

TRC AGENDA



**CITY OF DELAND
THURSDAY MAY 18, 2023 AT 1:30 P.M.
CITY OF DELAND TRC MEETING ROOM
DELAND, FLORIDA**

A. CALL TO ORDER

B. ROLL CALL

C. OLD BUSINESS

1. **Review of April 20, 2023 TRC Meeting Minutes**
2. **Applicant Name:** Daniel Micohen – CPH **Melissa**
Project Name: SP23-011 – Class II Site Plan for Walmart
Project Location: 23.98 acres located at 1699 N Woodland Blvd
Project Description: 5,128 SF addition
3. **Applicant Name:** Michael Woods – Cobb Cole **Kendall**
Project Name: Z22-212 – Rezoning for Dixie Lodge
Project Location: 1.99 acres located at 647 S Woodland Blvd
Project Description: Rezone from C-2 to PD

D. NEW BUSINESS

1. **Applicant Name:** Mark Watts – Cobb Cole **Belinda**
Project Name: PSB23-057 – Preliminary Plat for Spring Garden Townhomes
Project Location: 14.72 acres located on the west side of S Spring Garden south of Plymouth Ave
Project Description: 90 Townhomes
2. **Applicant Name:** Howard Lefkowitz – Manchester Communities **Kendall**
Project Name: PSB23-059 – Preliminary Plat for Manchester Phase 2A
Project Location: 7 acres located at 801 Sol Y Sombra
Project Description: 34 Single Family Attached Units
3. **Applicant Name:** Howard Lefkowitz – Manchester Communities **Kendall**
Project Name: PSB23-065 – Preliminary Plat for Manchester Phase 2B
Project Location: 8.04 acres located at 801 Sol Y Sombra
Project Description: 4 Single Family Lots

4. **Applicant Name:** Dvonne Hernandez – Property Owner **Sam**
Project Name: MS23-061 – Minor Subdivision for Hernandez
Project Location: 4.38 acres located on the south side of E Taylor Rd
Project Description: 2 Single Family Lots
5. **Applicant Name:** Sean Fortier – KCG **Belinda**
Project Name: SP23-063 – Class II Site Plan for Trinity Gardens Stockpile
Project Location: 77.77 acres located S Kepler Ave
Project Description: Stockpile
6. **Applicant Name:** Candace Boamah **Sam**
Project Name: MS23-066 – Minor Subdivision for Boamah
Project Location: .26 acres located at 675 E Euclid Ave
Project Description: 2 Single Family Lots
7. **Applicant Name:** Angie Corbitt – Evans Engineering **Kendall**
Project Name: SP23-068 – Class IV Site Plan for Hillpointe DeLand
Project Location: 6.40 acres located at the NE corner of Spring Garden Ave and Plymouth Ave
Project Description: 204 Apartments
8. **Applicant Name:** Joseph Hopkins – The Performance Group **Belinda**
Project Name: SP23-081 – Class II Site Plan for Gaff's
Project Location: .65 acres located on Golf Club Dr
Project Description: Additional Parking lot for Gaff's
9. **Applicant Name:** Strickland Smith – Heidt Design **Melissa**
Project Name: PSB23-086 – Preliminary Plat for Cresswind Phase 2 and 3
Project Location: 77.77 acres located at 2751 E New York Ave
Project Description: 223 Single Family Lots
10. **Applicant Name:** Steve Costello – City of DeLand **Belinda**
Project Name: SP23-087 – Class II Site Plan for The City of DeLand
Project Location: .81 acres located at 201 W Howry Ave
Project Description: Parking Lot

E. OTHER BUSINESS

F. ADJOURNMENT

OLD BUSINESS

1



**CITY OF DELAND
TECHNICAL REVIEW COMMITTEE MEETING
MEETING MINUTES
THURSDAY, APRIL 20, 2023 -1:30 P.M.
CITY HALL**

OPENING OF MEETING:

Call to Order:

1:30 pm

Members Present:

Carol Kuhn, Chairperson
Belinda Williams Collins
Melissa Winsett
Kendall Story
Debi Glick
Larry Hites
Jamie Lunsford
Terry Griffiths
Chris Jackson
Chad Gamble
Ray Bahrami
Tuan Huynh
Jim Ailes
Scott Zender

OLD BUSINESS:

1. Approval of the minutes of the TRC Meeting Minutes from March 16, 2023

***Jim Ailes moved to approve the minutes with the correction of the meeting date,
Ray Bahrami seconded the motion.
The TRC Committee voted unanimously in favor of motion.***

NEW BUSINESS:

1. **Applicant Name:** Michael Wojtuniak – Engineered Permits Inc Belinda
Project Name: SP23-038 – Class II Site Plan for Jacobites
Project Location: .504 acres located at 502 W New York Ave
Project Description: 2,110 SF Specialty Restaurant

Applicants Present:

Michael Wojtuniak – EPI
Gary Townsend – EPI
David Stout – Scottish Fayre
Jack Carter – Carter Architecture

Applicant will address all comments and resubmit plans.

*Jim Ailes moved to conditionally approve the application, at the April 20, 2023 TRC meeting,
Scott Zender seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

2. **Applicant Name:** Michael Wojtuniak – Engineered Permits Inc Belinda
Project Name: SP23-042 – Class II Site Plan for Littlefield Paint and Body
Project Location: 1.3 acres located at 1632 Parade Circle
Project Description: 5000 SF addition

Applicants Present:

Michael Wojtuniak – EPI
Gary Townsend – EPI

Applicant will address all comments as discussed with staff at the meeting. The abandonment of the ROW to the west must be completed prior to resubmittal of revised plans. No deadline was given for the resubmittal of plans.

*Chris Jackson moved to continue the application, at the April 20, 2023 TRC meeting,
Jim Ailes seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

3. **Applicant Name:** Peter Traficante – Kimely Horn and Assoc. Melissa
Project Name: CP23-043 – Concept Plan for Wawa
Project Location: 2.66 acres located at N Summit Ave
Project Description: 6000 SF of Convenience Store with Gas Pumps

Applicants Present:

None present

There were no representatives present to discuss staff comments. All comments must be address in a Class II site plan submittal.

No action required concept review only

4. **Applicant Name:** Josh Kinsley – LUV Car Wash Southeast LLC Kendall
Project Name: SP23-044 – Class II Site Plan LUV Car Wash
Project Location .68 acres located at 104 E International Spdwy Blvd
Project Description: Changes to site layout

Applicants Present:

Sarah Culotta – Z Development Services
Bob Ziegenfuss – Z Development Services

Applicant will address all comments as discussed with staff and resubmit plan for TRC review at June meeting. The applicant was given until May 15, 2023 to resubmit plans.

Chad Gamble moved to continue the application to the June 15, 2023 meeting, at the April 20, 2023 TRC meeting,

Kendall Story seconded the motion.

The TRC Committee voted unanimously in favor of motion.

5. **Applicant Name:** Jason Sheridan – Pennoni Associates Kendall
Project Name: SP23-046 – Class II Site Plan for Take 5
Project Location 2 acres located on E International Spdwy Blvd 300' east of N Garfield Ave
Project Description: 4183 SF Carwash and Oil change facility

Applicants Present:

Jason Sheridan – Pennoni Associates

Applicant will address all comments as discussed with staff and resubmit plan for TRC review at June meeting. The applicant was given until May 15, 2023 to resubmit plans.

Kendall Story moved to conditionally approve the application, at the April 20, 2023 TRC meeting,

Ray Bahrami seconded the motion.

The TRC Committee voted unanimously in favor of motion.

6. **Applicant Name:** Strickland Smith – Heidt Design Belinda
Project Name: FSB23-049 – Final Plat for Cresswind Phase 1
Project Location 88.85 acres located at 2751 E New York Ave
Project Description: Plat 155 single family lots

Applicants Present:

Emily Vaughn – Kolter Homes
Strickland Smith – Heidt Design
Brad Walker – Kolter Homes

Applicant will address staff comments and resubmit revised plat. The revised plats will be sent for surveyor and legal review, once all comments have been address staff will schedule the plat for approval by City Commission.

***Belinda Williams Collins moved to forward application to the City Commission upon addressing all staff, surveyor and legal comments, at the April 20, 2023 TRC meeting,
Ray Bahrami seconded the motion.
The TRC Committee voted unanimously in favor of motion.***

7. Applicant Name:	Amy Mathews – Masterplan	Melissa
Project Name:	SP23-054 – Class II Site Plan for Extra Space Storage	
Project Location	8.55 acres located at 2745 S Woodland Blvd	
Project Description:	39,600 SF expansion of existing storage facility	

Applicants Present:

Shandon Gubler – Extra Space Storage
Scott Armstrong – Extra Space Storage
Traton Roberts- Masterplan

There were no representatives present to discuss staff comments. Application was continued to the April 20, 2023 TRC contingent upon receiving revised plans addressing staff comment by March 24, 2023.

***Ray Bahrami moved to conditionally approve the application, at the April 20, 2023 TRC meeting,
Melissa Winsett seconded the motion.
The TRC Committee voted unanimously in favor of motion.***

OTHER BUSINESS:

None.

ADJOURNMENT:

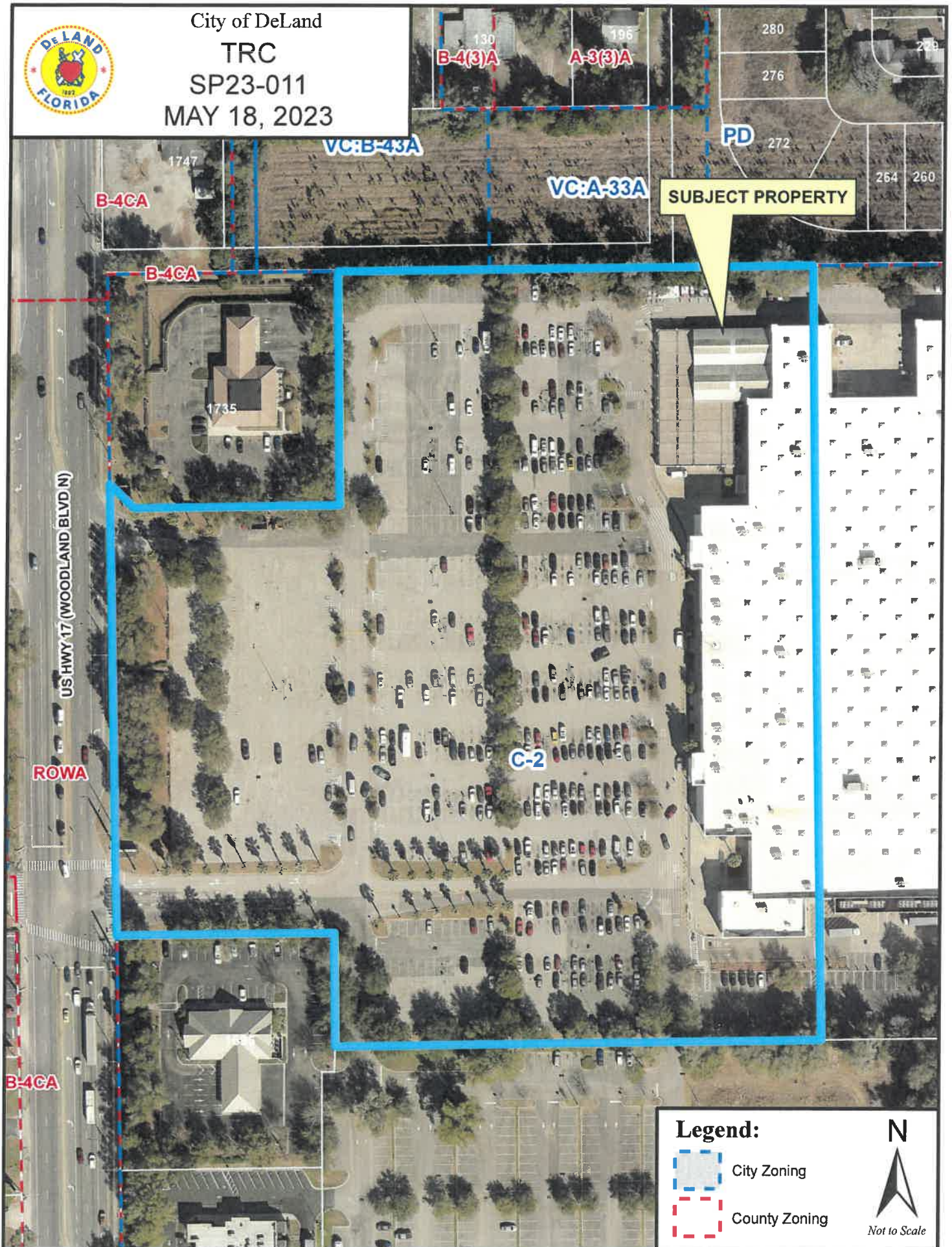
3:33 pm

OLD BUSINESS

2



City of DeLand
TRC
SP23-011
MAY 18, 2023



Legend:

-  City Zoning
-  County Zoning





City of DeLand
TRC
SP23-011
MAY 18, 2023

B-4(3)A A-3(3)A

Woodland Village
PD

VC:B-43A

VC:A-33A

B-4CA

SUBJECT PROPERTY

B-4CA

US HWY-17 (WOODLAND BLVD N)

1735

ROWA

C-2

B-4CA

Legend:



City Zoning

County Zoning



Not to Scale

Issues for record SP23-011**Job Address: 1699 N WOODLAND BLVD, DELAND FL 32720****Job Description: CONSTRUCT A 5,128 SF +/- BUILDING ADDITION. AS PART OF THIS WORK, WALMART PROPOSES A TOTAL OF 45 PICKUP SPACES, WHICH WILL RESULT IN THE LOSS OF 15 PARKING SPACES. THIS SCOPE ALSO PROPOSES SIGNAGE AND STRIPING IMPROVEMENTS.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Fire	Draft	New Addition There does not appear the additional sq. ft. included in the calculations.	LS1	Terry Griffiths	Terry Griffiths	Yes
Fire	Draft	Occupant load calculations Occupant load calculation of 60 is incorrect. 30 is the proper number for single story use.	LS1	Terry Griffiths	Terry Griffiths	Yes
Fire	Draft	Calculations Marked exits are not accessible to patrons and can not be used in the general exit width calculations.	LS1	Terry Griffiths	Terry Griffiths	Yes
Fire	Draft	Life Safety Plan Provide life safety plan in Plan Room so we are able to verify travel distances. Also there is no comment about what exits will be affected during construction. Responses need to be in plan room.		Terry Griffiths	Terry Griffiths	Yes
Fire	Not Accepted	Life Safety Plan Provide life safety plan for any altered means of egress. Last response: Please refer to comment response letter included with this submission.		Terry Griffiths	Terry Griffiths	Yes
Fire	Not Accepted	Means of Egress Provide locations of any exit discharge or means of egress that will be altered or unusable during construction by patrons or employees. There are 5 separate exits that are affected by construction and the finished product. Last response: Please refer to comment response letter included with this submission.		Terry Griffiths	Terry Griffiths	Yes
Forestry	Draft	Tree Barricade Detail	T1.0	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Tree Barricade Detail should be updated to the most current version.						
Tree Barricade Detail						
Forestry	Not Accepted	Please add tree barricade detail to the plan. Last comment from reviewer: Please update with most current version. Last response: Please refer to comment response letter included with this submission.	L5.0	Mariellen Calabro	Mariellen Calabro	Yes
Disclosures						
Planning	Not Accepted	Disclosures (top left corner): Please revise the existing and proposed signage square-footage information. Last comment from reviewer: Minor: Please add the variance details: Planning Board approved the variance, allowing up to 325 SF of building signage, on 4-19-23. Last response: Please refer to comment response letter included with this submission.	A2	Melissa Winsett	Melissa Winsett	Yes
General Comment						
Planning	Not Accepted	Overall, the proposed changes are unclear. Clearly depict what's existing vs. what's proposed and include all changes. Last comment from reviewer: Comments is addressed, however, please update the Disclosures box to indicate that the building signage variance was approved on April 19, 2023. Last response: Please refer to comment response letter included with this submission.	A2	Melissa Winsett	Melissa Winsett	Yes
City Architect Comments						
Planning	Not Accepted	Please review and respond to the City Architect's comments saved in the Accela Documents. Last comment from reviewer: The response letter stated that responses to the city architect's comments would be submitted under separate cover, but the updated Applicant response states that a comment response letter was included with the submission. Staff was unable to find the letter; therefore, the review by the city architect could not be completed. Please confirm that the response letter was uploaded and be sure to properly label it as corresponding to the response to city architect comments. Last response: Please refer to comment response letter included with this submission.	A2	Melissa Winsett	Melissa Winsett	Yes
Planning	Not Accepted	Wayfinding Signage Location The applicant's proposed onsite wayfinding signage is onsite instead of adjacent to	C1.3	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Woodland Blvd. As expressed in the previous comment (See Overall Site Plan comments), the existing south driveway and intersection with the first north-south drive aisle are heavily congested and a safety concern. The Pickup area needs wayfinding signage on Woodland Blvd to direct Pickup customers to use the north entrance and avoid navigating through the congested south entrance area. Please coordinate with FDOT regarding installing wayfinding signage on Woodland Blvd. Last comment from reviewer: Staff appreciates the applicant's Pickup signage changes. Per FDOT's email correspondence, no signage will be allowed in FDOT ROW to direct customers to the north entrance. Per a recent field visit, no Walmart monument sign exists at the north entrance. Please add Pickup signage on Walmart property, but within close proximity to Woodland Blvd, to help direct customers to the north driveway. Last response: Please refer to comment response letter included with this submission.				
		Site Data Table				
		Add Site Data table that includes: A. Building height. B. Overlay: Emerging Gateway. C. Acreage Summary (23.91 acres)				
Planning	Not Accepted	Last comment from reviewer: Per Section 33-36.02, "Woodland Blvd (US 17) from the intersection of US 17 and International Speedway Blvd north to SR 15A" is an Emerging Gateway Corridor. Please add: "Gateway Overlay District: Emerging Gateway" to the Site Data table. Last response: Please refer to comment response letter included with this submission.	C1.2	Melissa Winsett	Melissa Winsett	Yes
		Number of Parking Spaces				
		The number of parking spaces must be compliant with Section 33-91.03(f). The square footage information within the Site Data area is confusing, which impacted staff's ability to check the number of required parking spaces. Please provide a table that documents the building's total square-footage, square-footage associated with the hallways, restrooms, etc., net square-footage, parking calculation of code-required parking spaces, and proposed number of parking spaces. Please break out the number of proposed standard, ADA, and Pickup spaces.				
Planning	Not Accepted	Last comment from reviewer: City staff's required parking calculation differs from that of which is shown on the plan. The applicant based the calculation on a net building square footage of 221,153 SF. Staff's calculation is based on 226,458 SF based on information shown elsewhere in the Site Data information. (City staff's calculation: 231,505 SF Gross Building minus 5,047 SF Hallways & Restrooms = 226,458 net SF.) Please revise the Required Parking section on the plan. See sections 33-91.03(f) through 33-91.03(j) regarding information and exceptions for required parking spaces. Last response: Please refer to comment response letter included with this submission.	C1.0	Melissa Winsett	Melissa Winsett	Yes

OLD BUSINESS

3



City of DeLand
TRC
Z22-212
MAY 18, 2023



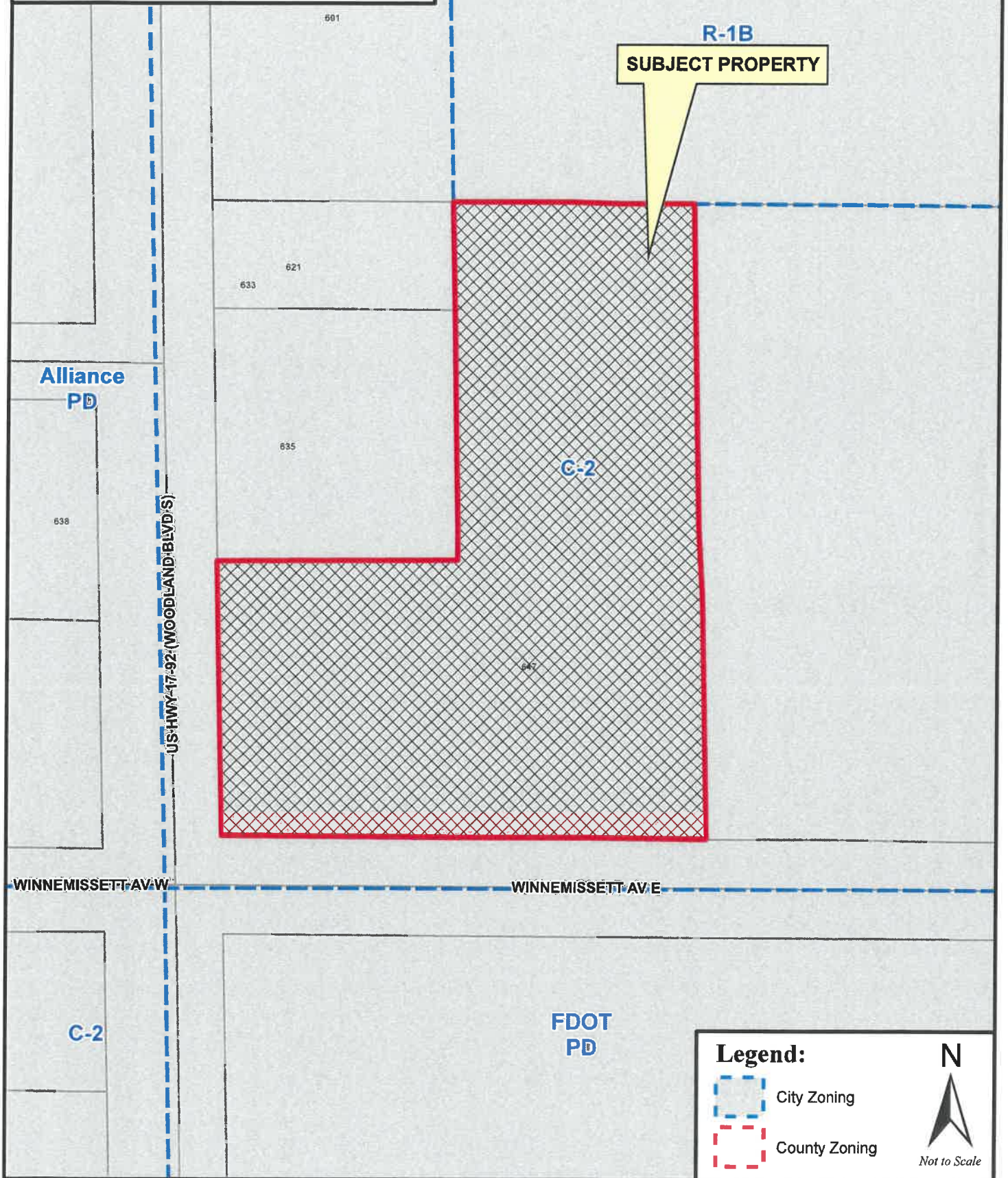
Legend:

