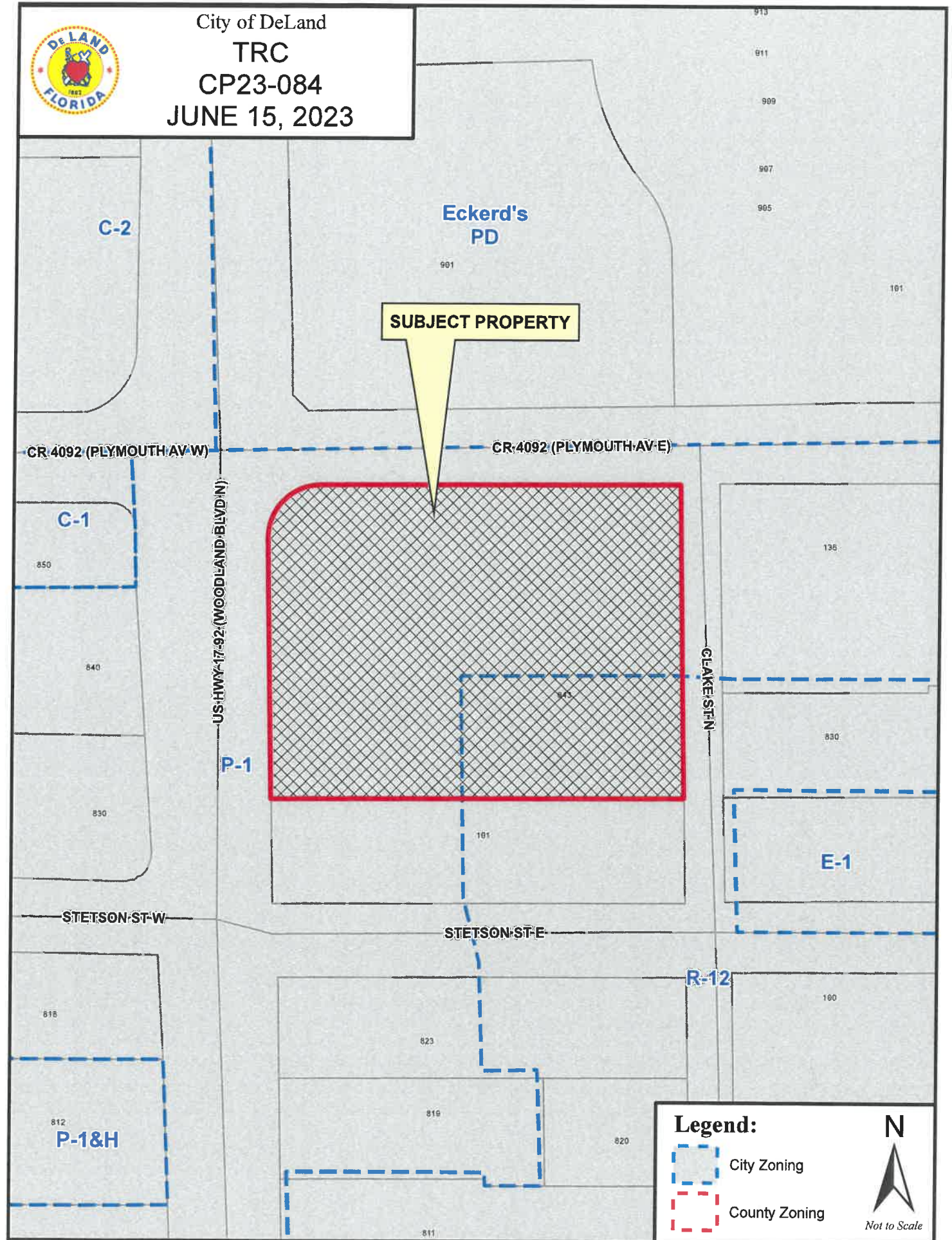
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
updated version.						
Last response: Revised tree barricade detail now shown on sheet L-1.						
ADA Parking						
ADA parking spaces must have a minimum length of 20'.						
Planning	Not Accepted	Last comment from reviewer: I don't see where the length of the ADA space was lengthened to 20'.	C2	Kendall Story	Kendall Story	Yes
Last response: Please see revised Sheet C2. The parking spaces and drive aisle have been shifted so that the ADA spaces are 20 ft long.						

NEW BUSINESS

1



City of DeLand
TRC
CP23-084
JUNE 15, 2023





City of DeLand
TRC
CP23-084
JUNE 15, 2023



Issues for record SP23-084**Job Address: 843 N WOODLAND BLVD, DELAND FL 32720****Job Description: 3 story MOB with Parking Garage**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering Comments						
Engineering	Draft	1. This development is adjacent to Woodland Blvd.; therefore, FDOT Permit is required.		Ray Bahrami	Ray Bahrami	Yes
		2. Please provide total site area including existing and proposed impervious and pervious areas.				
		3. Is there an existing subsurface stormwater treatment area/stormwater management area for the site?				
		4. Water Calculation shows 1" over impervious area. Where does this requirement come from? Per City LDC, all sites under one acre requires 1" over the entire site. Lot Size is shown as 1.39 Ac. SJRWMD requires 0.50" of runoff from the total area or 1.25" runoff over impervious area whichever is greater plus an additional 0.50" runoff over the entire site for online system.				
		5. Storm structures were referred as FDOT Index 232 which needs to change to FDOT Standard Plans 425-052.				
Fire	Draft	Fire Protection Will the new structure be protected by fire sprinklers?	23-4385_Site-plan_4-26-23.pdf	Jamie Lunsford	Jamie Lunsford	Yes
Fire	Draft	Fire Hydrants Indicate on site plan the location of all fire hydrants within 500 feet of structure.	23-4385_Site-plan_4-26-23.pdf	Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	General 1. The following general comments are provided to assist you at the Site Plan stage: a. During future submissions, a tree survey, completed tree worksheets, and landscape plan will be required. b. At least 15 percent of the site will need to be designated as tree protection area, and a minimum of one tree per 2,500 square feet will need to remain or be planted on the site. c. Removal of trees will require at least one third diameter replacement. Removal of specimen trees will require 50% replacement of the DBH inches lost. Unhealthy specimen trees, as determined by the city forester, will be replaced at the same rate as non-specimen protected trees. d. The City's current list of specimen trees can be found in Section 33-57.05(c)1 at: ARTICLE VI. - RESOURCE PROTECTION STANDARDS Code of Ordinances DeLand, FL Municode Library Laurel Oaks (Quercus laurifolia) which are larger than 20" DBH and in deteriorated condition may be replaced by one two-inch DBH (three-inch	23-4385_Site-plan_4-26-23.pdf	Kit Dennis	Kit Dennis	No

Discipline Status Details

Attached To Created By Last Updated By Modifications Required

caliper) minimum sized canopy tree from the "List of Permitted Shrubs and Trees for Landscaping and Tree Protection." An Arborist Report documenting the deteriorated trees will be required to receive reduced replacement. Removal of all other non-specimen protected trees greater than 6" DBH will require the replacement of one third of the DBH inches lost.

e. Any historic tree that is proposed for removal will require a review by this office, recommendation by the City Tree Advisory Committee and approval by City Commission. The developer must demonstrate that the tree is a hazard or that it is not economically or practically feasible to develop the parcel without removing the historic tree. Historic trees are defined as Bald Cypress 20-inches or larger DBH, Live Oak 25-inches or larger DBH, and Red Cedar 25-inches or larger DBH.

f. For historic trees that will be preserved, tree protection fence must be installed by the contractor and inspected by the City Forester prior to any land disturbing activity.

* Unless the applicant proposes a method of root protection which is acceptable to the City, no construction activity shall take place within an area equal to one and one-half times the area of the drip line.

g. All new Class II and Class III site plans require the following statement: "Tree barricades are required around all trees which have been designated on the site plan to be retained and protected. Prior to any clearing or construction activity occurring on the site, tree barricades shall be constructed by the contractor and approved by the City."

h. A Tree Barricade detail showing how remaining trees will be protected needs to be included on all Site Plans. A barrier needs to be constructed around your Tree Protection Area and at the drip line or ten feet from each tree that will remain, whichever area is larger. An example of a Tree Barricade detail can be found at: Tree Permitting | DeLand, FL

Planning	Draft	General	Belinda Collins	Belinda Collins	Yes
1. This site has 2 different zoning designations. Rezoning of the residentially zoned portion of the property (R-12) to P-1 (Professional-Residential) is recommended for sake of consistency. Additionally, the property has a Mixed Office-Residential land use designation and is located in the Historical Corridor Overlay as shown on the future land use map. Policy f10.4.1 states: "The City will create, as part of the zoning code, historical overlay zones with regulations that will preserve the integrity and appearance of DeLand's historic areas and neighborhoods." And Policy f10.4.3 states: "The City of DeLand shall designate Woodland Boulevard from Plymouth Avenue to Beresford Avenue; and New York Avenue from SR 15A to Blue Lake Avenue; as a historical corridor overlay zone. Regulations will be created that require building height, setback and site layout to be compatible with the pre-1940 buildings that exist along these corridors." 2. The property appears to have 2 different land use designations – Mixed Office – Residential and Medium Density Residential. Based on the zoning designations depicted on the zoning maps, the portion of property that has the P-1 (Professional-Residential) zoning is inconsistent with the land use shown (Med. Density Resid.) A small-scale land use amendment is needed to correct the inconsistency. 3. Verify the existing parking requirement and the change in number of parking spaces and the parking requirement based on the addition of proposed building area. 4. Verify how many existing trees will be removed from the site and how many will be added, if any.					