-  City Zoning
-  County Zoning





City of DeLand
TRC
Z22-212
MAY 18, 2023



Issues for record Z22-212**Job Address: 647 S WOODLAND BLVD, DELAND FL 32720****Job Description: To change zoning from C-2 to PD to update existing use & structure**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Mature oak trees						
Forestry	Draft	This project area appears to contain several mature oak trees. A tree survey will be required at the site plan page that identifies these trees by species and DBH to determine minimum coverage and potential tree impacts.	Concept Plan.pdf	Mariellen Calabro	Mariellen Calabro	Yes
Tree Survey						
Forestry	Draft	No tree survey information has been provided. This information will be required at the site plan stage.	Concept Plan.pdf	Mariellen Calabro	Mariellen Calabro	No
Minimum Coverage						
Forestry	Draft	At the site plan stage, you will need to demonstrate that the project area has at least one tree per 2,500 sf. This would require you to have at least 208" DBH on site when the project has been completed.	Concept Plan.pdf	Mariellen Calabro	Mariellen Calabro	No
15% TPA						
Forestry	Draft	Your project will need to provide 15% Tree Protection Area. This would require 12,983 sf to be set aside as Tree Protection Area. This area must be shown during the site plan phase unless zoning changes exempt this requirement.	Concept Plan.pdf	Mariellen Calabro	Mariellen Calabro	Yes
C-2A Zoning						
Forestry	Draft	This sentence appears to change zoning in the area from C-2 to C-2A Zoning. Please check with Planning to determine whether this is appropriate.	PD Agreement with exhibits (4-12-2023).pdf	Mariellen Calabro	Mariellen Calabro	Yes
Exhibit "C"						
Forestry	Draft	Exhibit C has not been provided.	PD Agreement with exhibits (4-12-2023).pdf	Mariellen Calabro	Mariellen Calabro	Yes
C2 to C2A						
Forestry	Draft	It appears that this document proposes changing this property from C2 zoning to C2A.	PD Agreement with	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
This would eliminate minimum tree coverage and tree protection area requirements. Please check with Planning whether this is appropriate.						
Forestry	Draft	Resolution Resolution of this page is not sufficient to provide complete review of text and graphics.	PD Agreement with exhibits (10-17-2022).pdf	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Barricade Detail At site plan stage replace with City's current Tree Barricade detail.	PD Agreement with exhibits (10-17-2022).pdf	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Orange County Florida Replace references to Orange County to City of DeLand.	PD Agreement with exhibits (10-17-2022).pdf	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Laurel Oak Laurel Oak is not on the current list of tree replacement species. When site plan is provided, you will need to select a canopy species that is on the current approved list. All trees specified must be a minimum of Grade 1.	PD Agreement with exhibits (10-17-2022).pdf	Mariellen Calabro	Mariellen Calabro	Yes
Planning	Not Accepted	Delineate LS buffers Delineate all landscape buffers and label the width being provided on the LS drawing Last comment from reviewer: repeat comment Last response: Updated plans will be provided in subsequent submittal once a final unit yield and issues such as the parking minimum standards have been determined.	PD Agreement with exhibits (10-17-2022).pdf	Kendall Story	Kendall Story	Yes
Planning	Not Accepted	Parking lot islands Parking lot islands must be a min. of 9' wide and 72 sq. ft. Last comment from reviewer: repeat comment	PD Agreement with exhibits (10-17-2022).pdf	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Last response: Updated plans will be provided in subsequent submittals once a final unit yield and issues such as the parking minimum standards have been determined.						
dumpster screening						
Planning	Not Accepted	Solid waste dumpsters must be screened on three sides with plant material, building material or a combination of both, which exceed the height of the facility. (33-92.02(b) table.	PD Agreement with exhibits (10-17-2022).pdf	Kendall Story	Kendall Story	Yes
Last comment from reviewer: repeat comment						
Last response: Updated plans will be provided in subsequent submittals, but otherwise noted.						
West buffer						
33-36.05 Core Gateway LS buffer requirements for West buffer:						
a. 15' wide						
b. Canopy trees 4" dbh/14' tall						
c. Refer to Type A for number of plantings required.						
d. Internal LS requirements and vehicle use areas:						
i. All nonresidential parking lots shall have internal landscaping equaling 10% of the total vehicle use area, including driveways, parking spaces, and vehicle storage and display areas.						
ii. If parking abuts the landscape buffer, a shrub hedge shall be arranged or planted so that a minimum height of three feet will be attained within one year of planting and so as to screen a minimum of 75% of the parking area.						
iii. A wall or berm may be used in conjunction with the hedge to meet the screening requirement.						
Planning	Not Accepted		PD Agreement with exhibits (10-17-2022).pdf	Kendall Story	Kendall Story	Yes
Last comment from reviewer: repeat comment						
Last response: Updated plans will be provided in subsequent submittals once a final unit yield and issues such as the parking minimum standards have been determined.						
wrong address						
Planning	Not Accepted	Address on C101 is incorrect. Should be 647 not 347 S Woodland.	Concept Plan.pdf	Kendall Story	Kendall Story	Yes
Last comment from reviewer: repeat comment						
Last response: Updated plans will be provided in subsequent submittals.						
Planning	Not Accepted	Parking count does not match PD Parking count does not match PD	Concept Plan.pdf	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Last comment from reviewer: repeat comment Last response: Updated plans will be provided in subsequent submittals.						
Units UNITS: Max. density is 10 du/acre in MC. A FLU amendment to increase the density is not supported by staff. Max. number of units permitted for 1.99 acres is 20, not 31. Unit count does not match PD						
Planning	Not Accepted		Concept Plan.pdf	Kendall Story	Kendall Story	Yes
Last comment from reviewer: Refer to SB affordable housing bill Last response: Updated plans will be provided in subsequent submittals. The attached revised PD Agreement has been revised to reflect a total yield of 40 units, relying upon the proposed comprehensive plan affordable housing language.						
site data						
Zoning: Provide the proposed zoning PD Add FLU: existing and proposed and overlay (Core)						
Planning	Not Accepted		Concept Plan.pdf	Kendall Story	Kendall Story	Yes
Last comment from reviewer: repeat comment Last response: Updated plans will be provided in subsequent submittals.						
revisions						
All revisions must be clouded.						
Planning	Not Accepted		Concept Plan.pdf	Kendall Story	Kendall Story	Yes
Last comment from reviewer: repeat comment Last response: Updated plans will be provided in subsequent submittals.						
existing LS buffers						
The site will not meet the required buffer standards. Incorporate standards for the buffers as they currently exist into your LS standards in the PD						
Planning	Not Accepted		PD Agreement with exhibits (10-17-2022).pdf	Kendall Story	Kendall Story	No
Last comment from reviewer: misc Last response: Updated plans will be provided in subsequent submittals once a final unit yield and issues such as the parking minimum standards have been determined.						

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Concept Plan needs to be revised						
Planning	Not Accepted	Exhibit B Concept Plan must be revised. The plan does not match the PD development standards.	PD Agreement with exhibits (10-17-2022).pdf	Kendall Story	Kendall Story	Yes
		Exhibit C Landscape Plan must be revised to match the PD development standards.				
		Last comment from reviewer: repeat comment				
		Last response: Updated plans will be provided in subsequent submittals.				
Spell out LS standards						
Planning	Not Accepted	Do not just refer to LS plan; spell out the requirements and what will be provided. Buffer type/width, etc.	PD Agreement with exhibits (10-17-2022).pdf	Kendall Story	Kendall Story	Yes
		Last comment from reviewer: repeat comment				
		Last response: Updated LS plans will be provided in subsequent submittals, and specific language will be included within the PD. However, unit yield and issues such as parking minimum standards must be determined before a final landscape plan can be generated.				
		Does not match concept plan				
Does not match concept plan						
Planning	Not Accepted	Does not match concept plan	PD Agreement with exhibits (10-17-2022).pdf	Kendall Story	Kendall Story	Yes
		Last comment from reviewer: repeat comment				
		Last response: Updated plans will be provided in subsequent submittals.				
		development standards				
Planning	Not Accepted	Provide development standards for uses other than multi-unit efficiency. The property may not develop as that use.	PD Agreement with exhibits (10-17-2022).pdf	Kendall Story	Kendall Story	Yes
		Last comment from reviewer: repeat comment				
		Last response: We are continuing to request the redevelopment of the property as affordable housing, but we have added language to allow for the development of the site as C-2A should any other redevelopment attempts occur.				

Issues for record SP23-063

Job Address: 0 S Kepler RD, DeLand FL 32724

Job Description: Stabilized access road and stockpile for earthwork export within the Trinity Gardens PSB22-138 project

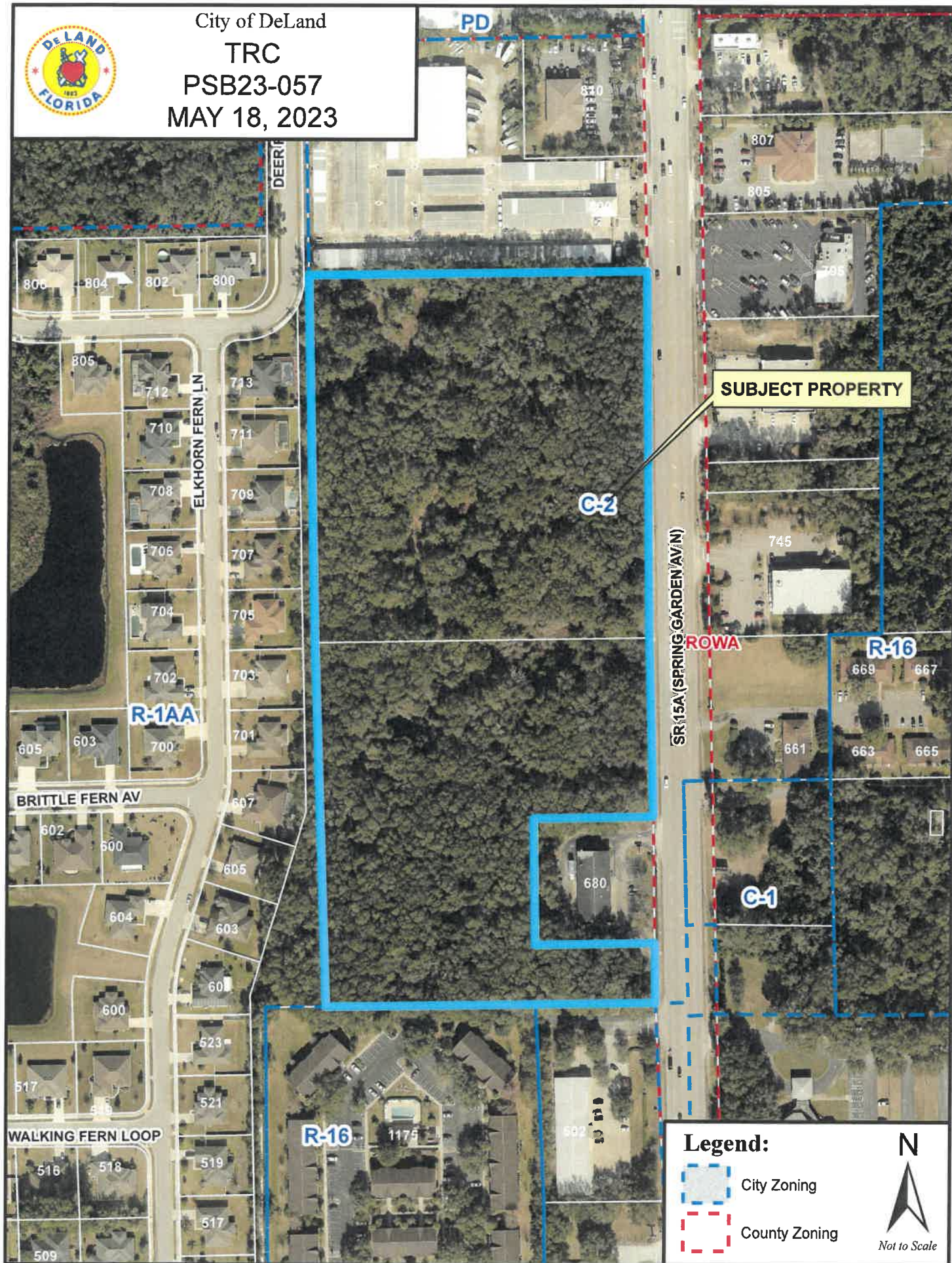
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Cross Sections						
Engineering	Draft	1. Please provide a typical pavement cross section for 20' stabilized access road. 2. Please add a couple of cross sections through stockpile locations.	1	Ray Bahrami	Ray Bahrami	Yes
No comments.						
Forestry	Draft	Forestry has no comments at this phase.	1	Kit Dennis	Kit Dennis	No
Phases served						
Planning	Draft	Identify the phases that this stockpile will serve and the anticipated timeframe for completion of the development. Where practical, this stockpile should also serve the remaining phases and remain undisturbed for the longest period of time possible.		Belinda Collins	Belinda Collins	Yes
Segregation of materials						
Planning	Draft	33-62.07 (b) - Stockpiling differing geological materials. All excavation of overburden shall be accomplished in a manner conducive to segregated stockpiling of differing geologic materials. Topsoil, clean sands and clay soils shall each be stockpiled separately or layered in stockpiles in such a manner as to avoid comingling of differing geologic materials, and in all cases care shall be taken to avoid contaminating topsoil with clay materials. Upon completion of the mining operation, restoration of the ground surface shall be accomplished by replacement of each of the differing soil types in reverse sequence from that in which they were removed. Each separate layer, horizon or geologic strata shall be replaced and consolidated before the succeeding layer is replaced.	1	Belinda Collins	Belinda Collins	Yes

NEW BUSINESS

1



City of DeLand
TRC
PSB23-057
MAY 18, 2023

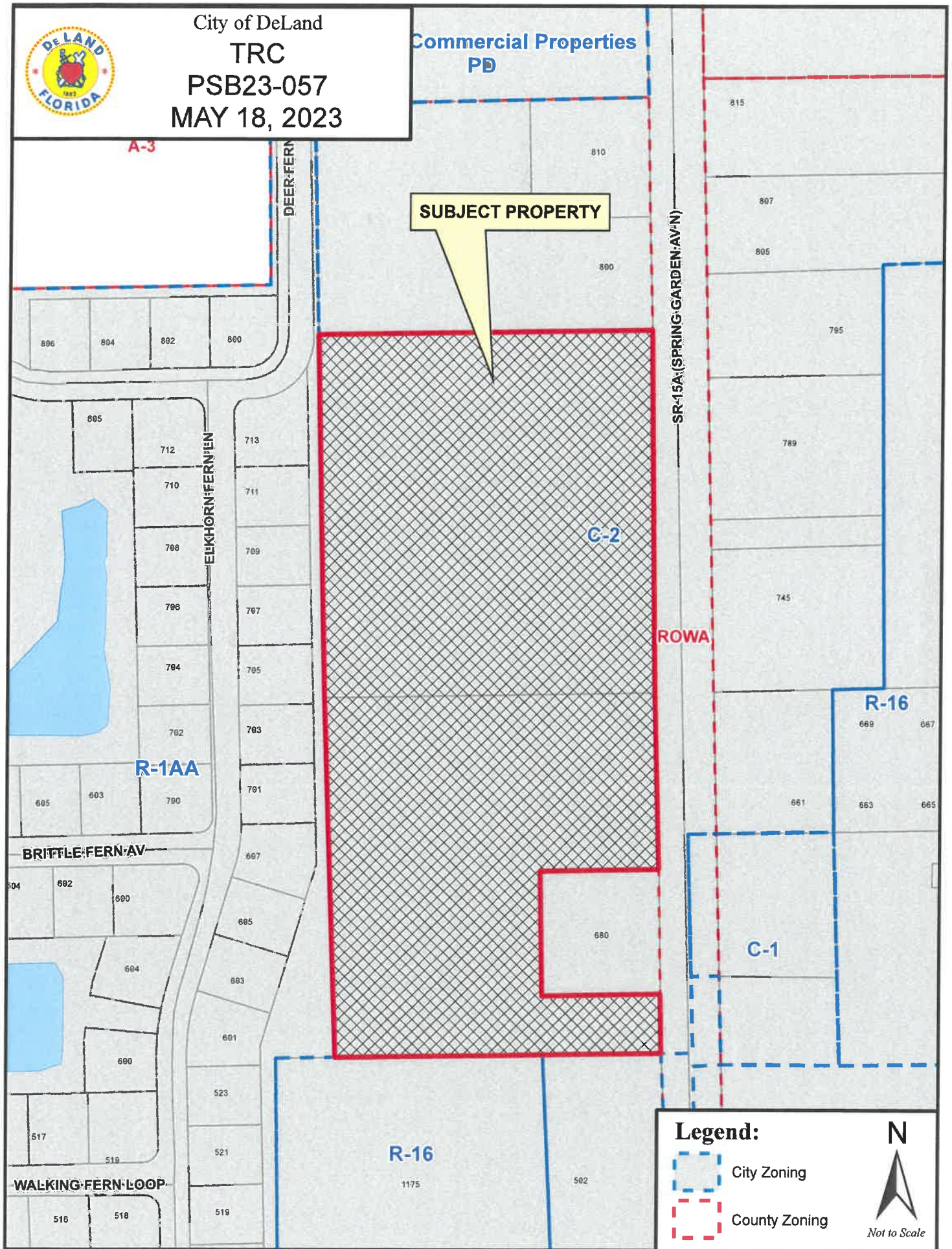




City of DeLand
TRC
PSB23-057
MAY 18, 2023

Commercial Properties
PD

SUBJECT PROPERTY



Issues for record PSB23-057**Job Address: 0 N SPRING GARDEN AV, DELAND FL 32720****Job Description: Preliminary Plat application for Spring Garden Townhomes project.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Master Utility Report						
Engineering	Draft	- Under System Demand, the first paragraph: Irrigation system cannot be connected to potable water system; therefore, demand calculations need to exclude irrigation demand. - Please use Water ERC = 300 GPD.		Ray Bahrami	Ray Bahrami	Yes
Drainage Report						
Engineering	Draft	- Page 2, Design Overview, second line, SJRWMD was repeated twice. - Page 2, SJRWMD requires modeling for 25yr 96hr storm event for land-locked basin. - Page 2, under Design Overview, first paragraph, and under Stormwater Evaluation: This project needs to satisfy City of Deland stormwater requirements rather than Volusia County. In addition, since this project is adjacent to FDOT ROW and stormwater runoff discharge to SR 15A, FDOT guidelines need to be satisfied as well. - Page 5, Water Quantity, the City of DeLand requires both discharge rate and volume for 25yr 24hr storm event. - Page 7, Water Quality: SJRWMD requires On-line retention of an additional one-half inch of runoff from the drainage area over that volume for off-line treatment which is retention of the first one-half inch of runoff or 1.25 inches of from the impervious area, whichever is greater. First line indicates 1" of runoff over impervious area. Please make sure, Appendix III, Table 4-12, reflects SJRWMD Water Quality requirement. - The maximum ponds stage elevation table are repeated twice. - Appendix III – Support Calculations, Water Treatment Volume Calculations, Table 4-12: Shows Basins DA-1 to DA-5 which does not match Post-Development Basin Map. - There are two Tc Paths shown for EDA-4 Pre-Development Basin Map. Was the longer path used in TR 55? - Hydraflow Storm Sewer Modeling: Please highlight D100, 10yr 24hr tailwater elevation used for modeling.		Ray Bahrami	Ray Bahrami	Yes
General Comment						
Engineering	Draft	1. There are so many sheets provided for this development which can be reduced by being incorporated on other sheets.		Ray Bahrami	Ray Bahrami	Yes
Plan & Profile Sheets						
Engineering	Draft	1. There are separate Plan & Profile sheets generated for Water, Sewer and Storm sewer pipes. Suggest combining them all in Roadway Plan & Profile sheets.		Ray Bahrami	Ray Bahrami	Yes
Mailbox Stand						
Engineering	Draft			Ray Bahrami	Ray Bahrami	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
1. Where is residents' mailbox stand located? It needs to be handicap accessed.						
FDOT Permits						
Engineering	Draft	1. FDOT Permits are required.		Ray Bahrami	Ray Bahrami	Yes
VC Utility Details						
Engineering	Draft	This Sheet, Volusia County Utility Details, needs to be removed.	C7.3	Ray Bahrami	Ray Bahrami	Yes
Cross Sections						
Engineering	Draft	1. The City usually does not allow slope steeper than 4:1. 2. Please extend Sections A-A, B-B, C-C, D-D, and F-F Profile to include building slab. 3. Section E-E call outs need to be fixed. 4. Profile is repeated twice. 5. Please label ROW/Property Line on Section F-F Profile.	C5.5	Ray Bahrami	Ray Bahrami	Yes
Storm Structure and HP						
Engineering	Draft	1. Storm Structure D107 rim elevation of 86.09' is higher than HP elevation of 85.30'. The symbol represents DBI but it is labeled as manhole in storm sewer structure table. 2. Please show center line HP north of D112.	C5.3	Ray Bahrami	Ray Bahrami	Yes
General Comments for Sheets C5.1 to C5.3						
Engineering	Draft	1. Please add Storm Sewer Pipe and Storm Sewer Structure Schedule Tables to Grading Plans. It is hard to review grading plans without this information. 2. The difference between FFE and Pad Elevation varies from 0.50' to 0.70' for proposed buildings. But is it 0.50' on Sheets C5.6 and C5.7. 3. How is building roof drain handled?	C5.3	Ray Bahrami	Ray Bahrami	Yes
General Comments for Sheets C5.1 to C5.3						
Engineering	Draft	1. Please add Storm Sewer Pipe and Storm Sewer Structure Schedule Tables to Grading Plans. It is hard to review grading plans without this information. 2. The difference between FFE and Pad Elevation varies from 0.50' to 0.70' for proposed buildings. But is it 0.50' on Sheets C5.6 and C5.7. 3. How is building roof drain handled?	C5.2	Ray Bahrami	Ray Bahrami	Yes
General Comments for C5.1 to C5.3						
Engineering	Draft	1. Please add Storm Sewer Pipe and Storm Sewer Structure Schedule Tables to Grading Plans. It is hard to review grading plans without this information. 2. The difference between FFE and Pad Elevation varies from 0.50' to 0.70' for proposed buildings. But is it 0.50' on Sheets C5.6 and C5.7. 3. How is building roof drain handled?	C5.1	Ray Bahrami	Ray Bahrami	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
buildings. But is it 0.50' on Sheets C5.6 and C5.7. 3. How is building roof drain handled?						
Reference to VC						
Engineering	Draft	1. Reference to Volusia County needs to be removed since utilities will be provided by City of DeLand.	C4.7	Ray Bahrami	Ray Bahrami	Yes
Reference to VC						
Engineering	Draft	1. Reference to Volusia County needs to be removed since utilities will be provided by City of DeLand.	C4.6	Ray Bahrami	Ray Bahrami	Yes
Curb and ADA						
Engineering	Draft	1. Typical Roadway Section shows Type D Curb on both side of the roadway. Site Plan Key Notes shows S12 which is Miami curb. It applies to Sheet C4.3 as well. 2. Are these buildings handicap accessible?	C4.2	Ray Bahrami	Ray Bahrami	Yes
Pavement Section						
Engineering	Draft	1. Site Plan Legend, Proposed, Proposed Standard and Heavy-Duty Pavement sections are shown on Sheet C7.4. Revise accordingly. Could not locate Detail 6 and Heavy-Duty Concrete Pavement. Please change them on other sheets.	C4.0	Ray Bahrami	Ray Bahrami	Yes
Note						
Engineering	Draft	1. Grading Notes # 20: Remove Volusia County. The City of DeLand follows FDOT Standards.	C1.1	Ray Bahrami	Ray Bahrami	Yes
FIRM and impervious/pervious area						
Engineering	Draft	1. Floodplain Designation: It needs to change to Panel # 12127C0465H Dated 2/19/2014. 2. Please show total site and project area, impervious and pervious areas.	C1.0	Ray Bahrami	Ray Bahrami	Yes
Demolition						
Fire	Draft	#17 No burning allowed.	C1.1	Terry Griffiths	Terry Griffiths	Yes
Fire Hydrants						
Fire	Draft	Min. distance from hydrant to building is 40 feet.	C6.0	Terry Griffiths	Terry Griffiths	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Fire	Draft	Road Width Road width does not allow parking on the streets.		Terry Griffiths	Terry Griffiths	Yes
Fire	Draft	Auto Turn Provide auto turn for project. Apparatus information is loaded in documents.		Terry Griffiths	Terry Griffiths	Yes
Fire	Draft	Emergency Access Base Base for emergency access roadway shall be able to support fire apparatus.	C4.3	Terry Griffiths	Terry Griffiths	Yes
Fire	Draft	Emergency Access Emergency access gate is required to have clear width of 20 feet.	C4.3	Terry Griffiths	Terry Griffiths	Yes
Forestry	Draft	Plant Schedule Update based on changes made on Sheet L1.1.	L1.3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Plant Schedule Update Plant Schedule to match changes made on Sheet L1.1.	L1.2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Replacement Provided With the changes suggested, your plan would provide 802" DBH replacement. I cannot determine whether this is sufficient without additional tree data.	L1.1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Update Tree Specifications AR: Change height to 9', add 5' sp., and 65 gallon container size. QV: Change height to 10', 6' spread, and 100 gallon container size. TD: Change height to 10', 3' spread, and 100 gallon container size. UP: Change height to 9', spread to 5', and 65 gallon container size. Holly: Add 42" spread and 45 gallon container size. LI: Add 8' height, 4' spread, and 65 gallon container size. Magnolia: This tree does not meet minimum size requirements. Increase to 3" caliper, 8' height, 42" spread, and 45 gallon container size.	L1.1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Numbers Provide some way to identify tree species and DBH based on four digit number provided. See earlier request for Excel Spreadsheet.	L1.1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Numbers	L1.0	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Provide some way to identify tree species and DBH based on four digit number provided. See earlier request for Excel Spreadsheet.						
Forestry	Draft	Front Yard Required and Proposed Tree Numbers required and proposed do not match.	L1.0	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Spell out Abbreviation Spell out abbreviation the first time you use EPSC	C3.2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Remove reference to Caliper Replace line "Total Caliper Proposed Trees" with "Total DBH of Proposed Trees." Make sure that the inches below match what is shown on the Landscape Plan. Currently, this does not appear to be the correct DBH.	C2.6	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Update Table Update table as requested on Sheet C2.3.	C2.6	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Update Table Update table as requested on Sheet C2.3.	C2.5	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Update table Update table as requested on Sheet C2.3.	C2.4	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic Trees There may be several historic trees on site. Please schedule a field visit with Forestry staff to identify potentially historic trees. The 24 inch DBH oak should be included in this review.	C2.3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Replacement Tree replacement cannot be determined without additional tree information. Please identify trees by species.	C2.3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Camphor Camphor trees do not count as removed or remaining as they are considered invasive.	C2.3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	ID Oaks and Pines by Species	C2.3	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
ID Oaks and Pines by Species. I didn't note any pines on your plan. Are there none present or were they not included?						
Forestry	Draft	Header Rows Add header rows to each group of four columns.	C2.3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Excel Spreadsheet Needed Provide a spreadsheet showing tree number, species, DBH, and whether it will be removed or remain.	C2.2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Excel Spreadsheet Needed Provide a spreadsheet showing tree number, species, DBH, and whether it will be removed or remain.	C2.1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	ID Trees by Species Identify oak trees by species.	C2.1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Coded Note 1 Show actual tree data when referencing tree removal data. Provide Species and DBH of tree removals and shown trees in the Tree Protection Area as shown on L1.0.	C2.0	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Insufficient Tree Information has been provided Insufficient tree information has been provided to provide a complete review of this project. I will be recommending that this project be continued to the next TRC meeting.	C1.0	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Minimum Coverage and Tree Protection Area requirements If your project area is 641,254 sf, 96,188 sf of Tree Protection Area will be required, and 1,539" DBH of trees will be needed for minimum coverage requirements.	C1.0	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Barricade Detail Add a Tree Barricade Detail to the plan showing how exiting trees will be protected.	C1.0	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Irrigation Plan Provide an irrigation plan for the project area.	C1.0	Mariellen Calabro	Mariellen Calabro	Yes
Planning	Draft	Community Design Standards See Accela for review by architect.		Belinda Collins	Belinda Collins	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Access For the future development of the commercial parcel, consideration should be given to using the existing access for the auto repair shop as an access point.	C4.0	Belinda Collins	Belinda Collins	Yes
		Open space LDR - 33-32.01(a) 4. n - "In return for flexibility in site design and development, planned developments (PDs) are expected to include exceptional design that preserves critical environmental resources; provides above-average open space and recreational amenities; incorporates creative design in the layout of buildings, open space, and circulation; ensures compatibility with surrounding land uses and neighborhood character; and, provides greater efficiency in the layout and provision of roads, utilities, and other infrastructure." In addition to the open space area located on Parcel B, verify the amount of open space that is provided, location(s) and the anticipated use of any other open space areas.	C4.0	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Setbacks The cover sheet contains a column for "Proposed" setback dimensions and several indicate that the required dimension is "N/A". The approved development parameters are contained within the PD agreement and it is required that they be met unless an amendment to the agreement is approved.	C1.0	Belinda Collins	Belinda Collins	Yes
		Access All residential developments that exceed 12 lots shall contain a minimum of two separate access points. If two access points are not feasible, then an emergency access must be provided. Separation of vehicular access points on any street that is an arterial shall have a distance of 300 feet between access points.	C4.0	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Unit ownership Verify whether these townhouses will be single ownership or rental units.	C1.0	Belinda Collins	Belinda Collins	Yes
		Ponds Verify whether or not there is a 5th pond and if so its location.	C4.0	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Building colors Provide the colors to be used on the buildings with the elevations for the Community Design Review.	COLOR ELEVATIONS -4	Belinda Collins	Belinda Collins	Yes
		Zoning	C1.0	Belinda Collins	Belinda Collins	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Correct the zoning to read" Spring Garden Townhouse PD" instead of "PUD"						
Planning	Draft	Development of commercial Verify the anticipated/approximate timeframe to develop the commercial property.	C1.2	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Street names Street names will need to be provided and approved by Volusia County. Access to the application is found at: https://www.volusia.org/core/fileparse.php/6704/urlt/ADDRESS-REQUEST-FORM508.pdf	C4.0	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Parcel acreage Subdivision plan – The areas listed in the Parcel Table total 11.8 acres of the total 14.7-acre site. Indicate and list the item(s) that make up the remaining 2.89 acres.	C1.2	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Lot combination This project is a combination of 2 separate parcels. Contact the property appraiser to combine the parcels into a single lot.	C1.0	Belinda Collins	Belinda Collins	Yes
Planning	Draft	TIA Methodology - Please provide a response to comments letter with the revised methodology. Prior to completing the TIA, the applicant must wait for the methodology approval from the city. TIAs without approved final methodologies will not be reviewed. - To avoid confusion, the TIA/TIA methodology name should be the same as the name of the respective city development application. Please obtain this information from the applicant's project manager. This name shall be retained through review completion. - The conceptual plans used as exhibits in TIA methodologies and TIAs are considered supplemental information. Conceptual plans' driveway locations, design, access improvements, etc. are also considered conceptual and are not approved with the TIA's approval or TIA methodology's approval. Coordination of the TIA and site plan review does not constitute final access and circulation approval. Any access control will occur independent of the TIA review and will be determined through the plans review process.	C1.0	Belinda Collins	Belinda Collins	Yes
Planning	Draft	TPA Verify that the required 15% TPA has been provided separate from the open space area. The PD agreement only states that the open space requirements shall meet the LDR requirements. This is what the LDR says: Sec. 33-32.01 (a) 4. The PD district is designed to: g. Preserve to the greatest extent possible, and utilize in a harmonious fashion, existing landscaping features (i.e. TPA)and amenities.	C2.0	Belinda Collins	Belinda Collins	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
h. Provide for more usable and suitably located recreational facilities, open spaces and scenic areas, either commonly owned or publicly owned, than would otherwise be provided under conventional land-development procedures.						
TIA						
Planning	Draft	The project trip generation calculation accurately reflects the total trips for the townhome portion of this development, however, the TIA guidelines require an analysis of the overall parent tract. It is anticipated that impacts of development of the commercial portion of the project will necessitate a TIA and the requested waiver cannot be granted. Please coordinate the conceptual plan and methodology prior to submittal of the TIA.	C1.0	Belinda Collins	Belinda Collins	Yes
Reclaim						
Utilities	Draft	No reclaim lines shown. Reclaim required to be installed and service whips provided as dry lines. Reclaim details will need to be added as well.	C1.0	Jim Ailes	Jim Ailes	Yes
Sewer						
Utilities	Draft	What is the intention of ownership of the internal sewer system? City would take over ownership of sewer extension along Spring Garden.	C6.2	Jim Ailes	Jim Ailes	Yes
DDCV						
Utilities	Draft	Is the intention of having the two DDCV's that the internal system and hydrants will be private? Yet you show individual meters at all townhomes. Will streets be private and gated?	C6.3	Jim Ailes	Jim Ailes	Yes
USA & FSA						
Utilities	Draft	A Utility Service Agreement and Fair Share Agreement will be required for this project.	C6.1	Jim Ailes	Jim Ailes	Yes
Water system						
Utilities	Draft	Water system would appear to be private and meter installed on southern DDCV.	C6.1	Jim Ailes	Jim Ailes	Yes
Sewer Water						
Utilities	Draft	1101 S. Amelia Ave. DeLand, FL 32724 386-626-7250	C1.0	Jim Ailes	Jim Ailes	Yes
Details						
Utilities	Draft	Please use city of DeLand details only and not volusia county.	C7.3	Scott Zender	Scott Zender	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Utilities	Draft	Matchline Matchline C4.3 should be Matchline C6.3	C6.2	Scott Zender	Scott Zender	Yes

NEW BUSINESS

2



City of DeLand
TRC
PSB23-059
MAY 18, 2023

SUBJECT PROPERTY

ORANGE AVN
PD

A-3A

PD

STONE ST N

A-3A

SOL Y SOMBRA

A-3A

VC:B-1&M

Legend:

-  City Zoning
-  County Zoning





City of DeLand
TRC
PSB23-059
MAY 18, 2023

P-1&M

SUBJECT PROPERTY

ORANGE AVENUE

A-3A

Manchester Neighborhood
PD

A-3A

SOL Y SOMBRA

A-3A

STONE ST

VC:B-1&M

Legend:



City Zoning

County Zoning

N



Not to Scale

Issues for record PSB23-059**Job Address: 801 SOL Y SOMBRA, DELAND FL 32720****Job Description: CONSTRUCTION OF 34 UNIT ATTACHED SINGLE FAMILY SENIOR RESIDENTIAL DEVELOPMENT WITH ASSOCIATED UTILITY INFRASTRUCTURE AND STORMWATER MANAGEMENT**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Typical Section						
Engineering	Draft	1. Typical Two-Lane Section Detail does not match Sheet C-6 Detail. You may want to remove it from this sheet as it is also labeled as Phase 1B.	C21	Ray Bahrami	Ray Bahrami	Yes
Plan & Profile Sheets						
Engineering	Draft	1. Please show Phase 1A on lighter color (screened).		Ray Bahrami	Ray Bahrami	Yes
Cross Section						
Engineering	Draft	1. Please provide a typical cross section from building envelope to existing depressional area north and east of Lot 34. New sidewalk north of Lots 30-34 is very close to depressional area with 4:1 slope.	C9	Ray Bahrami	Ray Bahrami	Yes
Erosion Control						
Engineering	Draft	1. I know I brought up this question while reviewing Phase 1 plans. Why aren't ST-1 and ST-5 extended to the bottom of the pond to avoid future erosion issues?	C9	Ray Bahrami	Ray Bahrami	Yes
Storm and Sanitary Structure						
Engineering	Draft	1. ST-37 and MH-34 are graphically shown to be constructed with approximately 1' of separation. Is that the intention? The same applies to ST-39 and MH-27.	C9	Ray Bahrami	Ray Bahrami	Yes
Spot Grade Elevations						
Engineering	Draft	1. Please show spot grade elevations on the south side of exit (By EOP) to N. Stone Street. Spot grade elevations by the entrance/exit area to N. Stone Street do not match Sheet C11. 2. No spot grades are shown on parking spaces south of Lot 1. 3. Spot grade elevations need to be added to Atherson Road EOP on both south and west sections.	C9	Ray Bahrami	Ray Bahrami	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Mailbox Stand Location						
Engineering	Draft	1. Where is residents' mailbox stand for this phase located? It needs to be handicap accessed.	C7	Ray Bahrami	Ray Bahrami	Yes
Phase 1 Improvements						
Engineering	Draft	1. Please show the entire Phases 1A & 1B in lighter color (screened) on this sheet.	C6	Ray Bahrami	Ray Bahrami	Yes
Note						
Engineering	Draft	1. Traffic Control Notes, Note # 10, change from DeLand Traffic Engineering Division to the City of DeLand Engineering Department.	C3	Ray Bahrami	Ray Bahrami	Yes
Stormwater Calculations						
Engineering	Draft	1. Please add 10yr 24hr storm event to Design Analysis/Summary Table.		Ray Bahrami	Ray Bahrami	Yes
Storm Sewer Calculations and Hydraulic Water Modeling						
Engineering	Draft	1. Has the EOR performed storm sewer calculations for this phase? It appears that there are a few feet of separation from pond tailwater elevation to the lowest storm structure top elevation. Please use 10yr 24hr pond stage elevation for tailwater elevation. 2. Please provide a copy of hydraulic water modeling for this phase.		Ray Bahrami	Ray Bahrami	Yes
Burning						
Fire	Draft	No burning allowed.	C2	Terry Griffiths	Terry Griffiths	Yes
Knox Key						
Fire	Draft	Knox Key override switch is required with keypad for access.	C6	Terry Griffiths	Terry Griffiths	Yes
Entry Gate						
Fire	Draft	Entry gate is required to maintain 20 foot width.	C6	Terry Griffiths	Terry Griffiths	Yes
Auto Turn						
Fire	Draft	Provide Auto turn. See attachments for apparatus specifications in documents.	C6	Terry Griffiths	Terry Griffiths	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Fire	Draft	Street parking Provide information if street parking is allowed.	C9	Terry Griffiths	Terry Griffiths	Yes
Fire	Draft	Secondary Entrance A secondary entrance point is required for subdivision.	C9	Terry Griffiths	Terry Griffiths	Yes
Fire	Draft	Phasing The end of Atherton will require temporary cul de sac until next phase completed.	C9	Terry Griffiths	Terry Griffiths	Yes
Fire	Draft	Fire Hydrants Provide fire hydrant locations	C10	Terry Griffiths	Terry Griffiths	Yes
Fire	Draft	One Way roads Min. 14 feet wide for one way roads.	C7	Terry Griffiths	Terry Griffiths	Yes
Fire	Draft	Dead End Dead end roads exceeding 150 feet require cul de sacs.	C6	Terry Griffiths	Terry Griffiths	Yes
Forestry	Draft	Tree Protection Area Show Tree Protection Areas on plat.	1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Irrigation Notes Please provide irrigation plan for the project.	LA3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Note 7 Substitutions must also be approved by City Forester.	LA3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Note 3 Indicate that mulch should not be touching the trunk.	LA3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Full to Ground Tree Planting Detail Show tree on existing grade like other specifications.	LA3	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Total DBH of Trees Existing Plus Provided Change 3,431 to 2,110. This number cannot be verified without additional data.	LA1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Number of Trees Provided on the Landscape Plan Remove "Number of" and make sure that this number matches the final number provided on the plan.	LA1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Minimum Trees Required on Site Remove DBH from first column. You have calculated minimum number of trees. Your minimum DBH requirement should be 732" DBH.	LA1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Replacement Provided With the changes requested, your plan would add 342" DBH of replacement trees.	LA1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Plant specifications Add height and spread minimums for Grade 1 trees of the caliper specified.	LA1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Bald Cypress Increase the size of the bald cypress to 3" caliper to meet minimum size requirements. Increase container size to 45 gallon.	LA1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Required On-Site Trees A 7 acres site would need 732" DBH to meet minimum coverage requirements.	C6	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Protection Area If your project is 7.0 acres, 45,738 sf of Tree Protection Area will be required.	C1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Minimum Coverage Requirement If your project area is 7.0 acres, you would need a minimum of 122 trees with a minimum DBH of 732 inches.	C1	Mariellen Calabro	Mariellen Calabro	No
Forestry	Draft	Irrigation Plan Provide Irrigation Plan	C1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Update Mitigation Calculations	TP2	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Based on the information on this page, your DBH replacement requirement would be 1,744, not 1,796. This would change your additional mitigation required from 1,494.50 to 1,402. This would change your mitigation cost from \$109,087.50 to \$105,150. These numbers cannot be verified without additional data requested.						
Forestry	Draft	Live Oak It looks like there are only 71 trees on the landscape plan; this would change your total DBH to 248.5" DBH.	TP2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Bald Cypress Increase DBH from 1.5 to 2, which would change Total DBH to 16.	TP2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Trees Planted for Protected Tree Replacement Move to top of next column.	TP2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Duplicate Line Remove duplicate line at top center of page.	TP2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Total Replacement Required Please check your math. For Total DBH Required, I got 1,744" DBH instead of 1,796. I cannot confirm this number without the requested Excel spreadsheet.	TP2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Total Required Replacement 78/3 This line should be Total DBH Removed. The line below should be Total required replacement.	TP2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Numerical Typos Correct the multiple numerical typos where the Total DBH Removed does not match the number of the Total Required Replacement Calculation in the line below.	TP2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Excel Spreadsheet Data Calculations on this page cannot be verified without the requested excel spreadsheet data.	TP2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Specimen Tree Requirements Please indicate why you are not able to preserve the required number of specimen trees. Note: these calculations cannot be verified without the additional spreadsheet requested.	TP1	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
15% Tree Protection Area						
Forestry	Draft	Label the 1.9 acres shown under this table. It appears that you will have excess TPA, but not 1.9 acres. The TPA required vs. provided may have a math error. It looks like it should be 1.63.	TP1	Mariellen Calabro	Mariellen Calabro	Yes
Total DBH of Trees Existing Plus Provided						
Forestry	Draft	Based on the information provided, this number should be 2,110" DBH. I cannot confirm this number without additional spreadsheet information requested.	TP1	Mariellen Calabro	Mariellen Calabro	Yes
Number of Trees Provided on Landscape Plan						
Forestry	Draft	This should be labeled "Tree DBH Provided on Landscape Plan." The number should be 342" DBH based on the plan that you have provided.	TP1	Mariellen Calabro	Mariellen Calabro	Yes
Minimum Stie Trees						
Forestry	Draft	You have shown the minimum number of trees to be preserved, not the DBH. The minimum DBH of trees required should be 732" DBH.	TP1	Mariellen Calabro	Mariellen Calabro	Yes
Tree Barricade						
Forestry	Draft	Rather than circling each tree proposed to remain with tree barricade, we recommend running the orange fencing around clusters of trees to remain in Tree Protection Areas.	TP1	Mariellen Calabro	Mariellen Calabro	Yes
Root Zone Protection Zone						
Forestry	Draft	Why is this area shown on trees that you have proposed for removal? For example, the pine cluster at the northeast part of the site.	TP1	Mariellen Calabro	Mariellen Calabro	Yes
Historic Tree						
Forestry	Draft	Label the 25" DBH Live Oak (Tree 50) as historic. Also label 31" DBH Live Oak (Tree 51) as historic. Label OK 23 (Tree 49) as specimen. The dark circles around these trees do not match what is shown the legend. Also, why is the tree protection zone for a 31' DBH Live Oak shown as smaller than the 25" DBH Live Oak?	TP1	Mariellen Calabro	Mariellen Calabro	Yes
Trees Removed and Retained						
Forestry	Draft	Please provide an excel spreadsheet showing trees removed and retained.	TP1	Mariellen Calabro	Mariellen Calabro	Yes
Tree Barricade Detail						
Forestry	Draft		TP1	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Please update with 2023 version of Tree Barricade detail which should be located at demand.org/441/Tree-Permitting.						
Planning	Draft	Maximum Impervious Add that the maximum impervious is 70%.	C1	Kendall Story	Kendall Story	Yes
Planning	Draft	Fencing Please indicated the location of all fencing with X's.	C7	Kendall Story	Kendall Story	Yes
Planning	Draft	HC spaces Where will your handicapped parking be?	C7	Kendall Story	Kendall Story	Yes
Planning	Draft	Sidewalk Connection Please provide a sidewalk connection to Phase 2B.	C7	Kendall Story	Kendall Story	Yes
Planning	Draft	dimensions Provide the dimensions of all easements such as Tract A	3	Kendall Story	Kendall Story	Yes
Planning	Draft	Additional parcel According to VCPA, Parcel 700500000085 should be included in your site information.	C1	Kendall Story	Kendall Story	Yes
Planning	Draft	PD Amendment A PD amendment is required - please include the conceptual plan and additional dwelling units for this phase.	C6	Kendall Story	Kendall Story	Yes
Planning	Draft	VCSB School planning and concurrency app is needed.	C6	Kendall Story	Kendall Story	Yes
Planning	Draft	Unit Count Per PD, max residential units is 156. Phases 1A & 1B have used up all 156. A PD amendment will be needed to allow for additional units. PD amendment must include an updated concept plan that shows buildout of Phase 2A & Phase 2B.				Yes
Planning	Draft	Phase 2A Should refer to Phase 2A, not Phase 1A. Multiple locations. See markups.	1	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Lot coverage				
		Verify that the proposed improvements are not exceeding the Max. lot coverage of 85%, per PD agreement.	C7	Kendall Story	Kendall Story	Yes
Planning	Draft	TPA				
		Please indicate the location of Tree Protection Areas (TPA). TPA preserving a minimum of 15% of the overall site, excluding any ROW dedication areas is required. How is this being met?	LA2	Kendall Story	Kendall Story	Yes
Planning	Draft	FYI tree replacement cost				
		FYI Per the PD agreement, for the purpose of payment for tree replacement and preservation, Developer shall pay tree replacement costs for each phase, at the time of subdivision approval.	LA2	Kendall Story	Kendall Story	No
Planning	Draft	Pedestrian path				
		The PD agreement requires a pedestrian walking trail, as depicted on the Planned Development Plan, be provided throughout the subdivision.	LA2	Kendall Story	Kendall Story	Yes
Planning	Draft	Buffers				
		Please call out each buffer, provide the linear feet, buffer type, buffer width, required canopy/understory/shrubs per 100 LF. Provide calculations on what is required and what is being provided.	LA2	Kendall Story	Kendall Story	Yes
Planning	Draft	East Buffer				
		Per the PD: the portion of the eastern buffer adjacent to the Stone Street ROW shall comply with the Emerging Gateway Corridor standards. Refer to Sec. 33-36.05(c)	LA2	Kendall Story	Kendall Story	Yes
Planning	Draft	Buffer Widths				
		Please delineate each buffer and note the width.	LA2	Kendall Story	Kendall Story	Yes
Planning	Draft	5' UE or 10'?				
		I've added a markup on the plan where the UE is labeled as 5' but I believe it should be 10'. Please check.	3	Kendall Story	Kendall Story	Yes
Planning	Draft	10' UE				
		Please identify as 10' UE to match plat. It's not very clear when looking at this plan.	C7	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Open Space Exhibit				
		Please provide an Open Space Exhibit, similar to the one provided for the first phases 1A & 1B.		Kendall Story	Kendall Story	Yes
Planning	Draft	Open Space Calculations				
		Please provide a table with the open space calculations for this phase. The maximum impervious area is 70% (phases 2A & 2B combined)	C6	Kendall Story	Kendall Story	Yes
Planning	Draft	Boundary dimensions				
		Please provide the dimensions for phase boundary lines.	C6	Kendall Story	Kendall Story	Yes
Utilities	Draft	Relaim				
		Need to extend reclaim from phase one to two and provide whips for services depending on irrigation plans that were not with set.	C1	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Details				
		need to add locate ball detail to plan set.	C15	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Note 48				
		Add a note under sewer that all gravity pipe sections must be air tested as well before inspections.	C2	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Sewer Note 22				
		No plug valves allowed only gate valves.	C2	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	City Details				
		City details are out of date, new details are dated 11/7/22 please switch out these details so you have the most current ones	C19	Scott Zender	Scott Zender	Yes
Utilities	Draft	City Details				
		City details are out of date, new details are dated 11/7/22 please switch out these details so you have the most current ones	C18	Scott Zender	Scott Zender	Yes
Utilities	Draft	City Details				
Utilities	Draft		C17	Scott Zender	Scott Zender	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
City details are out of date, new details are dated 11/7/22 please switch out these details so you have the most current ones						
City details						
Utilities	Draft	City details are out of date, new details are dated 11/7/22 please switch out these details so you have the most current ones	C16	Scott Zender	Scott Zender	Yes
City Details						
Utilities	Draft	City details are out of date, new details are dated 11/7/22 please switch out these details so you have the most current ones	C15	Scott Zender	Scott Zender	Yes
Tie In						
Utilities	Draft	How will the water main be connected to existing water main?	C10	Scott Zender	Scott Zender	Yes
Tapping						
Utilities	Draft	Contractor is responsible for all taps greater than 2" the City is responsible for 2" and below.	C3	Scott Zender	Scott Zender	Yes
Contacts						
Utilities	Draft	Please add Utility Contacts to cover page	C1	Scott Zender	Scott Zender	Yes

Conditions and notes for record PSB23-059
Job Address: 801 SOL Y SOMBRA, DELAND FL 32720
Job Description: CONSTRUCTION OF 34 UNIT ATTACHED SINGLE FAMILY SENIOR
RESIDENTIAL DEVELOPMENT WITH ASSOCIATED UTILITY INFRASTRUCTURE AND
STORMWATER MANAGEMENT

Discipline	Status	Type	Details	Attached To	Created By
Fire	Draft	Condition	Clearance Roadways to maintain 13'6" height clearance for fire apparatus.	C6	Terry Griffiths

NEW BUSINESS

3



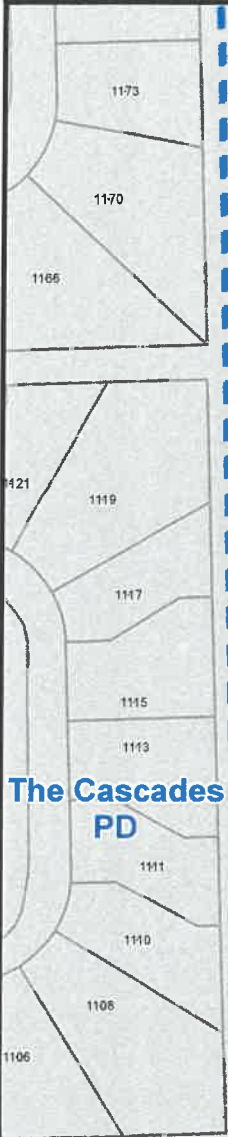
City of DeLand
TRC
PSB23-065
MAY 18, 2023



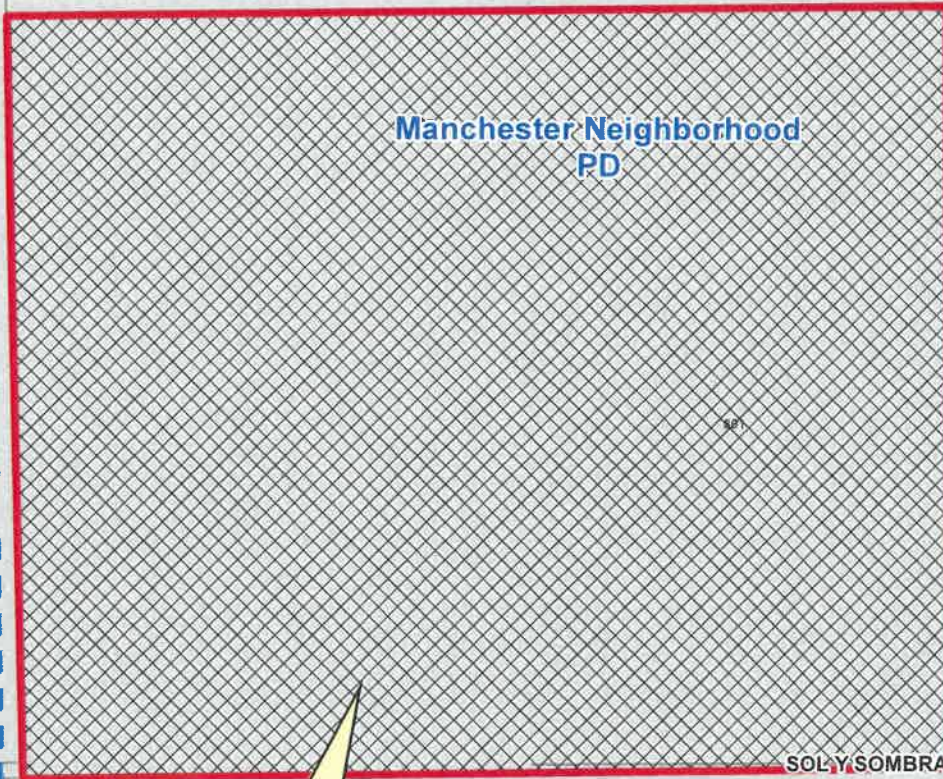


City of DeLand
TRC
PSB23-065
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P-1&M



The Cascades
PD



Manchester Neighborhood
PD

SUBJECT PROPERTY

SOL Y. SOMBRAL

VC:B-1&M

Legend:



City Zoning

County Zoning



Not to Scale

Issues for record PSB23-065**Job Address: 801 SOL Y SOMBRA, DELAND FL 32720****Job Description: Subdivision of the subject property into 4 (four) single family home lots with associated access roads and underground utilities**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Water & Sewer DeMand Calculations						
Engineering	Draft	1. Please use 260 GPD for Projected Sewer Flow.		Ray Bahrami	Ray Bahrami	Yes
Stormwater Runoff Concern						
Engineering	Draft	1. Stabilized roadway will create an impervious area due to vehicular traffic. Per spot grades elevations shown on this sheet, stormwater runoff discharges to one side of the roadway. 2. Existing Lot 4 buildings will remain in place. Where does stormwater runoff from these buildings discharge to?	C9	Ray Bahrami	Ray Bahrami	Yes
Stabilized Roadway						
Engineering	Draft	1. Why isn't proposed stabilized roadway paved with asphalt/concrete?	C6	Ray Bahrami	Ray Bahrami	Yes
General Comments						
Engineering	Draft	1. Per note from EOR, stormwater quality and quantity will be provided for each lot at the time of development. Per Stormwater Report for Phase 2A, it does not appear that proposed stabilized roadway was included in stormwater calculations. It is outside "Offsite Basin 1" boundary. 2. Will hydraulic water modeling for Phase 2A include this phase?		Ray Bahrami	Ray Bahrami	Yes
Burning						
Fire	Draft	No burning allowed.	C2	Terry Griffiths	Terry Griffiths	Yes
Auto Turn						
Fire	Draft	Provide Auto turn for fire apparatus on plans. See attached information in documents.		Terry Griffiths	Terry Griffiths	Yes
Tree Protection Area						
Forestry	Draft	Please add Tree Protection Areas to the Plat.	1	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Forestry Data Needed				
		Only a preliminary review was conducted on this plan because insufficient tree data has been provided. There will be additional comments once tree data has been provided.	C1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Minimum Coverage and TPA Requirements				
		If your project area is 8.04 acres, 52,533 sf of Tree Protection Area will be required. Your minimum coverage requirement would be 84.1" DBH.	TP1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Protection Area tables				
		The Tree Protection Area tables contain math errors and do not add up to the total of the 38.5 acre area of the PD. The TPA deficits do not appear to be correct. Please update the tables with corrected information.	TP1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Impacts				
		There is no way to determine tree impacts without survey data.	TP1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Barricade Detail				
		Provide Tree Barricade Detail graphic similar to the one on Phase 2A. We recommend running tree barricade along the edges of the Tree Protection Areas to prevent accidental tree impact.	TP1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Insufficient Tree Data Provided				
		Please provide a tree survey, landscape plan, and irrigation plan for the project area.	TP1	Mariellen Calabro	Mariellen Calabro	Yes
Planning	Draft	Maximum impervious				
		Add that the maximum impervious is 70%.	C1	Kendall Story	Kendall Story	Yes
Planning	Draft	Emergency Access				
		Indicate the location of your emergency access easement.	C6	Kendall Story	Kendall Story	Yes
Planning	Draft	Existing use is residential				
		Existing use is residential	C1	Kendall Story	Kendall Story	Yes
Planning	Draft	No townhomes				
			C1	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Phase 2B will be SFR only, no townhomes.						
Parking						
Planning	Draft	Parking for SFR should be 2 interior, 2 exterior. If on street parking is not permitted or is restricted on the unit's street frontage, then visitor parking at .25 space/unit shall be required. The visitor space shall be located not more than 250 feet from the unit's street frontage.	C1	Kendall Story	Kendall Story	Yes
Setbacks						
Planning	Draft	Please update the setbacks in the PD amendment. For example, the 0' side setback is not appropriate here for single family homes.	C1	Kendall Story	Kendall Story	Yes
Access tract						
Planning	Draft	The plat has the 50' ROW easement as a dedicated tract. Also, please call it an access easement, not a ROW easement.	C6	Kendall Story	Kendall Story	Yes
Landscape Tracts						
Planning	Draft	Please put all buffers into a tract that reflects the plat.	C6	Kendall Story	Kendall Story	Yes
One story						
Planning	Draft	Add a note that all dwelling units within 200' of the western property boundary are limited to 1-story.	C6	Kendall Story	Kendall Story	Yes
Buffer B						
Planning	Draft	Please provide the width	2	Kendall Story	Kendall Story	Yes
Emergency Easement						
Planning	Draft	Please provide the width.	2	Kendall Story	Kendall Story	Yes
Adjacent Subdivision						
Planning	Draft	Provide names of adjacent subdivision.	C6	Kendall Story	Kendall Story	Yes
Sidewalks						
Planning	Draft	Please show the sidewalks being provided. How will they connect to Phase 2A?	C6	Kendall Story	Kendall Story	Yes
Lot 4						
Planning	Draft		C6	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Lot 4 has existing structure(s). These should be shown on your plan as such and setbacks labeled.						
PD Amendment						
Planning	Draft	A PD amendment is required - please include the conceptual plan and additional dwelling units for this phase.	C6	Kendall Story	Kendall Story	Yes
VCSB						
Planning	Draft	School planning and concurrency app is needed.	C6	Kendall Story	Kendall Story	Yes
dimensions						
Planning	Draft	Please provide the dimensions for phase boundary lines, residential lots	C6	Kendall Story	Kendall Story	Yes
Unit Count						
Planning	Draft	Per PD, max residential unit count is 156. Phases 1A & 1B have used up all 156. A PD amendment will be needed to allow for additional units. PD amendment must include an updated concept plan that shows buildout of Phases 2A & 2B.		Kendall Story	Kendall Story	Yes
Phase 2B						
Planning	Draft	Should reference Phase 2B, not Phase 1A. Multiple locations. See markups.	1	Kendall Story	Kendall Story	Yes
Detail						
Utilities	Draft	No locate ball detail sheet included.	C12	Jim Ailes	Jim Ailes	Yes
Reclaim						
Utilities	Draft	No reclaim main or service shown.	C9	Jim Ailes	Jim Ailes	Yes
Sewer Note 48						
Utilities	Draft	Please add a note that says the gravity lines must be air tested prior to city acceptance.	C2	Jim Ailes	Jim Ailes	Yes
Valves						
Utilities	Draft	No plug valves allowed. Only accept gate valves.	C2	Jim Ailes	Jim Ailes	Yes
Agreements						
Utilities	Draft	Will need to do a Utility Service and Fair Share Agreement for this new phase.	C1	Jim Ailes	Jim Ailes	Yes

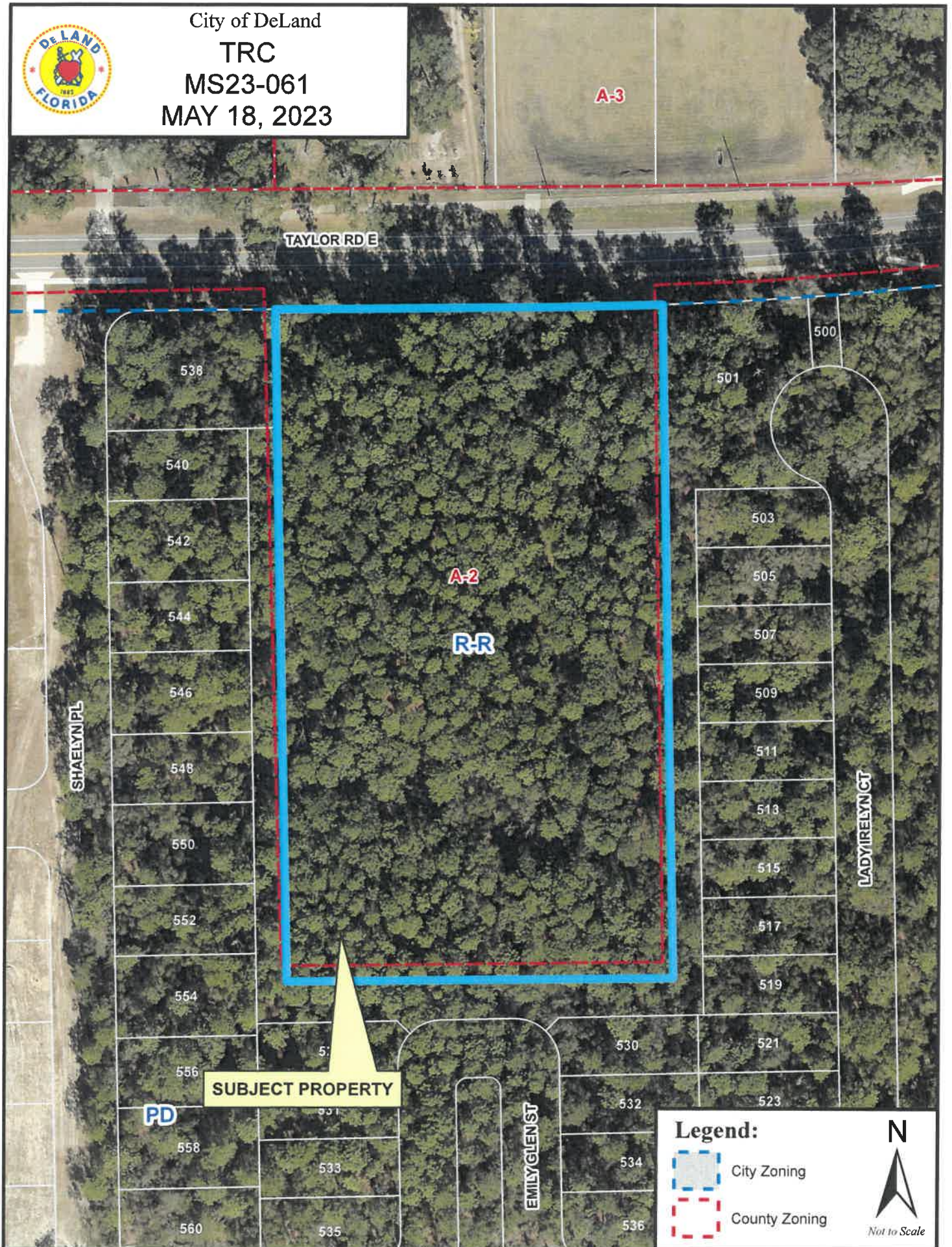
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Reclaim						
Utilities	Draft	Need to extend reclaim from phase one into this phase and provide service whips. No irrigation plans provided.	C1	Jim Ailes	Jim Ailes	Yes
City Details						
Utilities	Draft	City details are out of date, new details are dated 11/7/22 please switch out these details so you have the most current ones	C15	Scott Zender	Scott Zender	Yes
City Details						
Utilities	Draft	City details are out of date, new details are dated 11/7/22 please switch out these details so you have the most current ones	C14	Scott Zender	Scott Zender	Yes
City Details						
Utilities	Draft	City details are out of date, new details are dated 11/7/22 please switch out these details so you have the most current ones	C13	Scott Zender	Scott Zender	Yes
City Details						
Utilities	Draft	City details are out of date, new details are dated 11/7/22 please switch out these details so you have the most current ones	C12	Scott Zender	Scott Zender	Yes
Tapping of Mains						
Utilities	Draft	Developer is responsible for doing taps on mains above a 2" City does not do taps greater than 2"	C3	Scott Zender	Scott Zender	Yes