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
5. Verify existing and proposed impervious surface provided. 6. 33-94.03 (b) 2 - Building elevations will be provided to the city's review architect to determine compliance with Community Design Standards. "The design of new buildings and additions that reflect contemporary elements and design character is allowed as long as the link between any historic character and "new" is maintained through application of these guidelines and standards." 7. TIA - Calculation and submittal of average annual daily trips is required for all developments. The developer of any development which will generate 1,000 or more average annual daily trip (AADT) ends per day, as determined by reference to the Institute of Traffic Engineers Trip Generation Manual or to locally derived trip generation rates accepted by the city as accurate, shall provide the city with a traffic impact analysis prepared by a qualified traffic engineer at the time application is made for approval of a site plan or preliminary plat. See also section [33-41.04(a)1]. 8. This property is located along the city's Core Gateway and the appropriate regulations will apply. "Landscaped buffers are required along street frontages where developments are proposed (article VIII of chapter 33). Additional buffer and sign requirements apply to developments within and/or along special overlay districts (article IV of chapter 33)."						
Utilities	Draft	Water Will this meter supply both buildings as shown?	23-4385_Site-plan_4-26-23.pdf	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Water Depending on tap size, developer may need to perform.	23-4385_Site-plan_4-26-23.pdf	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Sewer Sch 40 is good to ROW, but not under roadway. Will need clean outs at building and edge of sidewalk. This proposed tap will require night install and road detour if no lateral is available.	23-4385_Site-plan_4-26-23.pdf	Jim Ailes	Jim Ailes	Yes

NEW BUSINESS

2.



City of DeLand
TRC
SP23-090
JUNE 15, 2023

KEWINNISSETT DR

SUBJECT PROPERTY

PD

Legend:

-  City Zoning
-  County Zoning





City of DeLand
TRC
SP23-090
JUNE 15, 2023

LAKE WINNEMISSETT DR

SUBJECT PROPERTY

Cresswind DeLand
PD

Legend:



City Zoning



County Zoning



Not to Scale

NEW BUSINESS

3

Issues for record SP23-090**Job Address: 2751 E New York AV, Saint Cloud FL 32724****Job Description: Class II Site Plan for project Cresswind DeLand Phase 2 Operations Center.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
FFE, Grading and additional spot grades						
Engineering	Draft	1. Lot line grading and FFE on this sheet do not match Phase 2 Grading Plan. For example, Lot 347 FFE is shown as 68.90'. Phase 2 Grading Plan is shown as 69.20'. Lot 348 lot grading adjacent to the roadway is shown as 66.82 on this sheet. Phase 2 Grading Plan is shown as 66.67'. All of the lot line grading elevation and FFEs need to match Phase 2 Grading Plans. 2. Please provide additional spot grades for the two doors on the west side of the building toward parking area. What are the proposed elevations by the doors, sidewalk and edge of pavement?	C-400	Ray Bahrami	Ray Bahrami	Yes
Note # 8						
Engineering	Draft	1. Note # 8 should change to Phase 1 instead of The Last Phase. Per Sheet C-102, "Temporary asphalt drive to be removed with Phase 2 construction".	C-103	Ray Bahrami	Ray Bahrami	Yes
Parking						
Engineering	Draft	1. What is the reason for additional three parking spaces adjacent to the roadway? 2. Per calculation for number of parking spaces required (which is 5) versus number of parking spaces provided (which is 12), why there is a need for stabilized grassed over flow parking	C-102	Ray Bahrami	Ray Bahrami	Yes
Tree Replacement Provided						
Forestry	Draft	Your current plan would provide 26" DBH of replacement trees.	L-480	Mariellen Calabro	Mariellen Calabro	Yes
JS3						
Forestry	Draft	The minimum container size for the species specified is 45 gallons. You can keep it as is, but we wanted you to be aware of the option.	L-480	Mariellen Calabro	Mariellen Calabro	No
Tree Barricade Detail						
Forestry	Draft	Update with 2023 version	L-480	Mariellen Calabro	Mariellen Calabro	Yes
List of Permitted Tree and Shrubs						
Forestry	Draft		L-480	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
There is a more current version of this list available.						
Street Tree minimum height and DBH						
Forestry	Draft	In the second paragraph of the Connected Street Tree section, change minimum height to 8' and change 2" caliper to 2" DBH.	L-400	Mariellen Calabro	Mariellen Calabro	Yes
Tables 522.9.Q-1, Q-2 and Q3						
Forestry	Draft	Connected Street Trees section references Tables 522.9 Q-1, Q-2 and Q3. These are most likely code sections in another municipality.	L-400	Mariellen Calabro	Mariellen Calabro	Yes
Pasco County						
Forestry	Draft	Remove reference to Pasco County.in Note 8 and Note 16.	L-400	Mariellen Calabro	Mariellen Calabro	Yes
Lots 347 to 349						
Forestry	Draft	These lots will need to meet the Phase 2 project landscape requirements once they are converted to single family residential usage.	C-102	Mariellen Calabro	Mariellen Calabro	No
Tree Barricade Detail						
Forestry	Draft	Update with 2023 version.	C-103	Mariellen Calabro	Mariellen Calabro	Yes
Temporary structures?						
Forestry	Draft	Please indicate whether the building and parking lot are temporary structures. Will they remain once Phase 2 of the subdivision is built out?	C-100	Mariellen Calabro	Mariellen Calabro	Yes
Tree Replacement						
Forestry	Draft	Based on the information provided, this plan will provide 26" DBH of replacement trees.	C-100	Mariellen Calabro	Mariellen Calabro	No
Site Clearing						
Forestry	Draft	Please confirm that this project area has already been cleared as part of the Phase 2 site plan.	C-100	Mariellen Calabro	Mariellen Calabro	Yes
Accela Application Details						
Planning	Draft	Please revise the Location in Accela to change Saint Cloud to DeLand and confirm all other information is correct.	C-100	Melissa Winsett	Melissa Winsett	Yes
Vehicle Use Area (VUA) Landscape Requirements						
Planning	Draft		L-480	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		The VUA table refers to the number of VUA trees required (1 tree per 75 SF), which is correct. However, per 33-92.02, each row of interior parking spaces in a parking lot is required to be terminated at each end by a landscaped area. Vehicle Use Areas landscape area requirements are located in 33-92.02(a)7. It is understood that the Operations Center and parking lot are temporary. The length of time the Operations Center will be operational is an important factor in any waiver that TRC may support. The proposed site plan's landscaping plan should look like that of which would be proposed for a house.				
Vehicle Use Area (VUA) Requirements						
Planning	Draft	A parking calculation was provided showing that 21 total spaces are required. Since this is a proposed office use, please include the square footage used in this computation. Also, this conflicts with the parking information on sheet C-103.	L-480	Melissa Winsett	Melissa Winsett	Yes
Landscape Buffers						
Planning	Draft	Please show the landscape buffers and widths. It is understood that the non-residential use is temporary, so TRC may support a waiver request.	L-401	Melissa Winsett	Melissa Winsett	Yes
Dimensions						
Planning	Draft	The landscape plan needs to show dimensions. For example, demonstrate that trees aren't proposed to be planted any closer to the ROW than 5-ft or further away from ROW than 15-ft. per Sec. 33-92.02(d)).	L-401	Melissa Winsett	Melissa Winsett	Yes
Parking Landscaping						
Planning	Draft	Each row of interior parking spaces shall be terminated at each end by a landscaped area. It is understood that the parking lot is temporary, so TRC may support a waiver request.	L-401	Melissa Winsett	Melissa Winsett	Yes
Vehicle Use Area (VUA) Landscape Requirements						
Planning	Draft	The VUA table refers to the number of VUA trees required (1 tree per 75 SF), which is correct. However, per 33-92.02, each row of interior parking spaces in a parking lot is required to be terminated at each end by a landscaped area. Vehicle Use Areas landscape area requirements are located in 33-92.02(a)7. It is understood that the Operations Center and parking lot are temporary. The length of time the Operations Center will be operational is an important factor in any waiver that TRC may support. The proposed site plan's landscaping plan should look like that of which would be proposed for a house.	L-400A	Melissa Winsett	Melissa Winsett	Yes
VUA Requirements						
Planning	Draft	A parking calculation was provided showing that 21 total spaces are required. Since this	L-400A	Melissa Winsett	Melissa Winsett	Yes

<https://deland-prod-av.accela.com/av-dpr/planroom.jsp?page=issuesReport&serviceProviderCode=DELAND&project=DELAND-REC23-00000-00205&filter=&sort=discipline&sortOrder=asc&back=true>