NEW BUSINESS

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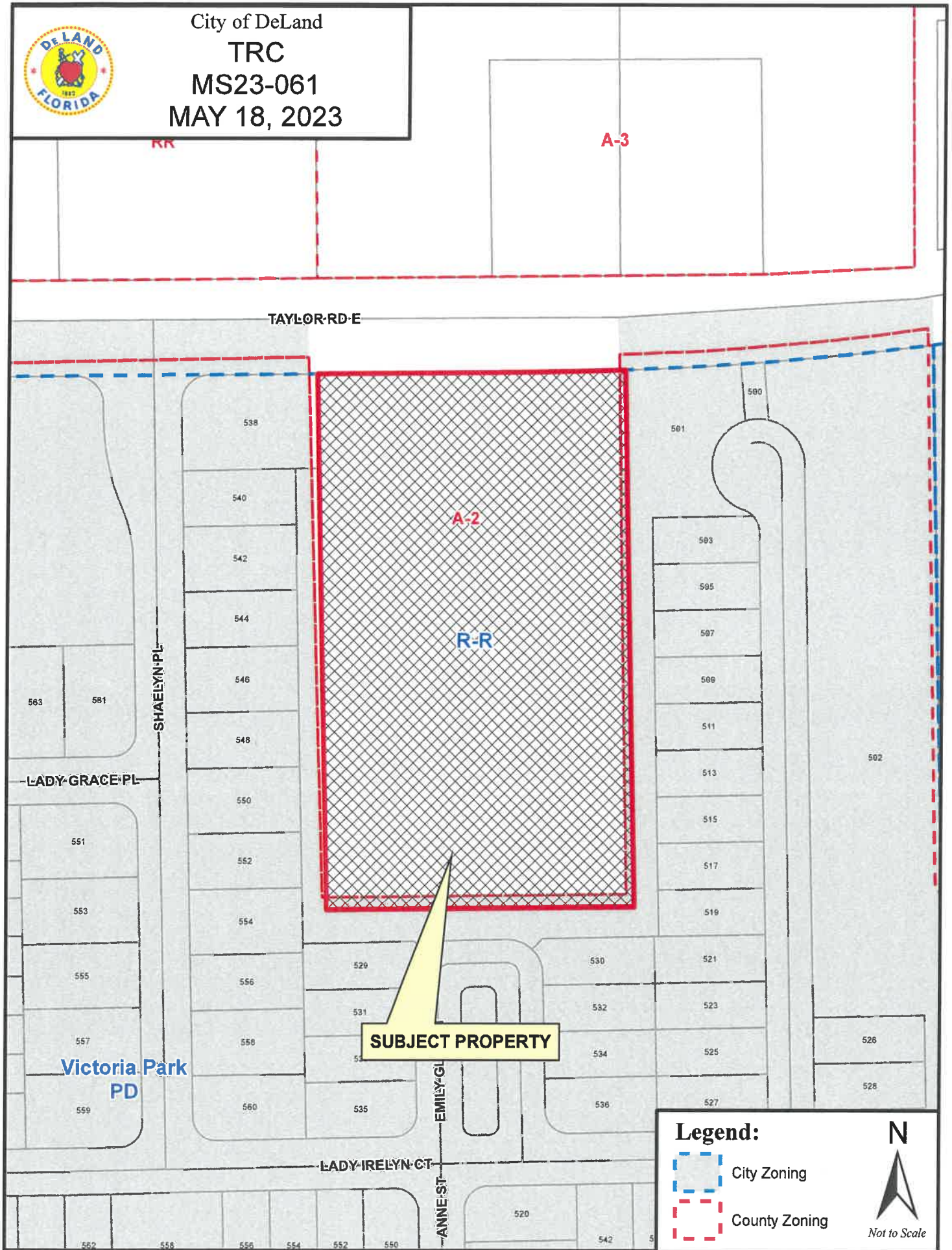


City of DeLand
TRC
MS23-061
MAY 18, 2023





City of DeLand
TRC
MS23-061
MAY 18, 2023



SUBJECT PROPERTY

Legend:

-  City Zoning
-  County Zoning



Not to Scale

Issues for record MS23-061

Job Address: 0 E TAYLOR RD, DELAND FL 32724

Job Description: spoke with Kendall regarding a split of our property on Taylor Rd. We want to do a mini subdivision

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
VC Use Permit & Asphalt Millings						
Engineering	Draft	1. Taylor Road is maintained by Volusia County; therefore, Volusia County Use Permit is required. 2. Asphalt millings are not an approved pavement material to be used for driveway within property area. Please use acceptable pavement material as outlined in City LDC 33-91.06 (d).	FAX-407.320.8165	Ray Bahrami	Ray Bahrami	Yes
Dead End Access						
Fire	Draft	A solid compacted area needs to be provide to allow emergency vehicles the ability to turn around. Road exceeds the 150 ft max.	FAX-407.320.8165	Jamie Lunsford	Jamie Lunsford	Yes
General Comments						
Forestry	Draft	1. The following general comments are provided to assist you at the Site Plan stage: a. During future submissions, a tree survey, completed tree worksheets, and landscape plan will be required. b. At least 15 percent of the site will need to be designated as tree protection area, and a minimum of one tree per 2,500 square feet will need to remain or be planted on the site. c. Removal of trees will require at least one third diameter replacement. Removal of specimen trees will require 50% replacement of the DBH inches lost. Unhealthy specimen trees, as determined by the city forester, will be replaced at the same rate as non-specimen protected trees. d. The City's current list of specimen trees can be found in Section 33-57.05(c)1 at: https://library.municode.com/fl/deland/codes/code_of_ordinances?nodeId=COOR_CH33LADERE_ARTVIREPRST_S33-57TR e. Laurel Oaks (Quercus laurifolia) which are larger than 20" DBH and in deteriorated condition may be replaced by one two-inch DBH (three-inch caliper) minimum sized canopy tree from the "List of Permitted Shrubs and Trees for Landscaping and Tree Protection." An Arborist Report documenting the deteriorated trees will be required to receive reduced replacement. Removal of all other non-specimen protected trees greater than 6" DBH will require the replacement of one third of the DBH inches lost. f. Any historic tree that is proposed for removal will require a review by this office, recommendation by the City Tree Advisory Committee and approval by City Commission. The developer must demonstrate that the tree is a hazard or that it is not economically or practically feasible to develop the parcel without removing the historic tree. Historic trees are defined as Bald Cypress 20-inches or larger DBH, Live Oak 25-inches or larger DBH, and Red Cedar 25-inches or larger DBH.	FAX-407.320.8165	Kit Dennis	Mariellen Calabro	No

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required				
		i. For historic trees that will be preserved, tree protection fence must be installed by the contractor and inspected by the City Forester prior to any land disturbing activity. ii. Unless the applicant proposes a method of root protection which is acceptable to the City, no construction activity shall take place within an area equal to one and one-half times the area of the drip line. g. All new Class II and Class III site plans require the following statement: "Tree barricades are required around all trees which have been designated on the site plan to be retained and protected. Prior to any clearing or construction activity occurring on the site, tree barricades shall be constructed by the contractor and approved by the City." h. A Tree Barricade detail showing how remaining trees will be protected needs to be included on all Site Plans. A barrier needs to be constructed around your Tree Protection Area and at the drip line or ten feet from each tree that will remain, whichever area is larger. An example of a Tree Barricade detail can be found at: https://www.deland.org/441/Tree-Permitting								
Forestry	Draft	Historic Tree Survey A historic tree survey is required.	FAX-407.320.8165	Kit Dennis	Kit Dennis	Yes				
Planning	Draft	Cross-Access Easement Please provide a copy of the recorded cross-access easement between the lots and include the reception number on the Minor Subdivision exhibit.		Samuel Nelson	Samuel Nelson	Yes				
Planning	Draft	Driveway Asphalt millings are not an allowed driveway surface. Per the 7/21/22 TRC meeting, Engineering agreed to approve crushed gravel for the driveway.	FAX-407.320.8165	Samuel Nelson	Samuel Nelson	Yes				
Planning	Draft	Right of Way Use Permit Volusia County will need to be contacted regarding the connection to Taylor Rd. A right of way use permit may be required.	FAX-407.320.8165	Samuel Nelson	Samuel Nelson	Yes				
Utilities	Draft	USA A utility service agreement might be required for this project depending on requirements.	FAX-407.320.8165	Jim Ailes	Jim Ailes	Yes				
Utilities	Draft	Sewer A private lift station would be required for the lot split and force main connection on north side of Taylor Road. If sewer connection is not required, septic tanks must be the advanced OSTs units that comply with the Volusia Blue B-Map since this sight is located in the priority focus area.	FAX-407.320.8165	Jim Ailes	Jim Ailes	Yes				
Utilities	Draft	Reclaim	FAX-407.320.8165	Jim Ailes	Jim Ailes	Yes				

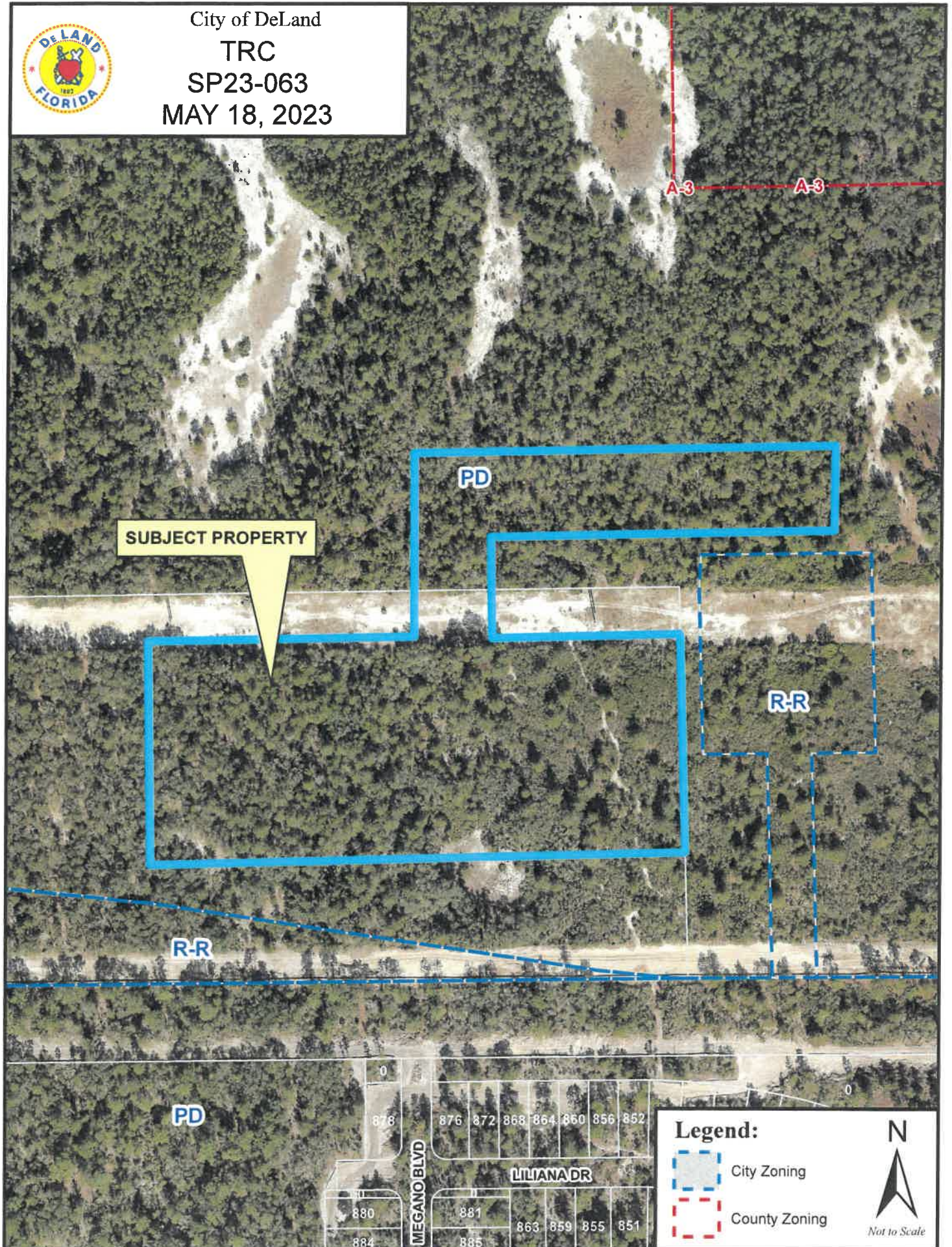
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Reclaim is available on north side of Taylor Road						
Utilities	Draft	Water Water is available on E. Taylor Road south side.	FAX-407.320.8165	Jim Ailes	Jim Ailes	Yes

NEW BUSINESS

5



City of DeLand
TRC
SP23-063
MAY 18, 2023





City of DeLand
TRC
SP23-063
MAY 18, 2023

A-3 A-3

Trinity Gardens
PD

R-R

R-R

SUBJECT PROPERTY

The Reserve at Victoria
PD

LILIANA DR

MEGANO BLVD

Legend:

-  City Zoning
-  County Zoning

N



Not to Scale

Issues for record SP23-063**Job Address: 0 S Kepler RD, DeLand FL 32724****Job Description: Stabilized access road and stockpile for earthwork export within the Trinity Gardens PSB22-138 project**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Cross Sections						
Engineering	Draft	1. Please provide a typical pavement cross section for 20' stabilized access road. 2. Please add a couple of cross sections through stockpile locations.	1	Ray Bahrami	Ray Bahrami	Yes
No comments.						
Forestry	Draft	Forestry has no comments at this phase.	1	Kit Dennis	Kit Dennis	No
Phases served						
Planning	Draft	Identify the phases that this stockpile will serve and the anticipated timeframe for completion of the development. Where practical, this stockpile should also serve the remaining phases and remain undisturbed for the longest period of time possible.		Belinda Collins	Belinda Collins	Yes
Segregation of materials						
Planning	Draft	33-62.07 (b) - Stockpiling differing geological materials. All excavation of overburden shall be accomplished in a manner conducive to segregated stockpiling of differing geologic materials. Topsoil, clean sands and clay soils shall each be stockpiled separately or layered in stockpiles in such a manner as to avoid comingling of differing geologic materials, and in all cases care shall be taken to avoid contaminating topsoil with clay materials. Upon completion of the mining operation, restoration of the ground surface shall be accomplished by replacement of each of the differing soil types in reverse sequence from that in which they were removed. Each separate layer, horizon or geologic strata shall be replaced and consolidated before the succeeding layer is replaced.	1	Belinda Collins	Belinda Collins	Yes

NEW BUSINESS

6



City of DeLand
TRC
MS23-066
MAY 18, 2023

HIGHLAND AVE

SUBJECT PROPERTY

R-1

673

675

677

EUCLID AVE

602

600

610

Legend:

 City Zoning

 County Zoning

N



Not to Scale



City of DeLand
TRC
MS23-066
MAY 18, 2023

HIGHLAND AVE

610

SUBJECT PROPERTY

R-1

673

678

677

EUCLID AVE

602

600

610

Legend:



City Zoning

County Zoning



Not to Scale

Issues for record MS23-066**Job Address: 675 E EUCLID AV, DELAND FL 32724****Job Description: Splitting in order to build a 1200 sq ft home on the second lot**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Possible historic tree impact						
Forestry	Draft	Please show the proposed building envelope on parcel 2 and verify that it is outside of the required protection zone (1.5 times the drip line) of the historic tree.	675 E Euclid.pdf	Mariellen Calabro	Mariellen Calabro	Yes
Historic tree						
Based on a field review by Kit Dennis on 5/9/23, the 30" DBH Live Oak is a historic tree. Any historic tree that is proposed for removal will require a review by this office, recommendation by the City Tree Advisory Committee and approval by City Commission. The developer must demonstrate that the tree is a hazard or that it is not economically or practically feasible to develop the parcel without removing the historic tree.						
Forestry	Draft	i. For historic trees that will be preserved, tree protection fence must be installed by the contractor and inspected by the City Forester prior to any land disturbing activity. ii. Unless the applicant proposes a method of root protection which is acceptable to the City, no construction activity shall take place within an area equal to one and one-half times the area of the drip line. Removal of any historic trees would require review by the Tree Advisory Committee and approval by the City Commission.	675 E Euclid Ave trees (2).pdf	Mariellen Calabro	Mariellen Calabro	Yes
Please identify the tree as historic on your plan and show 1.5 times the drip line.						
Building Envelope						
Planning	Draft	Please show the proposed building envelope on parcel 2, and verify it meets R-1 setback requirements.	675 E Euclid.pdf	Samuel Nelson	Samuel Nelson	Yes
Electric						
Planning	Draft	Please verify that electric services are available to the proposed lot.	675 E Euclid.pdf	Samuel Nelson	Samuel Nelson	Yes
Fence						
Planning	Draft	The section of fence located on proposed parcel 2 must be removed	675 E Euclid.pdf	Samuel Nelson	Samuel Nelson	Yes
Utilities						
Utilities	Draft	Water, Sewer, and reclaim water available.	675 E Euclid.pdf	Jim Alles	Jim Alles	Yes

Conditions and notes for record MS23-066
Job Address: 675 E EUCLID AV, DELAND FL 32724
Job Description: Splitting in order to build a 1200 sq ft home on the second lot

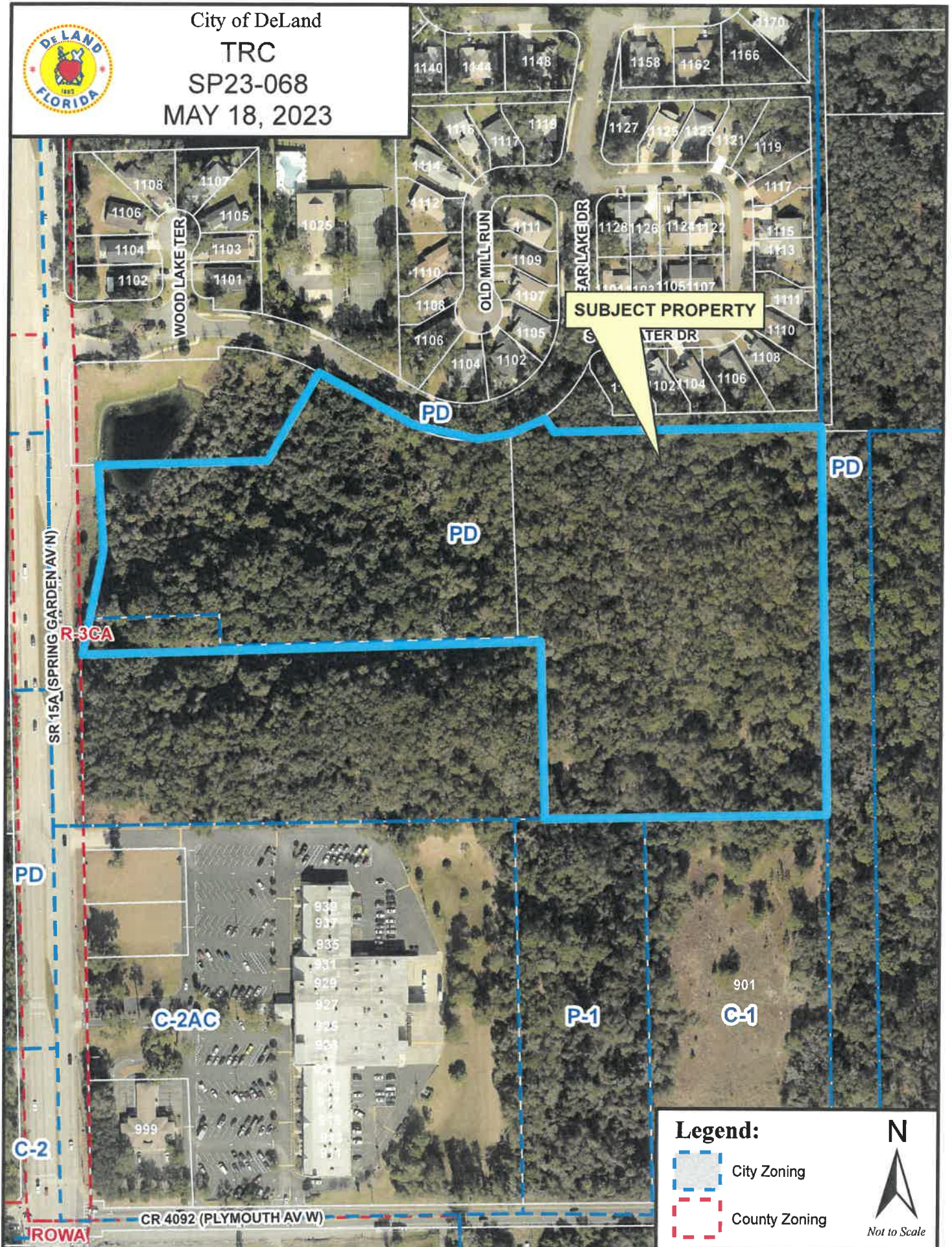
Discipline	Status	Type	Details	Attached To	Created By
Planning	Draft	Note	R-1 Zoning District These properties are both located in the R-1 Single-Family Zoning District. New development must conform to R-1 Standards.		Samuel Nelson