3/6

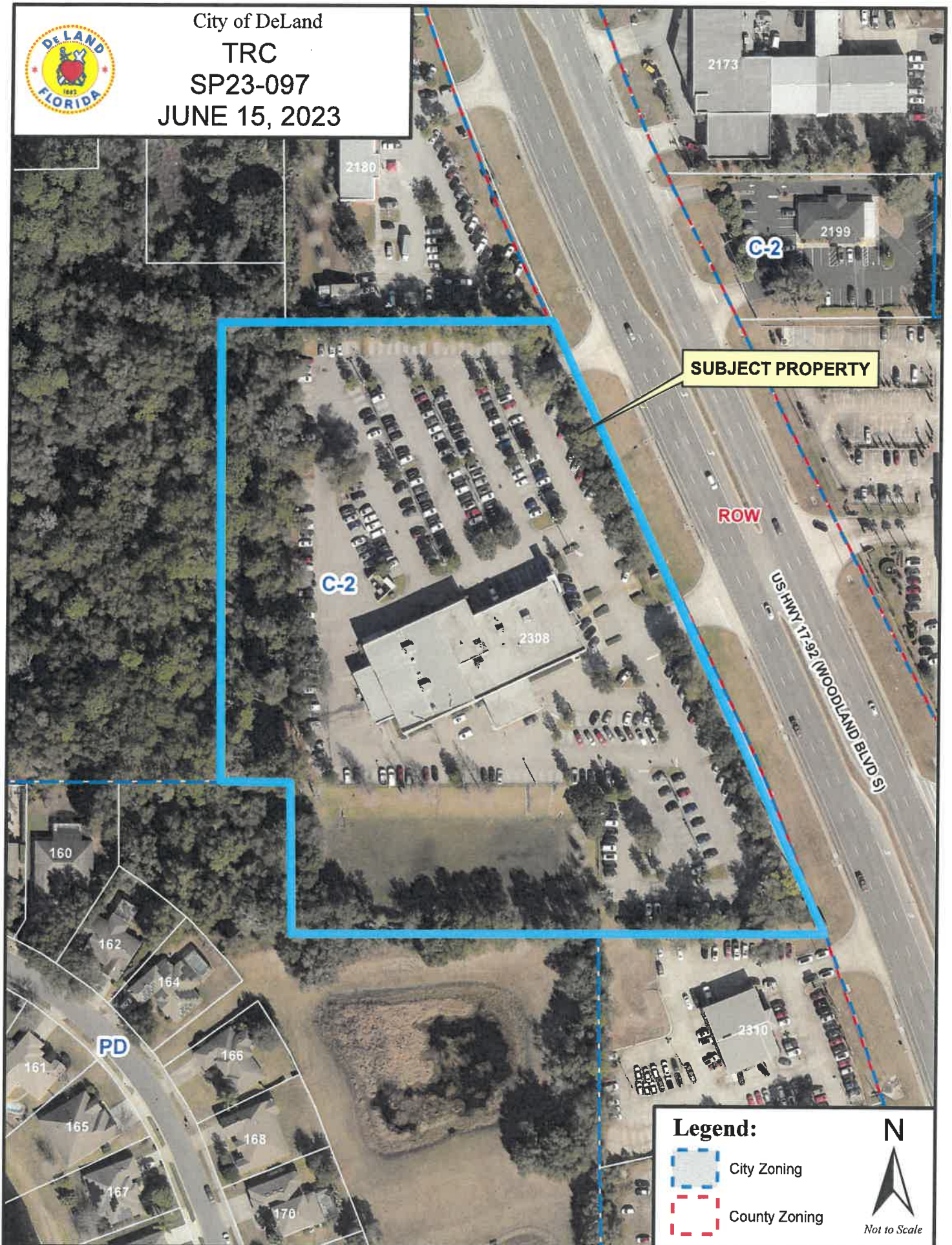
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
is a proposed office use, please include the square footage used in this computation. Also, this conflicts with the parking information on sheet C-103.						
Notes Irrigation						
Planning	Draft	Please correct and modify number 16, pertaining to Irrigation, since it references Pasco County. Replace with City of DeLand and Cresswind PD irrigation information.	L-400	Melissa Winsett	Melissa Winsett	Yes
Irrigation						
The legend includes the symbols for reclaimed water service single and sleeve. Although the respective symbols weren't depicted on the plan, please remove them from the legend for clarity. Per the PD, reclaimed water is only to be used for irrigating the section of Cresswind PD east of the powerline easement. West of the powerline easement, irrigation is to be provided through a combination of wet stormwater ponds and irrigation wells that access the Florida Aquifer. Please demonstrate the allowable irrigation on the plan.						
Planning	Draft		C-400	Melissa Winsett	Melissa Winsett	Yes
Notes and Details						
1) A City Tree Barricade Detail is provided pertaining to trees that are designated to be retained and protected; however, staff was unable to find any such trees. Please clarify. 2) A parking calculation was provided showing that 5 total spaces are required and 12 total spaces are being provided. Please include the square footage used in this computation. Also, this conflicts with the parking information on sheet L-400A.						
Planning	Draft		C-103	Melissa Winsett	Melissa Winsett	Yes
Sidewalks						
The symbol used for the sidewalk need to be reflected in the Legend. Note: As depicted, the current dashed line is confusing to the reader since it is very similar to the upland buffer dashed line. Please verify and adjust.						
Planning	Draft		C-102	Melissa Winsett	Melissa Winsett	Yes
Flood Prone & Wetlands Areas						
Since this is part of a PD, show any wetlands or flood prone areas. If needed, add a note that explains how the site's drainage plans are a part of the Phase 2 & 3 plat's drainage plans.						
Planning	Draft		C-102	Melissa Winsett	Melissa Winsett	Yes
Permits needed to be obtained						
The applicant is responsible for getting all required permits. All required permits should all be obtained by the time of the pre-construction meeting including, but not limited to, those from FDEP, NPDES, SJRWMD, FDOT, and Volusia County.						
Planning	Draft		C-102	Melissa Winsett	Melissa Winsett	Yes
Site Data Table						
Please include a Site Data Table as required with all site plan applications. The city						
Planning	Draft		C-102	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		understands that the proposed plan is located on three proposed platted lots, but the data provided is insufficient. The site data table must include the Required and Proposed conditions including, but not limited to, the Zoning, Use, FLU, Minimum lot area, Building Area, Landscape Buffers, Tree Protection Area, Density, Required Buffers, Required Parking & Parking Area, Impervious Coverage Area/Percentage, Building Square-Footage, Building Height, and Building Setbacks. Please also provide the square-footage of the proposed Operations Center and the parking lot. If some of the requirements cannot met, explain the reasoning and how the site plan is tied to the Cresswind PD and/or Phase 2 & 3 plat.				
Required Approval of Phase 2 & 3 Plat						
Planning	Draft	Informational: The proposed Operation Center cannot be constructed until the Phase 2 & 3 plat application has both preliminary and final plat approvals. Page 25 of the PD development agreement states, "Sales Center, Design Center, Model Homes and Construction Trailers may commence construction upon approval of a Preliminary Plat and final construction plans and completion of a stabilized access to the Sales Center area for emergency vehicles."	C-100	Melissa Winsett	Melissa Winsett	Yes
Topography/Tree Survey						
Planning	Draft	A map of all protected trees is required along with the identified location of the Tree Protection Area (TPA). Although the Phase 2 & 3 plat was submitted and city comments were issued, the information (latest version) is still required to support the application. If the proposed plan is using the Phase 2 & 3 plat to address overall tree protection and open space requirements, please explain this in a note on the plan. Please add narrative that states that the proposed application is consistent with the PD, including the plan for parking lot removal, etc., and the Operations Center site plan and Tree Protection is consistent with the final Phase 2 & 3 preliminary plat and timeframe.	C-100	Melissa Winsett	Melissa Winsett	Yes
Boundary Survey						
Planning	Draft	The "Boundary Survey Proposed Cresswind DeLand Plat 2-3" shows ROW between lots 43 and 44. This needs to be shown in the plans.	C-100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Required Submittal Items Please add/adjust the following on the Cover Sheet: 1) All Parcel IDs, 2.) A statement/description of intended use**, 3) Both location and vicinity maps must be to-scale, 4) Linear dimensions and size of parcel(s). 5) Indicate that the site is within the City of DeLand, FL and show municipal boundary lines in the Location Map. Due to the use, the application should be treated like a plot plan in a building permit that shows setbacks. **Please be sure the statement of intended use is clear in case the public requests to review the application. State that the proposed site plan is within the proposed plat for Phases 2 & 3 of the Cresswind Planned Development (PD). Include the hours of operation, whether it will be open to the public, etc. Also, include details about what will happen when the Operations Center and parking lot are converted to homes. State that any higher impervious area is associated with the parking lot, which will be	C-100	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
removed, and that the restored sites will meet the 75% maximum impervious requirement per the PD. (Note: Staff did see the hours of operation (10 am to 6 pm) included under the notes on sheet C-103, but this needs to be stated up front on the cover page.)						
Comments						
Planning	Draft	Comments made on a specific plan sheet pertain to not only the respective plan sheet but also the remainder of the plan set where applicable. To reduce redundancy, repetitive comments aren't typically made by Planning.	C-100	Melissa Winsett	Melissa Winsett	Yes
Revisions						
Planning	Draft	All plan revisions should be depicted as clouded.	C-100	Melissa Winsett	Melissa Winsett	Yes
Details						
Utilities	Closed	Missing City of DeLand water and sewer details	L-470	Scott Zender	Jim Alles	Yes



City of DeLand
TRC
SP23-097
JUNE 15, 2023



SUBJECT PROPERTY

ROW

US HWY 17-92 (WOODLAND BLVD S)

Legend:

-  City Zoning
-  County Zoning

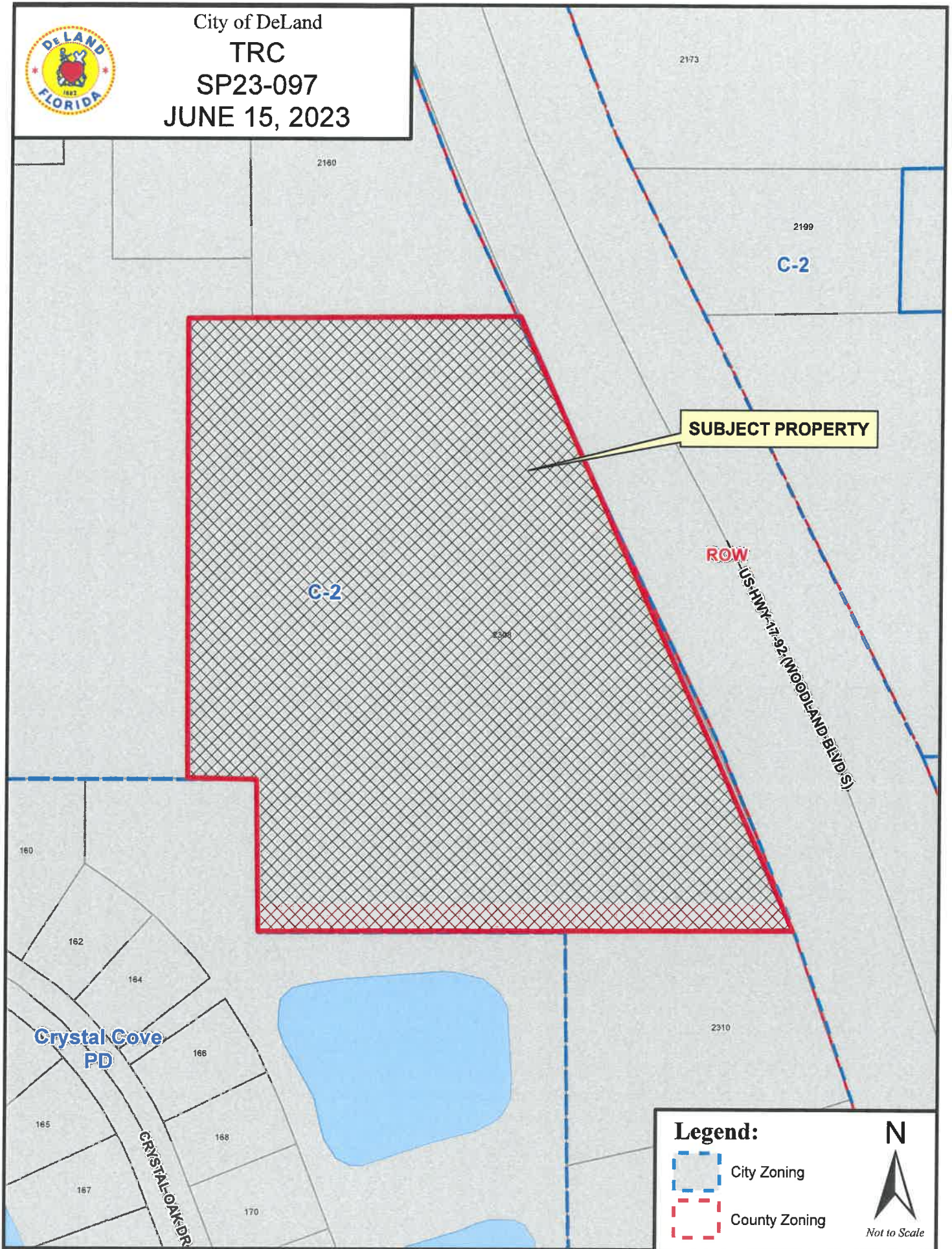
N



Not to Scale



City of DeLand
TRC
SP23-097
JUNE 15, 2023



Issues for record SP23-097**Job Address: 2308 S WOODLAND BLVD, DELAND FL 32720****Job Description: Project proposes to expand the current Coggin Hyundai dealership building and alter the parking lot to allow for truck movements throughout the site.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
CO Elevation						
Engineering	Draft	1. Please provide top and invert elevation of the proposed and existing clean outs.	C6.1	Ray Bahrami	Ray Bahrami	Yes
Grade transition						
Engineering	Draft	1. Proposed building FFE = 34.0'. On the northwestern corner of the building, FFE = 30.22' and want to know how grade transition is accomplished. Is there a stem wall/thickened edge wall?	C5.1	Ray Bahrami	Ray Bahrami	Yes
Retaining Wall						
Engineering	Draft	1. It appears that proposed retaining walls will be designed by others. If that is the case, they need to be labelled on the plans. 2. There are multiple call-outs for Start Retaining Wall without any ending by the dumpster area.	C5.1	Ray Bahrami	Ray Bahrami	Yes
Stop sign						
Engineering	Draft	1. Is there an existing stop sign and stop bar by exit to Woodland Blvd.?	C4.1	Ray Bahrami	Ray Bahrami	Yes
Asphalt Pavement						
Engineering	Draft	1. Proposed Asphalt Pavement on this sheet and Sheet C-4.2 needs to be labelled. There are two pavement sections shown on Sheet C7.0. One is a light-duty and the other one is for a heavy-duty asphalt. Are there any truck movements within this area to justify heavy-duty asphalt?	C4.1	Ray Bahrami	Ray Bahrami	Yes
Handicap Parking length and striping						
Engineering	Draft	1. Per City LDC, handicap parking is required to be 12' wide by 20' long. 2. Please show cross walk striping from handicap parking to the proposed building.	C4.1	Ray Bahrami	Ray Bahrami	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Impervious & Pervious Areas						
Engineering	Draft	1. Please provide existing and proposed impervious and pervious area calculations.	C4.0	Ray Bahrami	Ray Bahrami	Yes
General Comments						
Engineering	Draft	1. FDOT permit is required. 2. Please provide a copy of the stormwater report which was previously permitted by both SJRWMD and City of DeLand.		Ray Bahrami	Ray Bahrami	Yes
Fire Line						
Fire	Draft	Fire sprinkler water supply needs to be on a designated fire line with backflow.	C6.1	Jamie Lunsford	Jamie Lunsford	Yes
FDC						
Fire	Draft	Show location of the FDC. Not indicated on the plan.	C6.1	Jamie Lunsford	Jamie Lunsford	Yes
Tree Requirements						
Forestry	Draft	If the project area is 13.50 acres, your project will need 88,209 sf of Tree Protection Area. You will also need 235 trees with at least 1,411" DBH. to meet minimum coverage requirements.	C0.0	Mariellen Calabro	Mariellen Calabro	Yes
Irrigation Plan						
Forestry	Draft	Please provide an irrigation plan for the project.	C0.0	Mariellen Calabro	Mariellen Calabro	Yes
Note O. 13.						
Forestry	Draft	Removal of all sucker growth is not a recommended pruning practice. Limit sucker removal to the lower third of the trunk. Suckers in the branches should be removed, reduced, and retained according to pruning best management practices.	L1.51	Mariellen Calabro	Mariellen Calabro	Yes
Note H. 2.						
Forestry	Draft	Do not place mulch directly on top of the root ball of newly planted trees or within six inches of existing trees.	L1.51	Mariellen Calabro	Mariellen Calabro	Yes
Note 2a						
Forestry	Draft	Add "and approval of City Forester" to the end of the sentence.	L1.51	Mariellen Calabro	Mariellen Calabro	Yes
Shrub Ground Cover Planting Detail						
Forestry	Draft		L1.50	Mariellen Calabro	Mariellen Calabro	No