NEW BUSINESS

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City of DeLand
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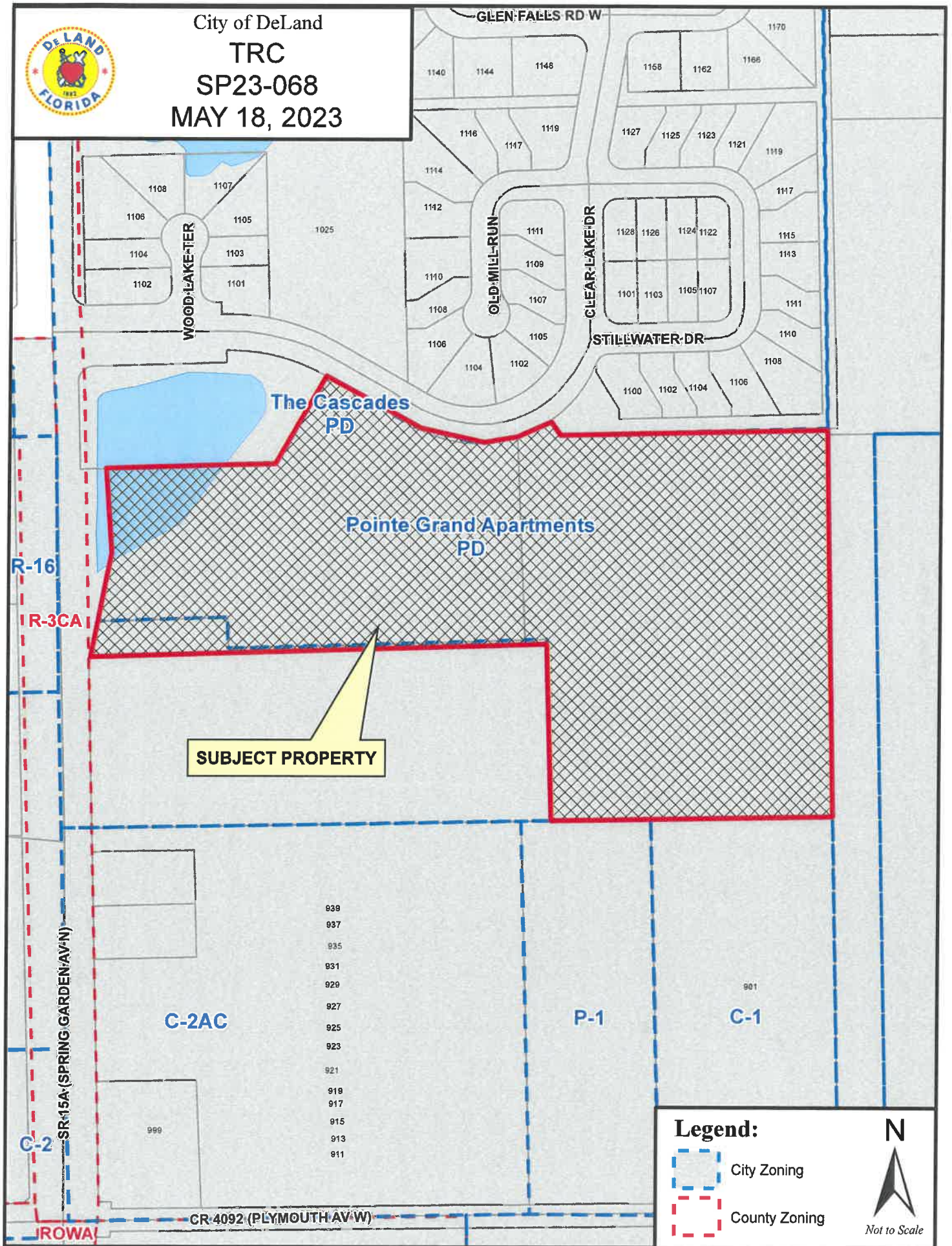
Legend:

- City Zoning
- County Zoning





City of DeLand
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Issues for record SP23-068
Job Address: 0 N Spring Garden AV, Deland FL 32720
Job Description: 204 unit multi-family project off of N Spring Garden Ave.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Multiple CC Sections						
Engineering	Draft	1. There are three CC Sections included on this sheet. It may be helpful to change them to AA,BB, and CC. DD needs to be added as it is referenced on Sheet C4.0.	C12.0	Ray Bahrami	Ray Bahrami	Yes
Notes added to the plan						
Engineering	Draft	1. Please add P-2 and P-3 recommendation provided in UES Report dated 3/23/23 to PD-2 and PD-3 details as it relates to over-excavation of clayey fine sand. In addition, a note needs to be added that, "Universal Engineering Sciences inspect the retention area bottoms and underlying soils subsequent to the construction of the proposed retention areas" as indicated on Page 2 of the report.	C8.0	Ray Bahrami	Ray Bahrami	Yes
4:1 Slope						
Engineering	Draft	1. PD-1 & PD-2: The City usually does not allow any slope steeper than 4:1 due to maintenance issues associated with it.	C8.0	Ray Bahrami	Ray Bahrami	Yes
PD-1						
Engineering	Draft	1. PD-1: There is a call out, "Top of pond varies" in elevation. Top of pond is still at 63' even though the slope continues at 4:1. You may want to add an additional call out to include top of pond = 63.0'.	C8.0	Ray Bahrami	Ray Bahrami	Yes
Dumpster area drainage pattern change						
Engineering	Draft	1. Recommend to remove YD-57 within dumpster area and provide positive drainage to DS-10.	C7.1	Ray Bahrami	Ray Bahrami	Yes
Cross Section reference and number overlap						
Engineering	Draft	1. Cross Section PD-3 refers to Sheet C7.0 which needs to be changed to C8.0. 2. Parking area, south of DS-35, spot grade elevation cannot be read (number overlap).	C7.1	Ray Bahrami	Ray Bahrami	Yes
High Point labeled						
Engineering	Draft		C7.0	Ray Bahrami	Ray Bahrami	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
1. Please add HP (High Point) to proposed center line spot grades where applicable to both this sheet and Sheet C7.1.						
Note added						
Engineering	Draft	1. Please add a note, "Proposed crosswalks cross slopes shall not exceed 2% per ADA requirements".	C7.0	Ray Bahrami	Ray Bahrami	Yes
Retaining Wall						
Engineering	Draft	3. Retaining wall locations including bottom and top of wall elevation are included in the plan. No details were provided with this submittal. Is it designed by Others and will be submitted as part of building plan approval? If that is the case, a call out needs to be added to the plans.	C7.0	Ray Bahrami	Ray Bahrami	Yes
Matchline & Cross Section reference						
Engineering	Draft	1. Matchline should be, Sheet C7.1 instead of 8.1. 2. Cross Sections PD-1 and PD-2 refer to Sheet C7.0 which needs to be changed to C8.0.	C7.0	Ray Bahrami	Ray Bahrami	Yes
Matchline						
Engineering	Draft	1. Matchline should be, Sheet C6.0 instead of 7.0.	C6.1	Ray Bahrami	Ray Bahrami	Yes
Storm Sewer System Information						
Engineering	Draft	1. All new storm structures, pipes and yard drains information shown on this sheet needs to be included in tables. It will be reviewed once all the information is properly shown on each sheet.	C6.1	Ray Bahrami	Ray Bahrami	Yes
Erosion Control						
Engineering	Draft	1. Please provide erosion control measures like rip-raps or concrete splash pads at the point of discharge to proposed ponds.	C6.0	Ray Bahrami	Ray Bahrami	Yes
Call out and Matchline						
Engineering	Draft	1. There is a call-out for proposed CS-2, see detail on Sheet CX.XX. 2. Matchline should be, Sheet C6.1 instead of 7.1.	C6.0	Ray Bahrami	Ray Bahrami	Yes
Storm Sewer System Information						
Engineering	Draft	1. All new storm structures, pipes and yard drains information shown on this sheet needs to be included in tables. For example, YD1-4, YD 26 and other storm sewer system	C6.0	Ray Bahrami	Ray Bahrami	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
information are missing on this sheet but shown on Sheet C6.1. DS 15 information is missing. It will be reviewed once all the information is properly shown on each sheet.						
Mailbox Stand & FDOT Index						
Engineering	Draft	1. Mailbox Stand needs to be handicap accessed. Please provide ramp and striping. 2. please add a note, "Striping is to be per FDOT Standard Plans Index 711-001". Please add applicable sheets from FDOT Standard Index to the plan set.	C4.0	Ray Bahrami	Ray Bahrami	Yes
Crosswalk Striping and Sidewalk Hatch						
Engineering	Draft	1. Crosswalk striping needs to be graphically shown on all crossings. 2. It will be helpful to provide concrete hatch for proposed sidewalks throughout this development.	C4.0	Ray Bahrami	Ray Bahrami	Yes
Cross Section and Retaining Wall References						
Engineering	Draft	1. There are multiple references to Cross Section DD on Sheet 12. There are three CCs on Sheet 12 with no DD. 2. Call out for retaining wall refers to Sheet CX.X.	C4.0	Ray Bahrami	Ray Bahrami	Yes
Handicap Space and Ramp Access						
Engineering	Draft	1. Handicap space is required to be 20' long by 12' wide per LDC 33-91.06(b). Please revise and add dimension to the plan. 2. Please show handicap ramp access to all buildings.	C4.0	Ray Bahrami	Ray Bahrami	Yes
Notes						
Engineering	Draft	1. There are a lot of notes under General Construction Notes referring to Polk County & County which needs to be removed. 2. General Construction Notes # 13 needs to change to Atwell instead of American Surveying & Mapping. 3. Paving & Drainage Notes: A) Note # 1: needs to be removed since it is an inverted crown roadway. B) Note # 3: FDOT Standard Plans Indices 102 & 103 for Erosion Control no longer exists. They were removed many years ago. C) Note # 14: New FDOT Standard Plans for Inlets, Manholes and Junction Boxes are Index 425-001 to 425-090.	C2.0	Ray Bahrami	Ray Bahrami	Yes
Sanitary Sewer Report						
Engineering	Draft	1. Please use Wastewater ERU = 260 GPD with ERU/ERC Factor of 0.833 to be used for Multifamily residential.		Ray Bahrami	Ray Bahrami	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Potable Water Report						
Engineering	Draft	1. Please use Water ERC = 300 GPD with ERU/ERC Factor of 0.833 to be used for Multifamily residential.		Ray Bahrami	Ray Bahrami	Yes
Secondary Stormwater Calculations						
Engineering	Draft	1. Velocities cannot exceed 10 ft/sec. DP-30 pipe size/slope needs to be adjusted. 2. The City requires 10yr 24hr maximum pond stage elevation as tailwater elevation for storm sewer calculations. The reviewer could not check since 10yr 24hr storm event was not included in ICPR modeling.		Ray Bahrami	Ray Bahrami	Yes
Drainage Report						
Engineering	Draft	1. Pre-Development Basin Calculations for Tc, Manning's (n) of 0.10 was used. Per Executive Summary for pre-development, this area is heavily wooded. Please provide a reference to TR 55, Table 3-1 about what surface description is used. 2. Please confirm that TR 55, Table 2-2c, Cover Type of Pasture, grassland, or Range in Good condition for Type A was used for CN calculations. 3. Post-Development ICPR Analysis, Weir Link Weir-P4, shows control elevation = 68.10'. Sheet C8.0 of construction plans Detail W4 shows it as 67.90'.		Ray Bahrami	Ray Bahrami	Yes
General Comments						
Engineering	Draft	1. FDOT Permits are required. 2. Please include FDOT Standard Plans appropriate indices for MOT/TTC.		Ray Bahrami	Ray Bahrami	Yes
Fire Hydrant						
Fire	Draft	Provide a fire hydrant near the entrance on Spring Garden	C5.0	Jamie Lunsford	Jamie Lunsford	Yes
Fire Hydrant by Club House						
Fire	Draft	Fire Hydrant needs to be at least 40' away from the Club House, no more than 100'. Locate Fire Hydrant as indicated on plans with arrows.	C5.0	Jamie Lunsford	Jamie Lunsford	Yes
Fire Lines / Domestic Water						
Fire	Draft	Fire protection lines off the main need to be separate from potable water lines.	C5.0	Jamie Lunsford	Jamie Lunsford	Yes
Fitness Center.						
Fire	Draft	Verify fire protection for fitness center?	C5.0	Jamie Lunsford	Jamie Lunsford	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Fire	Draft	Auto turn Auto turn needs to be displayed utilizing the departments largest apparatus in service. -Tower 81. 44' in length.	C11.0	Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	Tree Barricade Detail Update Tree Barricade Detail with the 2023 version.	A-202	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Replacement Required Once issues on Sheets A-202 to A-204 have been resolved, the tree replacement table will need to be revised. We will provide a complete review then. Based on current data, you may be 1,865" DBH deficient in tree replacement requirements. You will either need to add more trees or larger trees to meet the tree replacement requirements. If you cannot plant enough trees to meet this requirement, you can contribute into the Tree Replacement Reserve Account at a rate of \$75 per inch not planted to meet this requirement.	A-202	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Total Inches Planted on Site Based on your current plan, this should be changed to 892" DBH.	A-202	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Minimum Coverage Trees Minimum Coverage is not calculated correctly by our Code. The total number of trees is multiplied by 6" DBH. For a 14.16 acres site, you should have 247 trees with a minimum coverage of 1,480" DBH.	A-202	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Typo Fix spelling of Wetland in Tree Protection Table	A-202	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Protection Areas Change all Tree Preservation Areas to Tree Protection Areas to be consistent with Code language.	A-202	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Replacement Provided With the suggested revisions, 892" DBH of tree replacement would be provided.	L-001	Mariellen Calabro	Mariellen Calabro	No
Forestry	Draft	QV and QV1 For 2" DBH credit, modify QV specifications to 8' height, 54" spread, and 45 gallon container size.	L-001	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
For 3" DBH credit, modify QV1 specifications to 10' height, 6' spread, and 100 gallon container size.						
Excel Spreadsheet						
Forestry	Draft	Please provide a tree summary excel spreadsheet that shows Tree Number, Species, DBH, and whether the trees will be removed or retained.	C3.0	Mariellen Calabro	Mariellen Calabro	Yes
Plant material requirement.						
Forestry	Draft	All trees planted will need to meet the criteria for a Florida #1 tree as described in the most current edition of the Florida Department of Agriculture and Consumer Services Grades and Standards for Nursery Plants. The minimum size for replacement trees is 3" caliper and eight feet in height. Increase caliper for IV and LIN to 3" caliper.	L-001	Kit Dennis	Mariellen Calabro	Yes
Large Laurel Oaks						
Forestry	Draft	There are a number of rather large laurel oaks listed. We recommend you schedule a site visit with our Forestry Division to verify the species.	A-204	Kit Dennis	Kit Dennis	No
Deteriorated Trees						
Forestry	Draft	To receive reduced replacement, please provide an Arborist report for documentation of the condition of the deteriorated trees. Reduced replacement is only available for Laurel Oaks that are 20" DBH or larger per our Code. All smaller trees will need to be replaced at the protected tree rate of one third DBH.	A-204	Kit Dennis	Mariellen Calabro	Yes
DBH and Mitigation Totals						
Forestry	Draft	Please confirm the total for DBH removed and mitigation.	A-204	Kit Dennis	Kit Dennis	No
DBH Calculations						
Forestry	Draft	Some of the trees have a DBH down to the hundredth of an inch. How were the DBH's calculated?	A-203	Kit Dennis	Kit Dennis	Yes
Irrigation Plan						
Forestry	Draft	An Irrigation Plan needs to be submitted.	T0	Kit Dennis	Kit Dennis	Yes
Laurel Oak Reduced Replacement						
Forestry	Draft	A revision to the PD would be required to reduce deteriorated laurel oak replacement from 20" DBH to 15" DBH.	A-202	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Plant Schedule (Remarks) Please make the same corrections as outlined on sheet L-001.	L-105	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Plant Schedule (Remarks) Please make the same corrections as outlined on sheet L-001.	L-104	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Plant Schedule (Remarks) Please make the same corrections as outlined on sheet L-001.	L-103	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Plant Schedule (Remarks) Please make the same corrections as outlined on sheet L-001.	L-102	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Plant Schedule (Remarks) Please make the same corrections as outlined on sheet L-001.	L-101	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	DBH Measurements Unless you are using some type of sophisticated laser measuring equipment, there is no way that you can measure a tree DBH to two decimal places. Please round to whole numbers. If there are multiple trunks, each trunk counts as a tree if it splits below 4.5'. Some are circled, but Accela is not cooperating, so I can't circle them all.	Survey.pdf	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Crape Myrtle The minimum container size for a crape myrtle with a 6' spread is 100 gal. If you intended to meet the minimum requirements for this species, increase container size to 45 gallons and change the first spd. to 8' height.	L-001	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Plant Schedule (Remarks) The crown diameter (spread) needs to be included in the remarks for each tree species.	L-001	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	DBH Show Total DBH, not DBH Range.	Survey.pdf	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Slash Pine The minimum container size for a 4" caliper Slash Pine is 100 gal. For 3" DBH credit, change specifications to 10' height, 3' spread, and 100 gallon container size.	L-001	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Southern Red Cedar						
Forestry	Draft	The minimum container size for a 4" caliper Southern Red Cedar is 100 gal. For 3" DBH credit, change height to 10', spread to 6', and increase container size to 100 gallon.	L-001	Kit Dennis	Mariellen Calabro	Yes
Tree size						
Forestry	Draft	A minimum caliper of 3" is required in order to count towards the tree count, or to receive DBH replacement credit.	L-001	Kit Dennis	Kit Dennis	Yes
Guying/Planting Details						
Forestry	Draft	Mulch should be placed near the trunk, but not touching the trunk, and extend outwards to the perimeter of the planting.	L-001	Kit Dennis	Kit Dennis	Yes
Planting Details						
Forestry	Draft	Please correct the Planting Details to show all root balls resting on top of undisturbed soil.	L-001	Kit Dennis	Kit Dennis	Yes
Small Tree Guying Detail						
Forestry	Draft	Add note that burlap needs to be removed from the top third of the root ball.	L-001	Kit Dennis	Kit Dennis	Yes
Tree ID 1015						
Forestry	Draft	Tree 1015 is missing from sheet L-101 and is not listed in any of the tree calculation lists. Please make the appropriate correction to whichever sheets need to be corrected.	C3.0	Kit Dennis	Kit Dennis	Yes
Tree 1015						
Forestry	Draft	Tree 1015 from sheet C3.0 is missing from this sheet. It is not identified in any of the tree calculation lists. Please make the appropriate corrections to whichever sheets need to be corrected.	L-101	Kit Dennis	Kit Dennis	Yes
City Architectural Reviewer Comments						
Planning	Draft	Forthcoming.	T0	Kendall Story	Kendall Story	Yes
Special Conditions						
Planning	Draft	Add a note describing the Special Conditions section of the PD agreement (page 9, part K): K. "In connection with the location of this project and in order to promote additional benefits to the community, for a period of two years following the	T0	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
issuance of the final certificate of occupancy for the project, twenty percent (20%) of the units within this project shall be specifically reserved and allocated to local medical employees. Within such period of time, local medical employees seeking to reside within this project will be provided with: (1) a fifty percent (50%) discount off of the required initial security deposit, (2) a full waiver of the initial application fee, (3) a full waiver of the required rent for the first month of occupancy, and (4) a cap on rate increases of five percent (5%). The term "local medical employees" shall be defined as individuals employed by a licensed medical facility or by a facility that otherwise employs licensed health care professionals, which is located within one linear mile of the project. Verification of employment shall occur by the management association at the time of the initial application and at any subsequent lease renewal".						
Planning	Draft	Phasing The PD allows phasing of development. Will this project be done in phases? If yes, add phasing lines. Buffer Information Please provide an overall landscape plan that provides the following buffer information (in table format): Buffer Location (N/S/E/W) Buffer Type Linear feet of each buffer Width of each buffer The number of canopy trees, understory trees and hedges that are REQUIRED per 100 LF of each buffer and what is being PROVIDED per 100 LF of each buffer.	C4.0	Kendall Story	Kendall Story	Yes
Planning	Draft		L-101	Kendall Story	Kendall Story	Yes
Planning	Draft	Foot candles The plan shows that it is exceeding the maximum of 0.5 foot candles at the property line in many locations.	PH100	Kendall Story	Kendall Story	Yes
Planning	Draft	Handicapped spaces The code requires handicapped spaces to have a min. of 20' depth.	C4.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Number parking Please provide the number of parking spaces in specific areas.	C4.0	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Bicycle parking						
Planning	Draft	Please indicate the provided bicycle parking and show the location(s). -Bicycle parking Sec. 33-91.03(l)	C4.0	Kendall Story	Kendall Story	Yes
Building Information						
Planning	Draft	Please provide a table of building information that includes the maximum height of each building (with and without any architectural elements) and the provided height of each building, as well as the gross and net floor area per building.	C4.0	Kendall Story	Kendall Story	Yes
Impervious Area Calculations						
Planning	Draft	Please provide a table of your area calculations. The table should include the total site area, building area, proposed pavement area, and total impervious area, as square footage, acreage and percentages.	C4.0	Kendall Story	Kendall Story	Yes
Pedestrian Crossing						
Planning	Draft	Please identify the pedestrian pathway(s) from the parking spaces to the mail kiosk.	C4.0	Kendall Story	Kendall Story	Yes
Combine 4 Parcels						
Planning	Draft	Parcels must be combined. An application for combining property is done online using the Citizen Portal.	T0	Kendall Story	Kendall Story	Yes
Irrigation Plan						
Planning	Draft	Please provide an irrigation plan.		Kendall Story	Kendall Story	Yes
Class IV Site Plan						
Planning	Draft	Informational: this project is a Class IV site plan. Once approved by the technical review committee, the project will be scheduled for a Planning Board meeting. The Planning Board makes a recommendation to the City Commission. Then your project will be scheduled for a City Commission meeting where the commission gives the final approval.	T0	Kendall Story	Kendall Story	No
Screening						
Planning	Draft	Please show all rooftop mechanical equipment as dashed lines behind a screen wall.	C4.0	Kendall Story	Kendall Story	Yes
Ground signs						
Planning	Draft	Please indicate the location of all ground signs. Ground signs shall follow the standards of the Emerging Overlay district (Sec. 33-36). Note that all signage will require a separate permit.	C4.0	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Dimensions Please add the dimensions of all property lines and to all buildings.	C4.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Open space Please indicate all locations of common open space and provide the square footage, acreage and percentage of open space being provided.	C4.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Trail There should be a trail around the southeast pond as shown in the PD.	C4.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Wall/fence Please show the location and provide a typical of any proposed fences or walls. Per the PD concept plan, a screen wall/fence is required along the entire north boundary line.	C4.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Statement of intended use Add a statement of intended use and development activities.	T0	Kendall Story	Kendall Story	Yes
Utilities	Draft	Offsite Lift Station L/S #51 will need to be modified to accommodate the downstream capacity issue at L/S #10. L/s #51 after modification will be diverted west to the west side interceptor and free up capacity for this project.	T0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Force Main The force main size is 4" and not 2" as shown.	C9.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Water Connection Plans show pipe connecting to a water stub out. This needs to be confirmed for several reasons. We think the line goes all the way to Plymouth and it could save you piping and not sure if a stub out is actually there.	C9.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Water Connection See comment on 9.0	C5.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Utility Note #8	C2.0	Jim Ailes	Jim Ailes	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Piping less than 2" should be poly and greater than should be bell joint pressure pipe and not schedule 40 PVC.						
USA						
Utilities	Draft	A Utility Service Agreement will be required for this project. A Fair Share Agreement will be required for this project.	T0	Jim Ailes	Jim Ailes	Yes
FDEP Water Notes #3						
Utilities	Draft	should be no lead	C2.0	Scott Zender	Scott Zender	Yes
County Engineer						
Utilities	Draft	Remove County Engineer and replace with City of DeLand Engineer	C2.0	Scott Zender	Scott Zender	Yes
Polk County						
Utilities	Draft	Remove all Polk County from plans	C2.0	Scott Zender	Scott Zender	Yes
General Notes 20						
Utilities	Draft	Delete Polk County and contact City of DeLand engineering for AS BUILT-INFORMATION / Requirement	C2.0	Scott Zender	Scott Zender	Yes
General Note 12						
Utilities	Draft	Remove POLK COUNTY and replace with City of DeLand	C2.0	Scott Zender	Scott Zender	Yes