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
The City does not recommend the use of fertilizers unless required by soil testing.						
Plant Schedule						
Forestry	Draft	For 4" DBH credit on Live Oaks, increase to 14' height and 8' spread. Once you do this, you plan would provide 112" DBH of replacement.	L1.03	Mariellen Calabro	Mariellen Calabro	Yes
The second note 9						
Forestry	Draft	9. Trees who's root systems will be impacted...Remove this note as pruning is not necessary to compensate for root loss.	L0.55	Mariellen Calabro	Mariellen Calabro	Yes
Tree Replacement Required and Provided						
Forestry	Draft	These numbers do not match what is shown on the tree removal plan and landscape plans.	L0.54	Mariellen Calabro	Mariellen Calabro	Yes
MULTI						
Forestry	Draft	How were multi trees calculated? For example, is a 26" DBH tree two 13" trunks or two 26" trunks? If it's the latter, you will need to recalculate.	L0.53	Mariellen Calabro	Mariellen Calabro	Yes
Dead trees						
Forestry	Draft	If trees are dead, they should not count towards trees preserved. See Trees 50058 and 50060.	L0.53	Mariellen Calabro	Mariellen Calabro	Yes
Laurel Oak removals						
Forestry	Draft	Reduced replacement on laurel oaks requires an arborist report.	L0.53	Mariellen Calabro	Mariellen Calabro	Yes
Tree Removals						
Forestry	Draft	Review tree removals and make sure that they are consistent throughout the plans.	L0.52	Mariellen Calabro	Mariellen Calabro	Yes
Tree Removals						
Forestry	Draft	Review tree removals and make sure that they are consistent throughout the plans.	L0.51	Mariellen Calabro	Mariellen Calabro	Yes
Total Inches to be mitigated						
Forestry	Draft	These numbers do not match what I came up with. Please provide the requested excel spreadsheet to confirm replacement requirements. Tree removals do not appear to be shown for L0.52. They do not match what is shown on C3.2.	L0.50	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Tree Removals						
Forestry	Draft	Please make sure that tree removals are shown consistently throughout the plans. This page does not seem to match what is shown on C3.2.	C4.2	Mariellen Calabro	Mariellen Calabro	Yes
Tree Protection Area						
Forestry	Draft	It appears that sufficient Tree Protection Area has been provided. Please show limits clearly on the plan.	C4.0	Mariellen Calabro	Mariellen Calabro	Yes
Tree Barricade Detail						
Forestry	Draft	Please replace with 2023 City Standard Tree Barricade detail.	C2.1	Mariellen Calabro	Mariellen Calabro	Yes
Tree Data						
Forestry	Draft	Please provide an excel spreadsheet showing trees removed and trees preserved.	C0.0	Mariellen Calabro	Mariellen Calabro	Yes
Excel Spreadsheet						
Forestry	Draft	Please provide excel spreadsheets showing trees removed and preserved.	C3.0	Mariellen Calabro	Mariellen Calabro	Yes
Missing DBH						
Forestry	Draft	Species and DBH are hard to read on some trees. Please review and update. I marked some of them on the plan, but there are probably more.	C3.0	Mariellen Calabro	Mariellen Calabro	Yes
Landscape buffers						
Landscape buffers not shown. Delineate buffer locations, lengths and widths on landscape plan. Provide a table of what is required vs. what is being provided for the buffer width and required plantings. a. The site is adjacent to Woodland Blvd, a Redevelopment Gateway Corridor, which requires landscape buffers that meet Sec. 33-36.05 buffer requirements. Everything else shall follow the general landscape section in the code Sec. 33-92. b. Per Section 33-92, "Redevelopment projects that require a Class II, III or IV site plan shall be required to meet the landscaping requirements of section 33-92 to the fullest extent possible. Due to site limitations, the technical review committee, planning board or the city commission, depending on the type of site plan, may allow modifications that still meet the intent of the regulations. (33-92.01(c))"						
Planning	Draft		L1.00	Melissa Winsett	Melissa Winsett	Yes
Parking Lot Islands						
Planning	Draft	Per 33-92.02, parking bays cannot contain more than 15 continuous parking spaces or extend more than 150 ft without being broken up by a landscaped area – Minimum width	L1.00	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
9-ft and minimum size of 72 SF. Please provide this calculation on the plan and show dimensions.						
VUA Requirements						
Planning	Draft	A parking calculation was provided showing that 24 total spaces are required. Please provide the information used in this calculation.	L1.00	Melissa Winsett	Melissa Winsett	Yes
Tree Protection Area (TPA)						
The 15% TPA was not provided. Please recalculate based on gross site area (including parcels that have been combined). Note: Per Sec. 33-57.07, all redevelopment projects that require a Class II, III, or IV site plan shall be required to meet the tree preservation area requirements of section 33-57 to the fullest extent possible. Due to site limitations technical review committee, planning board, or the city commission, depending on the type of site plan, may allow modifications, including modification of the size, number, species, and placement of trees in a manner which meets the intent of the regulations.						
Planning	Draft		L1.00	Melissa Winsett	Melissa Winsett	Yes
City Tree Barricade Detail & Protected Trees						
Planning	Draft	Please provide tree barricade detail pertaining to trees that are designated to be retained and protected. Also identify the location of all historic or protected trees.	L0.50	Melissa Winsett	Melissa Winsett	Yes
Project Name						
Planning	Draft	To avoid confusion, please revise project name to be consistent with site plan.	L0.50	Melissa Winsett	Melissa Winsett	Yes
Incomplete Autoturn Area						
Planning	Draft	Please revise the plan to depict access to the vehicle storage area (site plan recently approved) on the rear of the site. The parking lot is part of the site. Label areas for clarity.	C9.0	Melissa Winsett	Melissa Winsett	Yes
Car Wash Access						
Planning	Draft	Demonstrate how the car wash in the rear of the property will be accessed.	C5.0	Melissa Winsett	Melissa Winsett	Yes
North Driveway						
Planning	Draft	The north driveway is marked as a proposed concrete driveway. Is this a new driveway because the ODP showed two driveways?	C4.1	Melissa Winsett	Melissa Winsett	Yes
Bicycle Parking						
Planning	Draft		C4.1	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Please indicate the provided bicycle parking and show the locations (See Sec. 33-91.03(1))						
Screening						
Planning	Draft	Please show all rooftop mechanical equipment as dashed lines behind a screen wall.	C4.1	Melissa Winsett	Melissa Winsett	Yes
Impervious Area Calculations						
Planning	Draft	Provide a table of the area calculations. The table should include the total site area, building area, proposed pavement area; and total impervious area in square feet, acreage and percentages.	C4.1	Melissa Winsett	Melissa Winsett	Yes
Building Information						
Planning	Draft	Please provide a table of building information that includes the maximum height of each building (with and without architectural elements) and the proposed height of each building, as well as the gross and net floor area per building.	C4.1	Melissa Winsett	Melissa Winsett	Yes
Building Design Elevations						
Planning	Draft	Commercial site plans are required to provide building design elevations including but not limited to photometric plan/lighting detail and materials as well as color lists, roofing type, construction type, etc. Please show new elevations with colors and materials and clearly state that new building construction will match existing. Also, a new photometric plan is required since lighting is changing.	C4.1	Melissa Winsett	Melissa Winsett	Yes
Required Site Plan Information (Informational):						
Planning	Draft	Site plans are required to show items such as sidewalks in the right-of-way, handicapped parking space(s), bicycle parking, driveway dimensions, open space, tree protection areas, etc. If the items are remaining (not changing), the information is not required. However, if the items are proposed to change, the site plan is required to show these items.	C4.1	Melissa Winsett	Melissa Winsett	Yes
Site Data Table:						
Planning	Draft	Per related Cover Page comment, please include an updated site data table with an additional column with all changes (numbers, amounts, etc.) called out. The four columns in the site data table should include 1) Specific Item (Zoning District, Landscape buffers, Tree Protection Areas, Parking, Density, etc.*), 2) Required (code Requirement for each item), 3) Previous Site Plan (what the approved site plan included), and 4) Proposed Site Plan (what the proposed site plan is including). *Site Data Tables typically include 1) total area of site with percentages allocated to Existing/New for: Building Area, 2) Pavement/Sidewalks/Impervious Area, and Open Space, 3) Include Gateway Overlay "Redevelopment Gateway," which require landscape buffer "C" standard, 4) Building Height information, 5) Tree Protection Area Information, 6) Density/FAR, 7. Minimum Lot	C4.0	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Area, 8) Gross and Net Floor Area. If the items aren't proposed to change, state this in the table so the reviewer understands why the information is omitted.						
Site Data – Parcel Number						
Planning	Draft	Only one parcel number is noted in the table, which conflicts with the cover page.	C4.0	Melissa Winsett	Melissa Winsett	Yes
Site Data Information						
Planning	Draft	Please move the site data to the Site Plan Sheet	C4.0	Melissa Winsett	Melissa Winsett	Yes
Living Area						
Planning	Draft	Delete the "Living Area" cited in the middle of the structure.	C3.0	Melissa Winsett	Melissa Winsett	Yes
Show entire property						
Planning	Draft	Please update the ODP to show the entire property so the context of the parking lot changes and building addition are understood.	C3.0	Melissa Winsett	Melissa Winsett	Yes
Needed Permits (Informational)						
Planning	Draft	The applicant is responsible for getting all required permits. All required permits should all be obtained by the time of the pre-construction meeting including, but not limited to, those from FDEP, NPDES, SJRWMD, FDOT, and Volusia County.	C0.0	Melissa Winsett	Melissa Winsett	Yes
Required Submittal Items						
Planning	Draft	Please add/adjust the following on the Cover Sheet: 1) Title block with the name of the development, scale, a north arrow, and date 2) Both location and vicinity maps must be to-scale (depict where the 2 areas shown in boxes on sheet C3.0 are located within the property), 3) Linear dimensions and size of parcel(s). 4) Indicate that the site is within the City of Deland, FL and show municipal boundary lines in the Location Map. **Please be sure the statement of intended use is clear in case the public requests to review the application. Provide more detail regarding the proposed changes to the existing site.	C0.0	Melissa Winsett	Melissa Winsett	Yes
Boundary Survey						
Planning	Draft	The survey submitted is dated Nov 2021, prior to the lot combination approved by the Planning Department in January 2023. Please submit an updated survey and add a note to the plans (under the Intent section) about the lot consolidation.	C0.0	Melissa Winsett	Melissa Winsett	Yes
Context						
Planning	Draft	For clarity, show the overall layout plan on the entire property including the recently approved vehicle storage lot in the rear of the property.	C0.0	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Trip Generation Calculation						
Planning	Draft	In lieu of providing the required trip generation report, please provide a trip generation calculation that documents the net increase in trips.	C0.0	Melissa Winsett	Melissa Winsett	Yes
Parcel ID Numbers						
Planning	Draft	Please provide a survey that shows the three ID numbers identified on the Cover Sheet.	C0.0	Melissa Winsett	Melissa Winsett	Yes
Exhibit showing both the existing and proposed conditions						
Planning	Draft	For clarity, please add a sheet that shows the proposed plan overlaid on the existing conditions plan including parking lots, driveway changes, etc. on one sheet.	C0.0	Melissa Winsett	Melissa Winsett	Yes
Description of Work/Request for Letter of Intent						
Planning	Draft	The Description of Work in Accela states, "Project proposes to expand the current Coggin Hyundai dealership building and alter the parking lot to allow for truck movements throughout the site." Beyond this statement, the project intent remains unclear after reviewing the plans. A large majority of the proposed building appears to be new construction as opposed to a building expansion. Additionally, the vehicle storage parking area, approved under a separate site plan review, isn't shown in the plan; therefore, the proposed parking lot changes aren't fully understood. Please provide a clear intent statement that itemizes all the proposed changes (including numbers, size/area, amounts, etc.). Also, updated impervious area percentage, changes to the landscape islands, removed landscaping or impervious areas, any reduction in previously approved parking, changes to the approved photometric plan (it appears that the existing poles and parking lot lighting is being removed), etc. Clearly explain if modifications are being made to the access points, if applicable. Additionally, please include an updated site data table with an additional column with all changes (numbers, amounts, etc.) called out. The four columns in the site data table should include 1) Specific Item (Zoning District, Landscape buffers, Tree Protection Areas, Parking, Density, etc.), 2) Required (code Requirement for each item), 3) Previous Site Plan (what the approved site plan included), and 4) Proposed Site Plan (what the proposed site plan is including).	C0.0	Melissa Winsett	Melissa Winsett	Yes
Comments						
Planning	Draft	Comments made on a specific plan sheet pertain to not only the respective plan sheet but also the remainder of the plan set where applicable. To reduce redundancy, repetitive comments aren't typically made by Planning.	C0.0	Melissa Winsett	Melissa Winsett	Yes
Revisions						
Planning	Draft	All plan revisions should be depicted as clouded.	C0.0	Melissa Winsett	Melissa Winsett	Yes

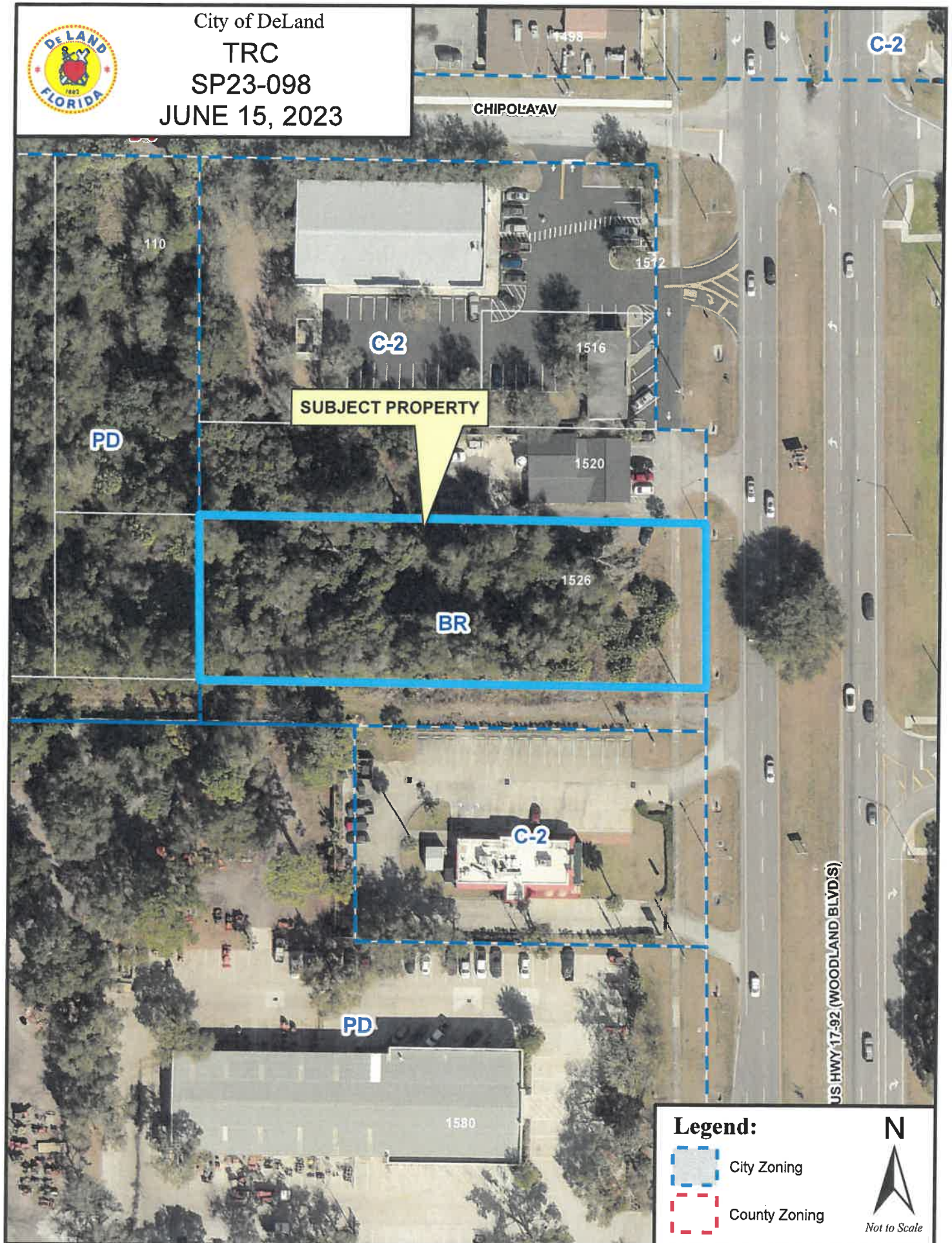
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Utility Providers						
Utilities	Draft	DeLand does not handle electric only water and sewer please remove Electric. Should be 1101 S. Amelia Ave DeLand 32724 386-626-7250	C0.0	Scott Zender	Jim Alles	Yes
Details						
Utilities	Draft	These are the wrong details, the correct details are dated 11/7/22 please replace with correct details	C6.5	Scott Zender	Scott Zender	Yes
Details						
Utilities	Draft	These are the wrong details, the correct details are dated 11/7/22 please replace with correct details	C6.4	Scott Zender	Scott Zender	Yes
Details						
Utilities	Draft	These are the wrong details, the correct details are dated 11/7/22 please replace with correct details	C6.3	Scott Zender	Scott Zender	Yes

NEW BUSINESS

4



City of DeLand
TRC
SP23-098
JUNE 15, 2023



Legend:

-  City Zoning
-  County Zoning

N





City of DeLand
TRC
SP23-098
JUNE 15, 2023

1498

C-2

CHIPOLA AV

110

1512

C-2

1516

Woodland Towers
PD

SUBJECT PROPERTY

1520

BR

C-2

1570

1580 South Woodland Boulevard
PD

1580

US HWY 17-92 (WOODLAND BLVD S)

Legend:

-  City Zoning
-  County Zoning



Not to Scale

Issues for record SP23-098**Job Address: 1526 S WOODLAND BLVD, DELAND FL 32720****Job Description: Propose a Gator's Dockside restaurant on a 0.824 acre parcel with site improvements consisting of paving, site grading, stormwater facility, and utilities.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Parking Space						
Engineering	Draft	1. Based on Auto Turn print-out, dumpster truck will encroach single parking spot on the east side of dumpster area. Unless garbage pick-up time is early in the morning, there may be issues with having this parking space.	18	Ray Bahrami	Ray Bahrami	Yes
Pavement Section						
Engineering	Draft	1. Please add a Pavement Section to this sheet to match recommendation in UES Report. Will it be heavy-duty or light-duty asphalt pavement?	14	Ray Bahrami	Ray Bahrami	Yes
Spelling error						
Engineering	Draft	1. "Brade" needs to change to Grade. It also applies to Sheet 10.	11	Ray Bahrami	Ray Bahrami	Yes
Roof drain						
Engineering	Draft	1. Summary of Drainage: Since it is an online system, additional 0.50 inch of runoff over total area is required. 2. How are roof drains connected to proposed storm sewer system to make sure runoff from roof is captured and not discharged to adjacent property to the north?	07	Ray Bahrami	Ray Bahrami	Yes
Sidewalk and Handicap Parking Length						
Engineering	Draft	1. Per City LDC, handicap parking is required to be 12' wide by 20' long. 2. You need to provide either wheel stops for the three proposed parking spaces east of new building or a 7" sidewalk.	06	Ray Bahrami	Ray Bahrami	Yes
Runoff						
Engineering	Draft	1. It appears that runoff from property on the west side discharges toward this development.		Ray Bahrami	Ray Bahrami	Yes
FDOT permit						
Engineering	Draft	1. FDOT permit is required.		Ray Bahrami	Ray Bahrami	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Fire Main						
Fire	Draft	Underground contractor will need to submit for separate fire permit with full details and specs for the backflow and FDC.	13	Jamie Lunsford	Jamie Lunsford	Yes
Tree Protection Area						
Forestry	Draft	Clearly show the limits of the 15% Tree Protection Area. This area should be shaded and clearly labeled.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Tree Barricade Detail						
Forestry	Draft	Replace Tree Barricade Detail with 2023 version.	05	Mariellen Calabro	Mariellen Calabro	Yes
Tree Protection						
Forestry	Draft	Change labels of circles around protected trees from "tree protection" to "tree barricade".	04	Mariellen Calabro	Mariellen Calabro	Yes
CAM						
Forestry	Draft	Camphor is not considered a protected species. These trees should not be counted towards minimum coverage. Replacement of this species is also not required.	02	Mariellen Calabro	Mariellen Calabro	Yes
Quercus nigra						
Forestry	Draft	Quercus nigra is not typically found in this area. The deciduous trees on the property are most likely Quercus laurifolia.	02	Mariellen Calabro	Mariellen Calabro	Yes
Existing Tree Notes						
Forestry	Draft	On Note 2, change DOT to DO on the last line.	L2	Mariellen Calabro	Mariellen Calabro	Yes
Plant Specification Notes						
Forestry	Draft	On Note 2, change City Staff to City Forester.	L2	Mariellen Calabro	Mariellen Calabro	Yes
41" "Water Oak"						
Forestry	Draft	If the tree is a Laurel Oak, this species does not handle construction damage well. Also, a 41" Laurel Oak would most likely be at the end of its lifespan. We recommend an arborist evaluation to make sure that the tree will survive long-term post-construction. If you do plan to retain it, you will need to add additional area to protect the root zone.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Large Oak Trees						
Forestry	Draft		L1	Mariellen Calabro	Mariellen Calabro	Yes

You have several large oak trees in the project area. If they are not Laurel Oaks, you may have historic tree impacts. You might want to contact Chris Jackson at chris@deland.org if you would like to schedule a field visit to confirm species identification.

Discipline	Status	Attached To	Created By	Last Updated By	Modifications Required
Tree Requirements					
Forestry	Draft	L1	Mariellen Calabro	Mariellen Calabro	Yes
Tree Removal Calculations					
Forestry	Draft	L1	Mariellen Calabro	Mariellen Calabro	Yes
Trees Removed and Preserved					
Forestry	Draft	L1	Mariellen Calabro	Mariellen Calabro	Yes
Grade 1 Trees					
Forestry	Draft	L1	Mariellen Calabro	Mariellen Calabro	Yes
3" caliper minimum					
Forestry	Draft	L1	Mariellen Calabro	Mariellen Calabro	Yes
Golden Rain Tree					
Forestry	Draft	L1	Mariellen Calabro	Mariellen Calabro	Yes
Fish Tank					
Planning	Draft		Samuel Nelson	Samuel Nelson	Yes
Mechanical Equipment					
Planning	Draft	06	Samuel Nelson	Samuel Nelson	Yes
Exterior Wall Mounted Lighting					
Planning	Draft	19	Samuel Nelson	Samuel Nelson	Yes
Internal Landscaping Calculations					
Planning	Draft	L1	Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
In the Redevelopment Overlay District, all nonresidential parking lots shall have internal landscaping equaling 10% of the total vehicle use area, including driveways, parking spaces, and vehicle storage and display areas. Where a pedestrian parking access pathway is required, the access pathway may be included in the required landscaping area. (33-36.05(b)2). Please show how this is being met.						
Community Design Review						
Planning	Draft	Building colors are required to be submitted to complete the Community Design Review. Please include all manufacturers colors and materials.	A-5	Samuel Nelson	Samuel Nelson	Yes
Stair Setback						
Planning	Draft	Please include the setback of the stairs from the northern property line.	06	Samuel Nelson	Samuel Nelson	Yes
Parking Calculation						
Planning	Draft	Please include in the calculations the areas not being included for parking. Also, please show the first floor and second floor separately. The required parking must be provided for the 2nd floor dining area. Please include the area for the upstairs dining area and include this info and required parking on the plan.	06	Samuel Nelson	Samuel Nelson	Yes
Bicycle Parking						
Planning	Draft	Please include the bicycle parking in the above Parking Requirements table.	06	Samuel Nelson	Samuel Nelson	Yes
Parking in the Landscape Buffer						
Planning	Draft	Parking may not be located within the required landscape buffer. If you are requesting the required buffer to be reduced by TRC, please show the requested buffer.	L1	Samuel Nelson	Samuel Nelson	Yes
Building Dimensions						
Planning	Draft	Provide the linear dimensions of the building on the site plan.	06	Samuel Nelson	Samuel Nelson	Yes
ADA Parking Length						
Planning	Draft	ADA parking spaces are required to be 12' x 20'.	06	Samuel Nelson	Samuel Nelson	Yes
Drive Aisle Width						
Planning	Draft	The drive aisle is required to be a minimum of 24' wide.	06	Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Parking Stall Length						
Planning	Draft	Parking stalls are required to be 19' in length. Please confirm that each parking space will meet this requirement when including the vehicle overhang. Note: The vehicle overhang may not be counted towards stall length if it encroaches into the required 10' vehicle separation area. Please revise the plan to show that the overhang will not encroach. 33-91.06. (b)	06	Samuel Nelson	Samuel Nelson	Yes
Reclaim						
Utilities	Draft	Nearest line is the SE corner of Taylor and Woodland Blvd. and not reasonable for connection. Onsite well is best option as proposed.	12	Jim Ailes	Jim Ailes	Yes
Clean Out						
Utilities	Draft	Please have a clean out installed at the backside of the sidewalk. This will be the break point on responsibility of maintenance incase of a blockage.	12	Jim Ailes	Jim Ailes	Yes
Sewer Wye						
Utilities	Draft	The wye is shown going against the flow. Pipe flows to the north. Please reverse connection.	12	Jim Ailes	Jim Ailes	Yes
USA						
Utilities	Draft	A Utility Service Agreement maybe required for this project.	01	Jim Ailes	Jim Ailes	Yes
City Details						
Utilities	Draft	These are not the City of DeLand sewer and water details. Most current details are dated 11/7/22	13	Scott Zender	Scott Zender	Yes