Conditions and notes for record SP23-068
Job Address: 0 N Spring Garden AV, Deland FL 32720
Job Description: 204 unit multi-family project off of N Spring Garden Ave.

Discipline	Status	Type	Details	Attached To	Created By
Utilities	Draft	Note	Tie In I would field verify that there is actually a 8" stub out to tie into.	C9.0	Scott Zender
Utilities	Draft	Note	Tie In I would field verify that there is actually a 8" stub out to tie into.	C5.0	Scott Zender

NEW BUSINESS

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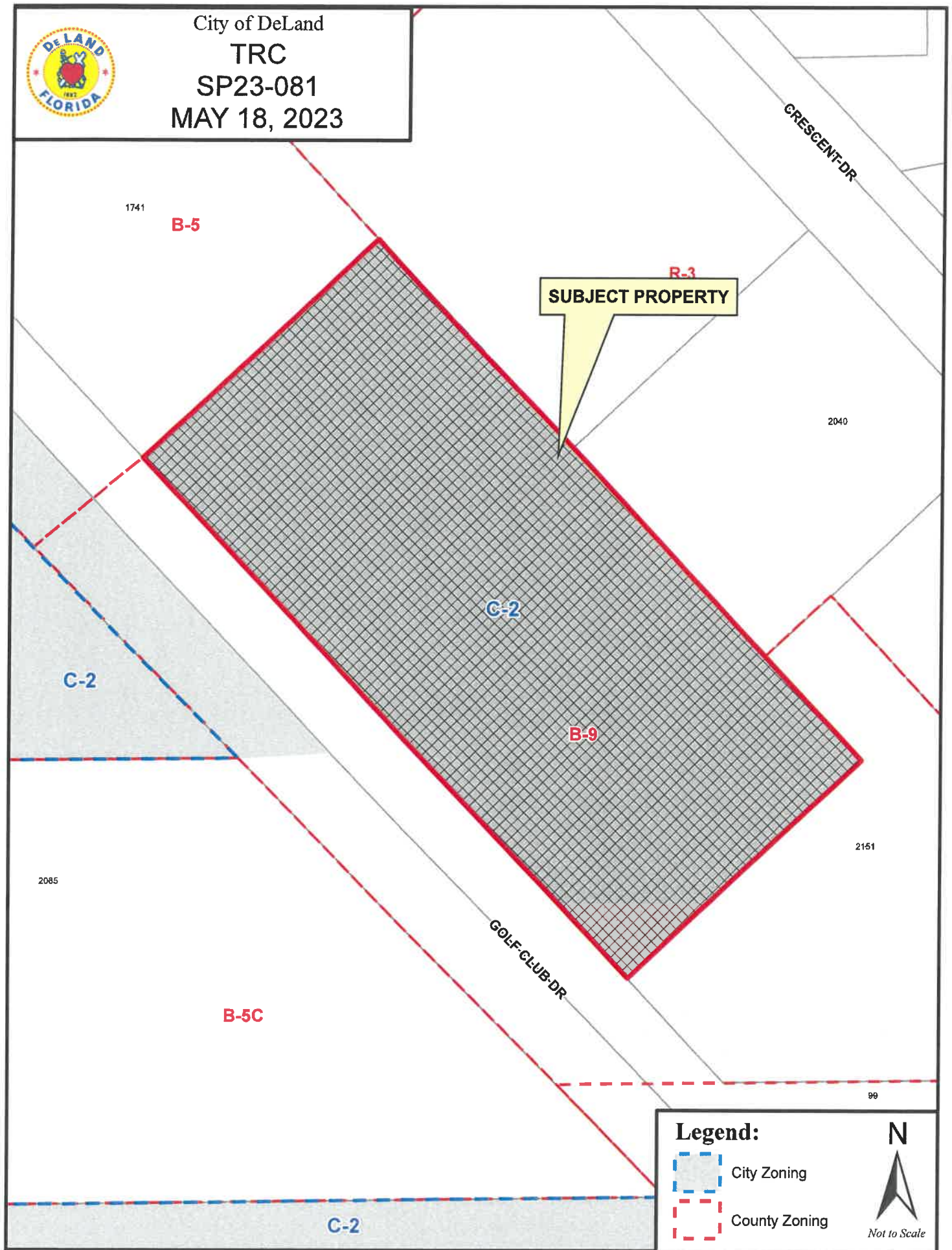


City of DeLand
TRC
SP23-081
MAY 18, 2023





City of DeLand
TRC
SP23-081
MAY 18, 2023



Issues for record SP23-081**Job Address: 0 Golf Club DR, DeLand FL 32724****Job Description: To construct a new parking lot and re stripe a portion of the existing parking lot to provide additional parking for the meat market. The site is not located in a Historic preservation district.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Building	Draft	specifications 1. Provide light pole foundation details. 2. Provide electrical service details for light poles.		Larry Hites	Larry Hites	Yes
Note						
Engineering	Draft	1. Private Parking Lot, Note does not apply to this project since limerock base is proposed.	C6	Ray Bahrami	Ray Bahrami	Yes
Slope & Control Structure						
Engineering	Draft	1. Per new spot grade elevations and Section A-A, a 17:1 slope is proposed from parking spaces (to the north) to new SWA. Are there any concerns with erosion issues even though proposed wheel stops will slow down runoff velocity to SWA? 2. Please show and label proposed control structure as indicated in Stormwater Calculations.	C5	Ray Bahrami	Ray Bahrami	Yes
Spot Grade Elevations						
Engineering	Draft	1. Please provide additional spot grade elevations for new sidewalk west of entrance/exit to parking lot. Additional spot grades need to be shown on the western section of parking lot to show break point of runoff going to new trench drain and SWA. It will be helpful to see additional spot grades throughout parking lot for positive drainage (including high and low points).	C5	Ray Bahrami	Ray Bahrami	Yes
Legend						
Engineering	Draft	1. Please provide a legend which shows proposed versus existing spot grade elevations.	C5	Ray Bahrami	Ray Bahrami	Yes
ADA						
Engineering	Draft	1. Please add a call out/note on the plan that ADA parking spaces shall meet ADA requirements including ramp, striping, sign and slope requirements (maximum 2% cross slope). Where is handicap sign located?	C2	Ray Bahrami	Ray Bahrami	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	General Comment 1. No pavement recommendation was included in geotechnical report prepared by UES.		Ray Bahrami	Ray Bahrami	Yes
		Stormwater Calculations				
Engineering	Draft	1. Please provide Time of Concentration calculations and show Tc Path in Pre-Development Basin Map (not included). Curve Number (CN) calculations for pre-development and post-development were not included. 2. Page 3, Control Structures, shows water quality and quantity calculations. Where is new control structure located on the plan?		Ray Bahrami	Ray Bahrami	Yes
		Dead End Drive				
Fire	Draft	The overall length exceeds the maximum of 150 ft. A means to turn around the largest apparatus needs to be provided or another exit provided. Code Below NFPA 1, 18.2.3.5.4 Dead Ends. Dead-end fire department access roads in excess of 150 ft (46 m) in length shall be provided with approved provisions for the fire apparatus to turn around.	C4	Jamie Lunsford	Jamie Lunsford	Yes
		Fire Hydrants				
Fire	Draft	Provide location of all fire hydrants within 500 ft of project property.	C2	Jamie Lunsford	Jamie Lunsford	Yes
		Roadway Width				
Fire	Draft	Provide Width of roadway in exiting parking lot. Where indicated.	C2	Jamie Lunsford	Jamie Lunsford	Yes
		Auto Turn				
Fire	Draft	Provide a print with the Auto Turn layout for existing lot utilizing the largest apparatus the fire department operates.	C2	Jamie Lunsford	Jamie Lunsford	Yes
		Tree Replacement				
Forestry	Draft	Your plan would require 147" DBH of canopy tree replacement and 8 palm trees to be planted. With the revisions suggested, you plan will meet this requirement.	L-2	Mariellen Calabro	Mariellen Calabro	No
		Tree Preservation Area				
Forestry	Draft	Replace reference to Tree Preservation areas with Tree Protection Areas to be consistent with Code language. Clearly show the limits of the Tree Protection Area on your plan. It appears to be shaded with small dots, but they do not match what is shown on the legend, and they may not be visible when the plan is printed.	L-2	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Note 12						
Forestry	Draft	Change OT to TO in Line 5. Revise the next line. I think that there is part of a sentence missing. I think you meant to say NOT TO INJURE OR DESTROY THE TREE. Then it looks like you are getting into Tree Barricade detail instructions, but they don't match our tree barricade requirements.	L-4	Mariellen Calabro	Mariellen Calabro	Yes
Palm Planting Detail						
Forestry	Draft	Show palms planted on existing subsoil as shown in other planing details.	L-4	Mariellen Calabro	Mariellen Calabro	Yes
General Notes						
Forestry	Draft	Change Sheet L-4 to Sheet LA-4 at the end of the first paragraph of the second column.	L-2	Mariellen Calabro	Mariellen Calabro	Yes
Plant Specifications						
Forestry	Draft	Please revise specs to match Florida Grades and standards. IL, PE, and TD should be 10' height, 3' spread, and 100 gallon minimum container size. LI should be 9' height, 5' spread, and 100 gallon minimum container size. (Also, fix spelling of Grape.). QV and UP should be 10' height, 6' spread, and 100 gallon minimum container size. (Also, fix spelling of virginiana.)	L-2	Mariellen Calabro	Mariellen Calabro	Yes
Tree Replacement Required						
Forestry	Draft	Your project will remove 8 palm trees and 440" DBH of other protected trees. This will require 147" DBH replacement to be provided. With the revisions shown on Sheet LA-2, this requirement should be met.	L-1	Mariellen Calabro	Mariellen Calabro	No
Tree Protection Area						
Forestry	Draft	Change references to Tree Preservation Area to Tree Protection Area to be consistent with Code language.	L-1	Mariellen Calabro	Mariellen Calabro	Yes
Camphor Trees						
Forestry	Draft	Camphor trees do not count as trees removed or remaining.	C3	Mariellen Calabro	Mariellen Calabro	No
General Information						
Forestry	Draft	If your project area is 28,140 sf, you will need 4,221 sf of Tree Protection Area and 11 trees/68" DBH to meet minimum coverage requirements.	C1	Mariellen Calabro	Mariellen Calabro	No
Forestry	Draft	Plant material container size	L-2	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Please add the container sizes for all trees and shrubs/groundcovers.						
Tree Symbol Key						
Forestry	Draft	Please add proposed trees to the Tree Symbol Key.	L-2	Kit Dennis	Kit Dennis	Yes
Fence/Tree Protection Area						
Forestry	Draft	There appears to be a fence within the Tree Protection Area. Will the trees be contained on one side of the fence, or will there be trees on either side?	L-2	Kit Dennis	Kit Dennis	Yes
Tree Barricade Detail						
Forestry	Draft	Update the Tree Barricade Detail with the most up to date version.	L-1	Kit Dennis	Kit Dennis	Yes
Tree Barricade Detail						
Forestry	Draft	Update the Tree Barricade Detail with the most up to date version.	C3	Kit Dennis	Kit Dennis	Yes
Tree Barricade						
Forestry	Draft	The symbol in the legend does not match with what's drawn on the plan. Please change one to make them match.	C3	Kit Dennis	Kit Dennis	Yes
Historic/Specimen trees to be removed.						
Forestry	Draft	This does not match with what is on page LA-1. Please correct whichever is incorrect.	C3	Kit Dennis	Kit Dennis	Yes
Parking spaces						
Planning	Draft	Indicate the number of parking spaces required and provided for at the primary use as well as the number provided at the new site.	C2	Belinda Collins	Belinda Collins	Yes
Parking spaces						
Planning	Draft	Include the total number of parking spaces to be added on the cover page in the project description.	C1	Belinda Collins	Belinda Collins	Yes
Plant labeling						
Planning	Draft	Correct the arrows identifying quantities of the crape myrtles and the bald cypress trees (lower right).	L-2	Belinda Collins	Belinda Collins	Yes
Footcandles						
Planning	Draft	33-94.03 (g) 2. Off-site areas shall be shielded from offensive or excessive illumination.	PH1	Belinda Collins	Belinda Collins	Yes

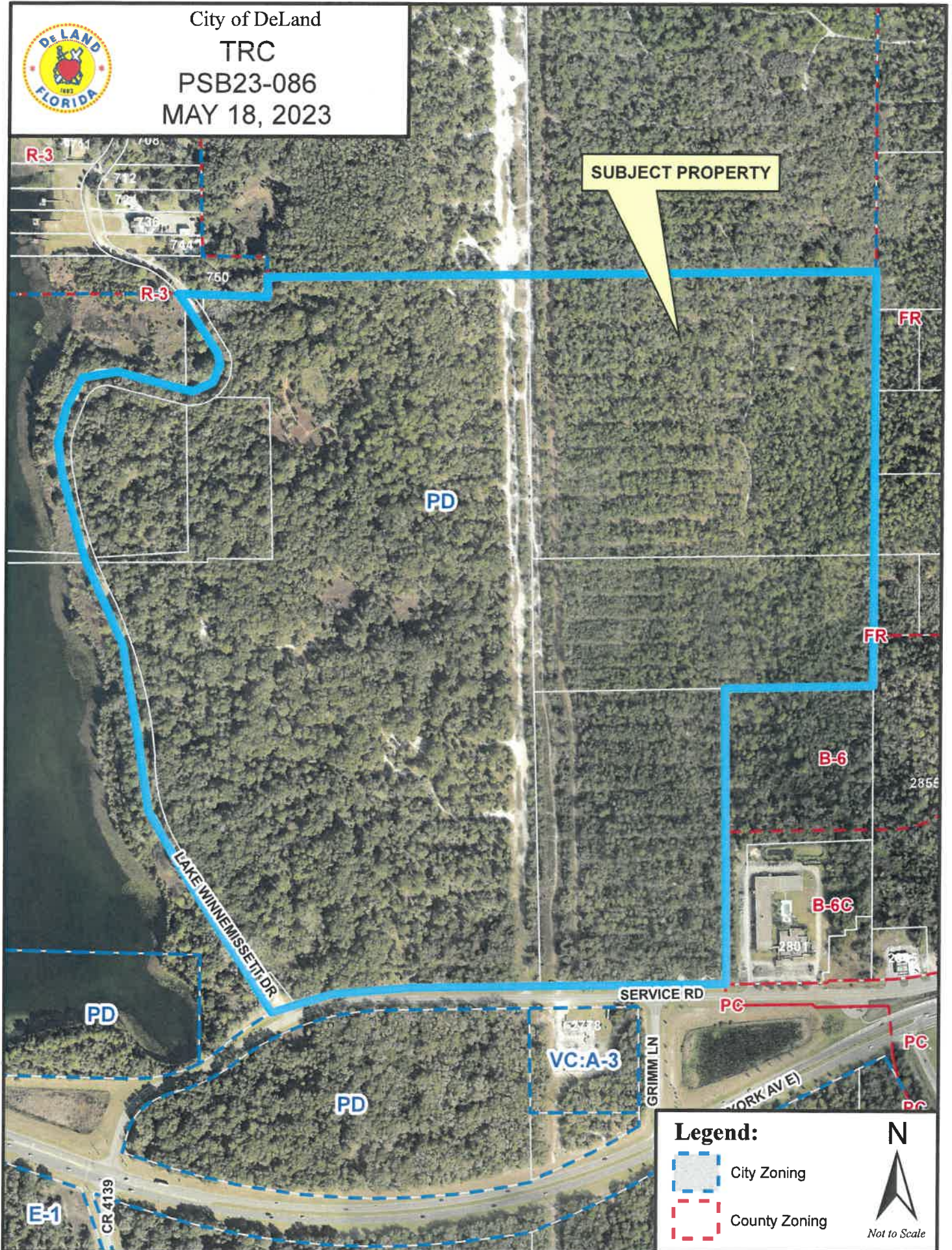
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Illumination from any light source onto adjacent properties or into the public right-of-way shall not exceed 0.5 foot-candles. Because this site is adjacent to residential uses, please verify that this requirement is met in relation to the adjacent properties.						
Setbacks/Buffers						
Planning	Draft	Sec. 33-91.06 (b): Except for all one- and two-family residences, which shall have a minimum one-foot separation between the vehicular use areas and the property line, and except within the C-2A zoning district, all other zoning districts shall have a minimum separation of ten feet from any property line. The "Buffers" (setbacks) listed on the cover page would apply to a structure on the site. Please indicate which zoning category they refer to as they are not those in place for the C-2 zoning designation.	C4	Belinda Collins	Belinda Collins	Yes
Annexation, FLUM, Rezone						
Planning	Draft	This site is located within unincorporated Volusia County and as such the property should be annexed into the city and a land use amendment and rezoning would be required in order that development to city of DeLand standards may be accomplished. The site data table indicates that a land use amendment to Highway Commercial and rezoning to C-2 (General Commercial) are proposed. C-2 permits commercial parking lots.	C1	Belinda Collins	Belinda Collins	Yes
Annexation, FLUM, Rezone						
Planning	Draft	This site is located within unincorporated Volusia County and as such the property should be annexed into the city and a land use amendment and rezoning would be required in order that development to city of DeLand standards may be accomplished. The site data table indicates that a land use amendment to Highway Commercial and rezoning to C-2 (General Commercial) are proposed. C-2 permits commercial parking lots.		Belinda Collins	Belinda Collins	Yes
Utilities						
Utilities	Draft	Might want to consider extending reclaim to the site. A well in this location could produce dieldrin from the golf course and contaminate the area.	L-3	Jim Ailes	Jim Ailes	Yes