Conditions and notes for record SP23-098
Job Address: 1526 S WOODLAND BLVD, DELAND FL 32720
Job Description: Propose a Gator's Dockside restaurant on a 0.824 acre parcel with site improvements consisting of paving, site grading, stormwater facility, and utilities.

Discipline	Status	Type	Details	Attached To	Created By
			Sign Area		
			Please note the sign area requirements for the redevelopment gateway:		
			33-36.04 (b)		
			1. Ground-mounted monument signs		
			a. (1) Any property having a total area of less than 2½ acres may have one double-faced sign per street frontage, with a maximum of 48 square feet of sign area per side.		
			b. Height of sign. The maximum height of any monument sign shall be 16 feet, including base, sign area, supporting structure, and/or architectural embellishments.		
			33-75.04. (b) Building Signs		Samuel Nelson
			2. For buildings and for each tenant storefront 50 feet in length or less, the maximum sign area shall be determined by multiplying the building front foot (length of building that faces street) by 1.5 feet.		
Planning	Draft	Note	Signage	06	Samuel Nelson
			All signage shown is for illustrative purposes only; a separate sign permit is required.		

NEW BUSINESS

5



City of DeLand
TRC
Z23-104
JUNE 15, 2023



Legend:

- City Zoning
- County Zoning

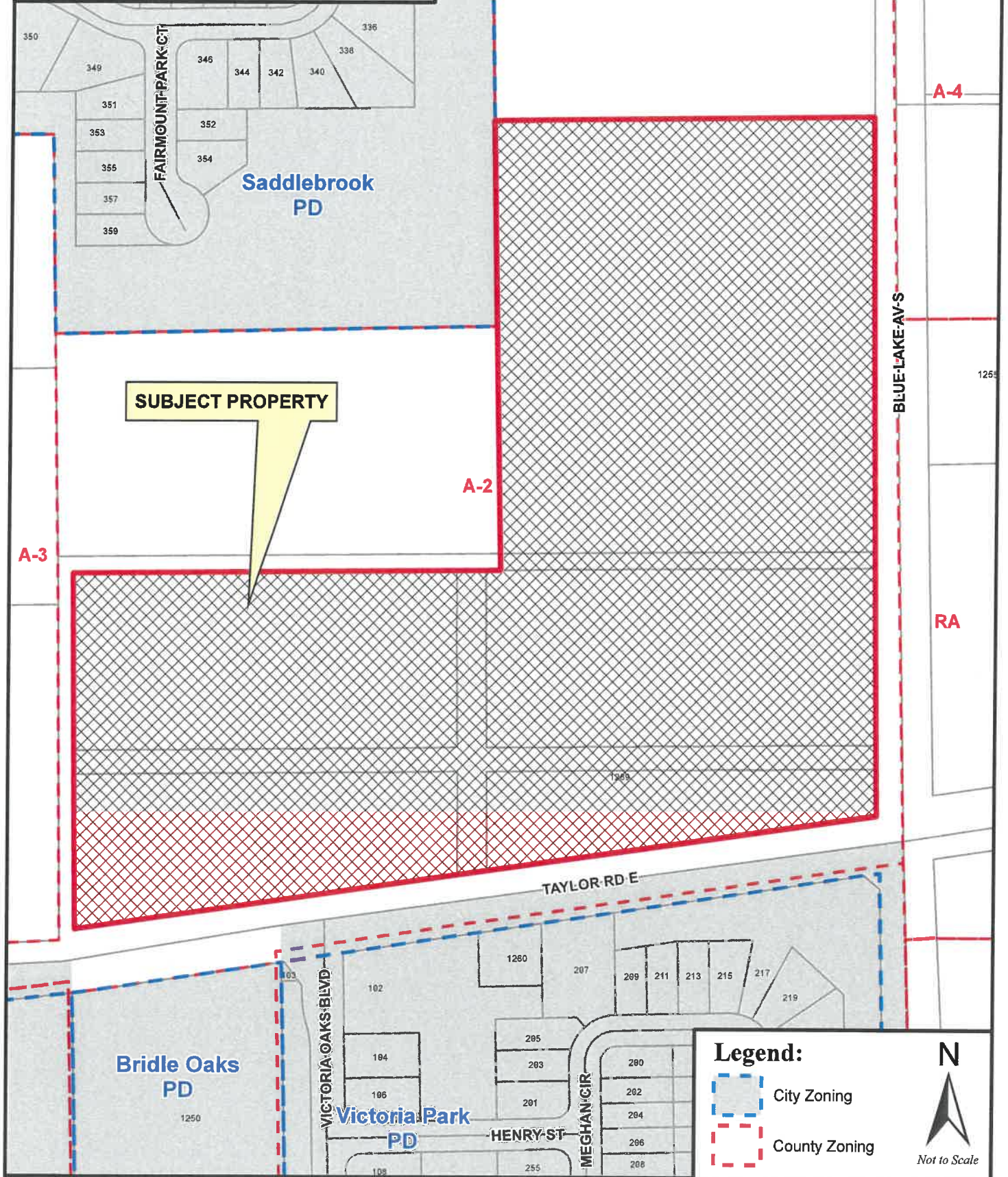
N



Not to Scale



City of DeLand
TRC
Z23-104
JUNE 15, 2023



Issues for record Z23-104

Job Address: 0 S BLUE LAKE AV, DELAND FL 32724

Job Description: Single-family residential subdivision.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering Comments						
Engineering	Draft	1. Pervious pavers are not allowed to be used within right-of-way area. 2. Are LID Swales going to be maintained by HOA? 3. What is the pavement width where on-street parking is proposed?		Ray Bahrami	Ray Bahrami	Yes
Tree Protection Area						
Forestry	Draft	Show Tree Protection Area on concept plan.	PD Agreement with exhibits (5-15-2023).pdf	Mariellen Calabro	Mariellen Calabro	Yes
Tree Protection Area						
Forestry	Draft	Based on City of Deland Site Data, it appears that sufficient Tree Protection Area will be provided; however, the location of the TPA is not clear based on this graphic.	Concept Plan-Taylor Ridge PD (2023-05-15).pdf	Mariellen Calabro	Mariellen Calabro	Yes
Density Bonus						
Planning	Draft	Add a section in the PD that explains how the density bonus is being used from the TRD land use.	PD Agreement with exhibits (5-15-2023).pdf	Kendall Story	Kendall Story	Yes
Traffic Memo						
Planning	Draft	The traffic memo states that the existing zoning generates 52 daily trips, and that the proposed zoning generates 679 daily trips. It then goes on to determine that the net increase in daily trips is 726 trips. But shouldn't the calculations show 679-52 = 627 NET increase in daily trips?		Kendall Story	Kendall Story	Yes
Planning	Draft	Bike lanes In addition to sidewalks, the TRD land use requires bike lanes that connect to adjacent trails and natural areas throughout the development.	Concept Plan-Taylor Ridge PD	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached	Created	Last Updated	Modifications Required
			To Concept Plan- Taylor Ridge PD (2023-05-15).pdf	By Kendall Story	By Kendall Story	
Planning	Draft	Landscape buffers Please labeled the landscape buffers being provided on the north property boundary line and the west boundary line.				Yes
Planning	Draft	Group Malboxes Will there be community mailboxes? Add to permitted uses and refer to section 32-28.09 "Group Mailboxes" for design standards.	PD Agreement with exhibits (5-15-2023).pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Diverse lot sizes A diversity of lot sizes is encouraged.	Concept Plan- Taylor Ridge PD (2023-05-15).pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Opportunity for future connection Is there any opportunity for a future connection to the west?	Concept Plan- Taylor Ridge PD (2023-05-15).pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Area of Access Easement The PD states that 15% of the net developable area, excluding ROW dedication and on-site easements, is required for the TPA. However, the acreage of the 25' wide access easement is not provided.	Concept Plan- Taylor Ridge PD (2023-05-15).pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	3 Amenities Make it clear that at least 3 amenities are required in order to comply with the TRD density bonus.	PD Agreement with exhibits (5-15-2023).pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Brownfield Please provide more information about there being a brownfield.	PD Agreement with exhibits (5-15-2023).pdf	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Stormwater pond in buffer Why are the stormwater ponds included in the buffer width? That is not typical. Plantings are required for screening purposes.	PD Agreement with exhibits (5-15-2023).pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Buffers Please provide buffer types per the LDC. For example, south buffer along Taylor is a "Type D" buffer, etc. to ensure that the plantings do not fall short of the standard minimums from the LDC. Also, the buffer descriptions are confusing. Please revise.	PD Agreement with exhibits (5-15-2023).pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Limit of 65 lots max. is 65 lots	PD Agreement with exhibits (5-15-2023).pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Date Please be sure to date the document in bottom corner. Must be revised each time.	PD Agreement with exhibits (5-15-2023).pdf	Kendall Story	Kendall Story	Yes

NEW BUSINESS

6

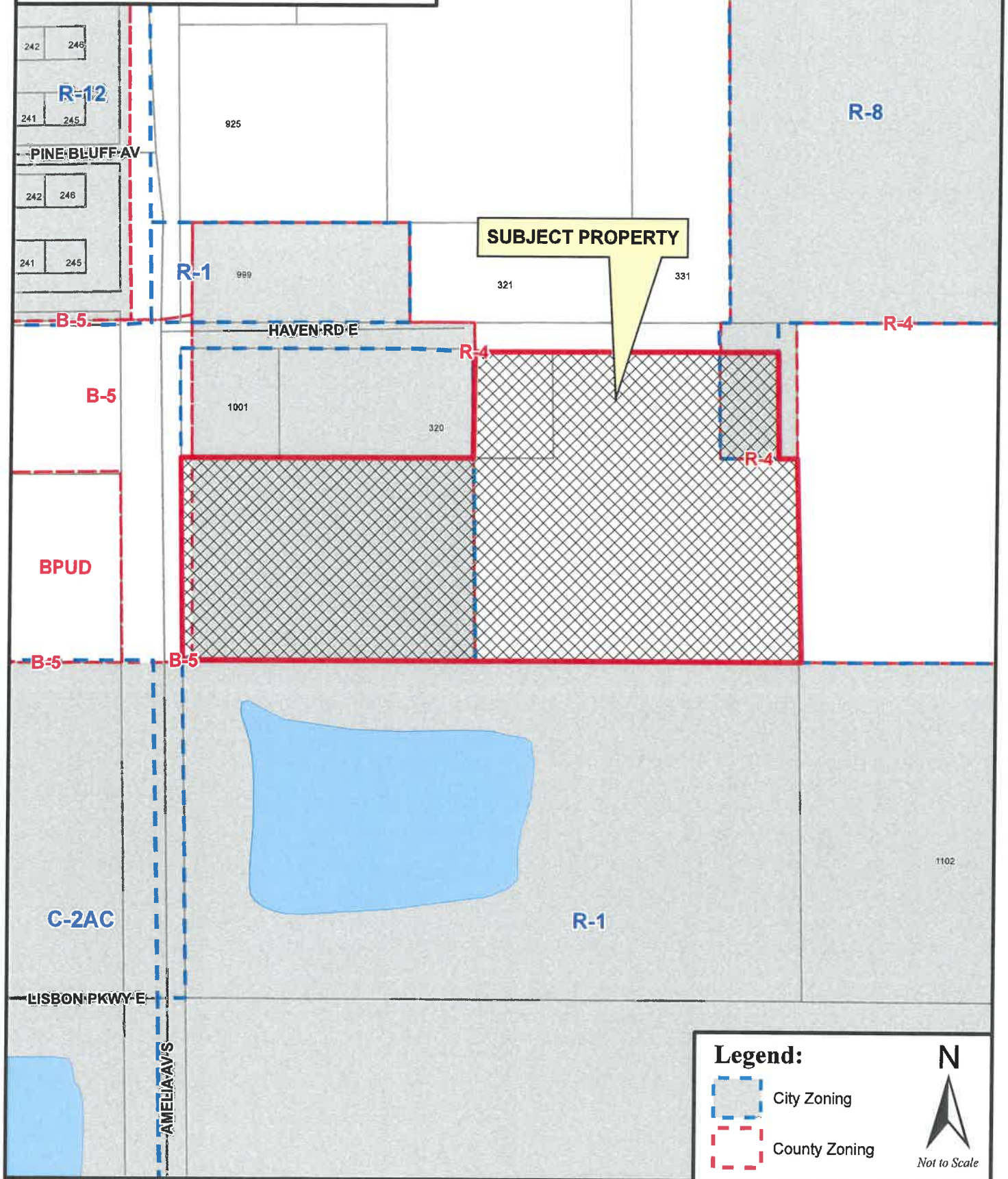


City of DeLand
TRC
SP23-110
JUNE 15, 2023





City of DeLand
TRC
SP23-110
JUNE 15, 2023



Legend:

-  City Zoning
-  County Zoning

N



Not to Scale

Issues for record SP23-110**Job Address: 1101 S AMELIA AV, DELAND FL 32724****Job Description: This project includes the construction of a parking lot and stormwater pond**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
TV and ICPR						
Engineering	Draft	1. Basin 1, Treatment Water Calculation: SJRWMD TV requirement for an on-line system is "Retention of the first one-half inch of runoff or 1.25 inches of runoff from the impervious area, which is greater plus an additional one-half inch of runoff from the drainage area". 2. Please make sure ICPR input information for DCS-1 matches Sheet C7 of construction plans. Length and 18" pipe invert do not match.		Ray Bahrami	Ray Bahrami	Yes
Storm Sewer Design						
Engineering	Draft	1. Please provide a copy of the storm sewer design for this project. 10yr 24hr maximum pond stage elevations needs to be used as tailwater elevation.		Ray Bahrami	Ray Bahrami	Yes
Cross Sections, Storm events and Rip rap						
Engineering	Draft	1. Please make sure RA-1 maximum pond stage elevation for various storm events match Stormwater Report. ICPR summary shows 25yr 24hr, 25yr 96hr and Mean storm events. This sheet shows 10yr 24hr, 25yr 24hr, and 100yr 24hr storm events. 2. Please provide cross sections through proposed parking area (north property line to south and east property line to west). And one through proposed pond and roadway through northern property line since no typical pond cross section was included. 3. Please provide a detail for proposed rip-rap rubble (length, width, depth, material type, ...) or refer to FDOT standards.	C6	Ray Bahrami	Ray Bahrami	Yes
Storm Pipe - Phasing						
Engineering	Draft	1. Since Phase 2 construction time is unknown at this time, please provide a storm stub-out north of ST-19 for future connection.	C4	Ray Bahrami	Ray Bahrami	Yes
Fire Hydrant						
Fire	Draft	Provide a fire hydrant within the parking lot area.	C4	Jamie Lunsford	Jamie Lunsford	Yes
Irrigation Plan						
Forestry	Draft	Provide an irrigation plan.	LA1	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	City Tree Barricade Detail Add the City Tree Barricade Detail to the plan.	TP1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Tree Protection Area Label the Tree Protection Area and show the barricade for the area on the plan.	TP1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Tree Specifications Add the following information to the specifications: AR - Add 8' spread. LS - Add 8' spread, 100 gal container. MGD - Add 8' spread. MGL - Add 2' spread, change the height from "B" to 8'. QV - Add 8' spread. TD - Add 4.5' spread. UA - Add 4' spread, change height from "B" to 8'.	LA1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Existing Trees Remove 4" D.B.H (In 3 locations) from the statement "Trees that are 4"-6" D.B.H shall be used to meet minimum tree requirements." Healthy trees that are 6" DBH or greater may be counted towards minimum tree requirements.	LA1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Excel Spreadsheet Please provide an Excel Spreadsheet for trees removed, and for trees retained, that includes the tree species and DBH.	TP1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	26" Laurel oak There is a 26" DBH Laurel oak in the table labeled for 6"-19" Laurel oaks.	TP1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Deteriorated Replacement In order to receive reduced replacement, provide an Arborists report that supports the deteriorated condition of the trees.	TP1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Replacement Trees Replacement trees listed need to match the trees provided in the Plant Schedule on sheet LA1.	TP1	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Weeping Willow Weeping Willow is not on the City's list of approved replacement trees.	TP1	Kit Dennis	Kit Dennis	Yes
Planning	Draft	Amelia Ave. Buffer A landscape buffer (Type B) is required where adjacent to Amelia Ave.	LA1	Kendall Story	Kendall Story	Yes
Planning	Draft	Dimensions Please add the property boundary dimensions.	C5	Kendall Story	Kendall Story	Yes
Planning	Draft	Irrigation Plan Irrigation plan not provided		Kendall Story	Kendall Story	Yes
Planning	Draft	Photometric Plan Photometric plan not provided		Kendall Story	Kendall Story	Yes
Planning	Draft	Phasing The phase lines do not correspond with the site plan for phase 1.	C5	Kendall Story	Kendall Story	Yes
Planning	Draft	Label Phases Add phasing line please	C5	Kendall Story	Kendall Story	Yes
Planning	Draft	HC spaces I do not see any handicap spaces on this plan. Will they be provided elsewhere? Please explain and add a statement on the site plan that explains this.	C5	Kendall Story	Kendall Story	Yes
Planning	Draft	Blanket Easements Blanket easements for cross access and parking need to be recorded prior to site plan approval. Please provide the book and page once recorded.	C5	Kendall Story	Kendall Story	Yes
Planning	Draft	Parking count Per Sec. 33-91 of the code, governmental offices require 1 space/200 square feet of net floor area. Please calculate the required parking spaces based on the square footage of building(s): - _____ sq. ft. requires _____ parking spaces	C5	Kendall Story	Kendall Story	Yes

Discipline Status Details

-spaces provided for phase 1
 -spaces provided for phase 2
 -total spaces provided for both phases

*This must correspond with phase 1 site plan.

Annex

This approval will require the unincorporated parcels to be annexed prior to the issuance of a development order (concurrent app is in review AN23-105).

Date

Under the title, please add the date on the plan and on all revisions.

Site info

In Site Information table, the zoning should indicate that the zoning district is the county's: "VC R-4"

Irrigation

How will site be irrigated? Reclaim could come off of the UAB piping connection.

Attached To Created By Last Updated By Modifications Required

C1 Kendall Story Kendall Story Yes

C1 Kendall Story Kendall Story Yes

C1 Kendall Story Kendall Story Yes

C1 Jim Ailes Jim Ailes Yes