NEW BUSINESS

9

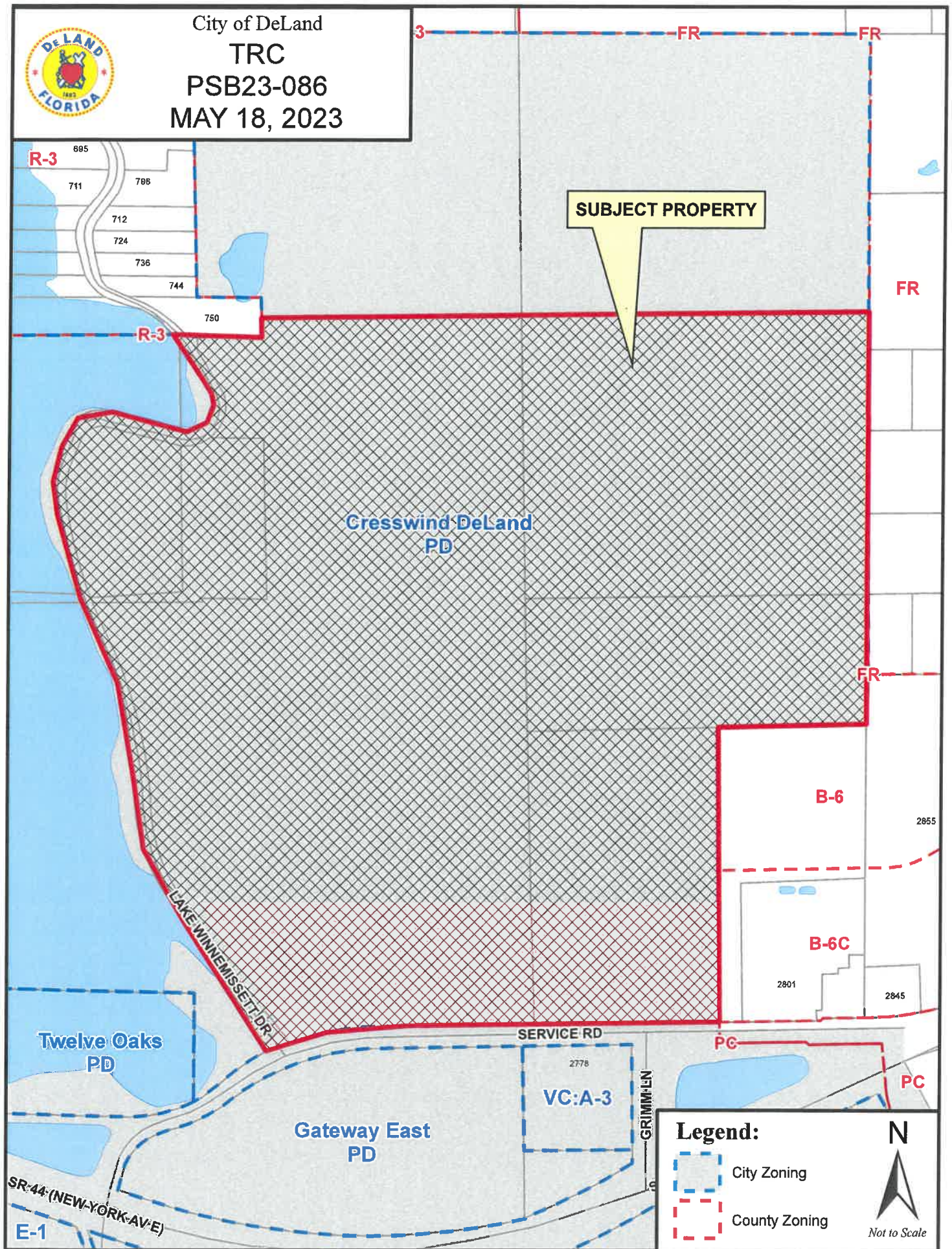


City of DeLand
TRC
PSB23-086
MAY 18, 2023





City of DeLand
TRC
PSB23-086
MAY 18, 2023



Legend:

-  City Zoning
-  County Zoning



Issues for record PSB23-086**Job Address: 2751 E New York AV, Deland Volusia 32724****Job Description: Cresswind DeLand Phase 2 and 3 improvements for 223 single family lots**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Master Utility Analysis						
Engineering	Draft	1. Page 1, Summary of Anticipated Flows, please use Water ERC = 300 GPD. 2. Wastewater, Summary of Anticipated Flows, please use Wastewater ERU = 280 GPD.		Ray Bahrami	Ray Bahrami	Yes
Storm Sewer Calculations						
Engineering	Draft	1) Please provide a nodal diagram which shows Phase 1 storm sewer system. 2) Is there a reason a $T_c = 15$ minutes used instead of 10 minutes?		Ray Bahrami	Ray Bahrami	Yes
Master Drainage Stormwater System Analysis						
Engineering	Draft	1. Page 3, Floodplain Impacts: There are two Floodplain Ponds proposed for this development. Please provide calculations to show how they were sized and BFEs established. 2. Are Curve Number (CN) calculations in ICPR based on 75% maximum lot impervious area? 3. Do Ponds 3 and 4 have a bleed down structure/orifice proposed per SJRWMD requirement?		Ray Bahrami	Ray Bahrami	Yes
General Comments for Sheets C-315 to C-319						
Engineering	Draft	1. Please use the latest FDOT Standard Plans.		Ray Bahrami	Ray Bahrami	Yes
Note						
Engineering	Draft	1. Under Note, "Littoral zone planting required. See Landscaping Plans Details". It does not apply to this sheet.	C-314	Ray Bahrami	Ray Bahrami	Yes
Note & DHW Elevation						
Engineering	Draft	1. Under Note, "All slopes above the NW elevation steeper than 5:1 shall be sodded". For example, proposed 10' maintenance berm slope is 5% max but needs to be sodded. In addition, littoral zone applies to wet ponds only. Delete note accordingly. 2. Please make sure DHW elevations which are shown on this sheet match Master Drainage Stormwater System Analysis.	C-313	Ray Bahrami	Ray Bahrami	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
General Comments for Sheets C-302 to C-309						
Engineering	Draft	1. Grading Sheets: Stem walls or thickened slabs are required for all lots where from proposed lots to side lot line exceed 5:1 maximum as shown on Sheet C-319, Typical Section at Lotline. A note needs to be added to the plans. For example, Lot 180 has rear of lot elevation of 71.50 and front lot line elevation of 69.48' with proposed FFE = 73.0'. The grade transition from FFE to side lot line (where building envelope is drawn) is about 63.56% which is greater than 5:1 (20%). A minimum of 2% and maximum of 20% slope is acceptable. There are a lot of lots with similar steep slopes. Lowering proposed FFE or increasing side lotline setback (narrowing building footprint) will help.		Ray Bahrami	Ray Bahrami	Yes
Retaining Wall						
Engineering	Draft	1. Please label top and bottom of the proposed retaining wall at the rear of Lots 302-308 as shown on proposed spot grade elevation.	C-302	Ray Bahrami	Ray Bahrami	Yes
LOMR-F Application						
Engineering	Draft	1. Is EOR planning to apply for LOMR-F with FEMA for Lots 44, 45, and 290 to 295? These lots within Flood Zone A need to be at least one foot above BFE and maximum pond stage elevation for 100yr 24hr storm event, whichever is greater	C-301	Ray Bahrami	Ray Bahrami	Yes
Impervious & Pervious Areas						
Engineering	Draft	1. Please provide pervious and impervious areas (Maximum Lot Impervious Area) based on 75% proposed for each phase.	C-106	Ray Bahrami	Ray Bahrami	Yes
General Comments						
Engineering	Draft	1. Where is residents' mailbox stands located? It needs to be handicap accessed. 2. Is there a reason Final Plat for Cresswind Phases 2 & 3 included in preliminary plat submittal set?		Ray Bahrami	Ray Bahrami	Yes
Auto Turn Details						
Fire	Draft	Provide auto turn details utilizing the largest fire apparatus in service within the city. Vehicle may not be able to make turns in the cul de sac with the island in the center.	C-105	Jamie Lunsford	Jamie Lunsford	Yes
Tree Impact Area						
Forestry	Draft	Please provide the square footage of impact area for Phase 2 and Phase 3 so we can calculate the inches required for tree replacement.	L-200A	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	TPA Tracts There appear to be two Tract Gs and two Tract Hs.	PAGE 3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Plant Schedule Landscape Your landscape plan appears to add 726" DBH of replacement trees.	L-480	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	List of Approved Tree Replacement Species Update with most recent version.	L-480	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Barricade Detail Update with 2023 version of Tree Barricade Detail.	L-480	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Closed	Plant Schedule Landscape Add numbers, caliper, height, spread, and container size to Plant Schedule.	L-410	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Sheets L-401 to L-410 Show the location of littoral plantings.		Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Lot Tree Requirements The trees specified would only provide 3" caliper credit if they remain at 45 gallon and 8 foot tall. This would provide 2" DBH credit per tree.	L-400B	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Protection Area Insufficient Tree Protection Area has been provided in this phase.	L-400A	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Specimen Trees Lots 170 to 173 and 190 and 191 contain specimen trees in good condition. Can they be saved.	L-209	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Specimen Trees Lots 175, 174, and 173 contain several specimen trees identified to be in good to excellent condition. Can any of these trees be saved?	L-208	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Sheets L-201 to L-210		Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Update tree legend to show what is on the page. Show the location of tree barricades.						
Forestry	Draft	Overall Totals for All Trees Removed Change 330 to 964. Change 368 to 381. Change 14,086 to 14,099.	L-200B	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	5 Protected Trees - Non Surveyed Acres What is the purpose of this table?	L-200B	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Total Trees and DBH Inches Round 8817.7 to 8818.	L-200B	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	3 Specimen Tree Removal Add a Total DBH column. The total inches of trees should be 964" DBH, not 330" DBH.	L-200B	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Specimen Tree Removal from Arborist Report Tree 869 replacement DBH should be 0.5, not 6.0. That would change the Total column to 9. This would increase the Total DBH removed to 381.	L-200B	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Consistency Issue Sheet L-480 shows 726" DBH replacement provided and 1,258" DBH in lot trees. This would provide a total of 1,984" DBH. This does not match what is shown in the summary table.	L-200A	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Deficit If your deficit is 21,742, your contribution to the Tree Replacement Reserve Account would be \$1,630,650. Additional planting is recommended.	L-200A	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Trees Provided Trees provided do not match what is shown in the Tree Provided Chart and Overall Tree Replacement Surety Account.	L-200A	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic and Specimen Tree Survey Confirm that 100% of historic trees and specimen trees have been surveyed.	L-200A	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Under Construction	C-107	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
The Lake Front Park and Shoreline Clearing are shown as "Under Construction." Have these plans been approved?						
Forestry	Draft	Spacing Issue Add space between the words LOT and SUMMARY.	C-106	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Barricade Detail Please update with current Tree Barricade Detail.	C-103	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic and Specimen Trees Please confirm that all historic and specimen trees have been included on the site plan.	C-100	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Minimum Coverage and Tree Protection Area Requirements If the project area is 77.77 acres, 11.7 acres of TPA will be needed and 8,130" DBH will be needed to meet minimum coverage requirements.	C-100	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Irrigation Plan Provide an irrigation plan for the project.	C-100	Mariellen Calabro	Mariellen Calabro	Yes
Planning	Draft	Littoral Shelf Areas Pages L-401 through L-410 have Littoral Plantings listed in the Plant Schedule Landscape table. Per the PD, "Where proposed wet detention lakes are located within PD buffer areas, the Developer shall plant littoral zones along the shoreline adjacent to the PD boundary or adjacent to the existing wetland areas within the Planned Development." Please ensure that all littoral zones are shown and demonstrate or add a note stating that they must have a "minimum ten (10) square feet per linear foot of shoreline located within a buffer adjacent to any property line. Littoral zones shall extend a minimum of 2.5 vertical feet below the control water line and include an upland transitional planting zone 2.5 vertical feet below control water line and include an upland transitional planting zone 2.5 vertical feet above the control water line. Littoral plantings including upland transition zones shall be wetland-friendly and native species." The wetland area adjacent to the property line does not appear to have a littoral shelf even know it's adjacent to the property line and very close to Lake Winnemissett. For clarity, especially since the protection of Lake Winnemissett is crucial to the residents of the Lake Winnemissett Civic Association, please add a plan sheet that shows the locations of all required littoral shelf areas along with a table that documents how the littoral shelf(s) width was calculated.	L-401	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Delineate Tree Protection Areas						
Planning	Draft	Please delineate all designated Tree Protection Areas (with a "fill") on Sheets L-401 through L-411.	L-401	Melissa Winsett	Melissa Winsett	Yes
Lake Winnemissett Required Trees & Shrubs table						
A. Please clearly depict what's required and what's proposed. If the applicant is using a combination of methods to provide a proposed figure, this needs to be explained in the table or in footnotes. For example, note the buffer width due to the difference in Buffer C requirements based on the widths. B. The Buffer Standard "C" requirements are incorrect or, perhaps, the table omits pertinent information. A 30-ft Buffer "C" (considering 565 linear feet) requires 32 canopy trees (3" dbh), 11 understory trees, and 113 shrubs. The table shows that 17 shrubs, 28 canopy trees (2' dbh) and 10 understory trees are required. C. Add footnote explaining where the table's "Total Canopy Trees required" was derived for Lot Trees' (First line below Column headings) Total Canopy Trees Required" total. (The number 629 came from the 2nd table (from the top) on Sheet L-400B. This number may need to be updated.)						
Planning	Draft		L-400C	Melissa Winsett	Melissa Winsett	Yes
Lack of Clarity						
Please refer to the similar concerns written in previous comments on sheet L-400C and also those regarding the Buffer C Standard. The PD requires a minimum 50-ft buffer around the PD's perimeter; however, the code does not provide Buffer "C" requirements for 50-foot buffer widths - only those for 35-ft, 30-ft, 25-ft, and 20-ft widths. The plan shows that Buffer "C" is being used to determine the required number of trees and shrubs. Please identify which specific width in the code is being used to determine Buffer C's number of trees and shrubs. (See Table 33-92.02(b) in Section 33-92.02)						
Planning	Draft		L-400C	Melissa Winsett	Melissa Winsett	Yes
Lack of Clarity						
Overall, the tree and landscape buffer tables and information is confusing and unclear. Please revise and clarify, and also verify that all information is consistent throughout the plan sheets. A. The first table from the top includes tree requirement data from an unknown source. Per Sec. 33-57.07(a), a front tree is required for every 2,500 SF of lot area - rounded to the nearest whole number. Please revise the table to show 2500 SF increments and requirements. (Note: Per the PD, the minimum lot area requirement is 4,800 SF. Please confirm the lots in the salmon and red colors meet this minimum. If they do, clearly show this.) B. The second and third tables are confusing. Please add information to explain what the table is showing. For example, does the table show the total trees that are required or						
Planning	Draft		L-400B	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
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total trees that are being provided? In addition to Sec. 33-57.07(a), please note that per Sec. 33-92.02(d), a front yard tree is required for every 75-ft of ROW. Trees can be planted alternatively if ROW is owned by same owner. Please clearly show what's required and what's being provided. If the applicant is using existing trees to fulfill the requirement, clearly show this.

Acreage

Planning	Draft	Sheet L-400A shows the total acreage of Phase 2 and 3 as having 89.08 acres, yet the survey shows it has 79.324 acres. Please clarify this discrepancy and revise on all sheets as well as recalculate data.	L-400A	Melissa Winsett	Melissa Winsett	Yes
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"Phase 2-3 Boundary Site Data and Open Space Calculations" Table:

A. The "Phase 2-3 Boundary Site Data and Open Space Calculations" table includes inconsistent data and descriptions, which makes verification difficult. Please compare this table with the table on Sheet L-100. The "descriptions" should have matching and consistent data. For example, Sheet L-400A's table shows the "Open Space Area" as having 17.94 acres, yet L-100's table Shows "Other Open Space (Phase 2-3 Plat)" as having 1.8 acres. Instead, expand the table to break out the subcomponents that make up their "Descriptions." Per city staff's review, the combined acreages of Phase 2&3's Net Wetland Conservation, Wetland Setbacks, Other Open Space, and Utility Easement totals 17.4 acres, which is close to the 17.94 acres shown in the L-400A table. However, the numbers are off and the data used in the table not accurate and consistent. Please revise either sheet, or both, to be consistent (use exact numbers) – especially due to the note below the respective table that directs readers to "See Sheet L-100 for Overall Site Data and Open space Calculations Chart." As previously mentioned, the table's information should be transparent enough for the public to understand.

Note: City staff's review of Sheet L-100 found the data to be consistent to the data within the PD's development agreement.

B. Please document sources and/or explain the table's descriptions. For example, "Future Development" is shown as having 1.76 acres. Considering that the application is for Phases II and III, please explain why 1.76 acres of "Future Development" is shown within those respective phases. Also explain how the acreage was computed for areas like ROW area, Utility Easement, and any item that isn't in the table on sheet L-100). Expand the table and use footnotes to show where the acreage calculations are located elsewhere in the plan. The reader should be able to go back and forth between the plan sheets to understand the acreages and verify the percentages.

Inconsistencies with Sheet L-100

Planning	Draft	Several inconsistencies were found between Sheets L100 and L-400A. Please correct so that both maps are accurate and consistent with one another. The other plan sheets will also need to be checked for overall consistency.	L-400A	Melissa Winsett	Melissa Winsett	Yes
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A. The Flood Compensation Pond in the southwest section of the plan, adjacent to Lake

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Winnemissett Drive, is depicted in yellow signifying that it's Open Space; however, on Sheet L-100 it's shaded light green signifying it's a Tree Protection Area. Please confirm that both maps are correct and consistent with one another. B. Phase II includes the Utility Easement on Sheet L-100, yet it's omitted from Sheet L-400A. Please confirm that both maps are correct and consistent with one another.						
Graphic colors						
Planning	Draft	A. Please identify what the light green color depicts in the southwest section of Phase II. Light green is not shown in the Phase 2-3 Plat Boundary colors within the Legend. B. A Light Pink area, shown adjacent to Phase II, needs to be identified and moved to be located within Phase II.	L-100	Melissa Winsett	Melissa Winsett	Yes
Irrigation Plan Required						
Planning	Draft	Per page 15 of the PD Development Agreement, "The POAs (Property Owners Associations) shall be responsible for community wide landscape, fertilizing and irrigation and maintenance, including on the individual lots within the Planned Development." Irrigation plans were not found in the application. Please include these in the resubmittal.	L-100	Melissa Winsett	Melissa Winsett	Yes
Table L-100 Inconsistency with Table L-400A						
Planning	Draft	Data inconsistencies are present between Tables L-100 and L-400A. The numbers are off and the data used in the table is confusing because it's difficult to understand the source(s) of the numbers. Please revise either sheet, or both, to be consistent. The information should be transparent enough for the public to understand. (See related comment concerning Sheet L-400A.)	L-100	Melissa Winsett	Melissa Winsett	Yes
56-ft Typical Section						
Planning	Draft	From the ROW line, both a 15-ft setback for sidefacing garage or dwelling setback and a 22-ft setback for front-facing garage are required, per Exhibit B of the PD. For consistency, please use the approved PD's graphic (or a replica).	C-201	Melissa Winsett	Melissa Winsett	Yes
Additional Notes						
Planning	Draft	Please add the following into the Notes: a. No connections from Lake Winnemissett Drive will be allowed except for emergency and community maintenance vehicles. b. All streetlights and parking lot lighting is to be full cut off (Dark Sky) lighting and will be consistent with the lighting approved for Phase I.	C-106	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Trail through Easement	C-103	Melissa Winsett	Melissa Winsett	Yes
The powerline and gas line easements are within one or more phases of proposed plans. The PD agreement (see page 15) requires a passive park with 12-ft walkway to extent						

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		approved by easement holders is proposed through the existing powerline and gas line easements thru center of development as shown on the PD Development Plan. Please revise the plan to show the trail and provide an update on the status of obtaining permission from the easement holder and construction plans.				
		Inconsistent Area				
Planning	Draft	The site plan's area (as well as other sheets throughout the plan set) conflicts with the Overall Phasing Plan (Sheet C-107) and Overall Site Data and Open Space Calcs (Sheet L-100)(as well as other sheets) because it omits the area of the power and gas line easement within Phase II. Please correct the discrepancy. (The easement is included in Phase III.) The PD's conceptual plan doesn't clearly specify the phase of which the easement will be platted; however, Phase 1 Preliminary Plat Construction plans show the easement as part of Phase II. Since the easement is shown within all or most of the Phase III plans, please include the easement in Phase II. If this is not able to happen, explain when the easement section(s) will be platted and when the trail will be constructed through the planned passive park.	C-103	Melissa Winsett	Melissa Winsett	Yes
		Add General Information:				
Planning	Draft	Please provide general information about the project including the Future Land Use, Zoning (Planned Development), and Number of units in Phases 2 and 3. General information is not provided anywhere else in the plan set. Please remember that the plans are subject to public information requests. The public needs to be able to read them and understand.	C-103	Melissa Winsett	Melissa Winsett	Yes
		SJRWMD Permit				
Planning	Draft	Please provide an update on the status of the SJRWMD permit pertaining to Phases II and III.	C-100	Melissa Winsett	Melissa Winsett	Yes
		Lake Winnemissett Drive Speed Tables				
Planning	Draft	Please provide a status update on the installation of the 3 required speed tables on Lake Winnemissett Drive.	C-100	Melissa Winsett	Melissa Winsett	Yes
		Clarification Statements				
Planning	Draft	A. Add a statement identifying that the plan is for Phases II and III (total of 223 single family homes) with Cresswind Planned Development age-restricted community. B. Please explain whether both phases are planned to be concurrently constructed. The city does not want both phases cleared if the intent is to only submit a final plat for one of the two phases.	C-100	Melissa Winsett	Melissa Winsett	Yes
		Utilities Contact				
Planning	Draft		C-100	Melissa Winsett	Melissa Winsett	Yes

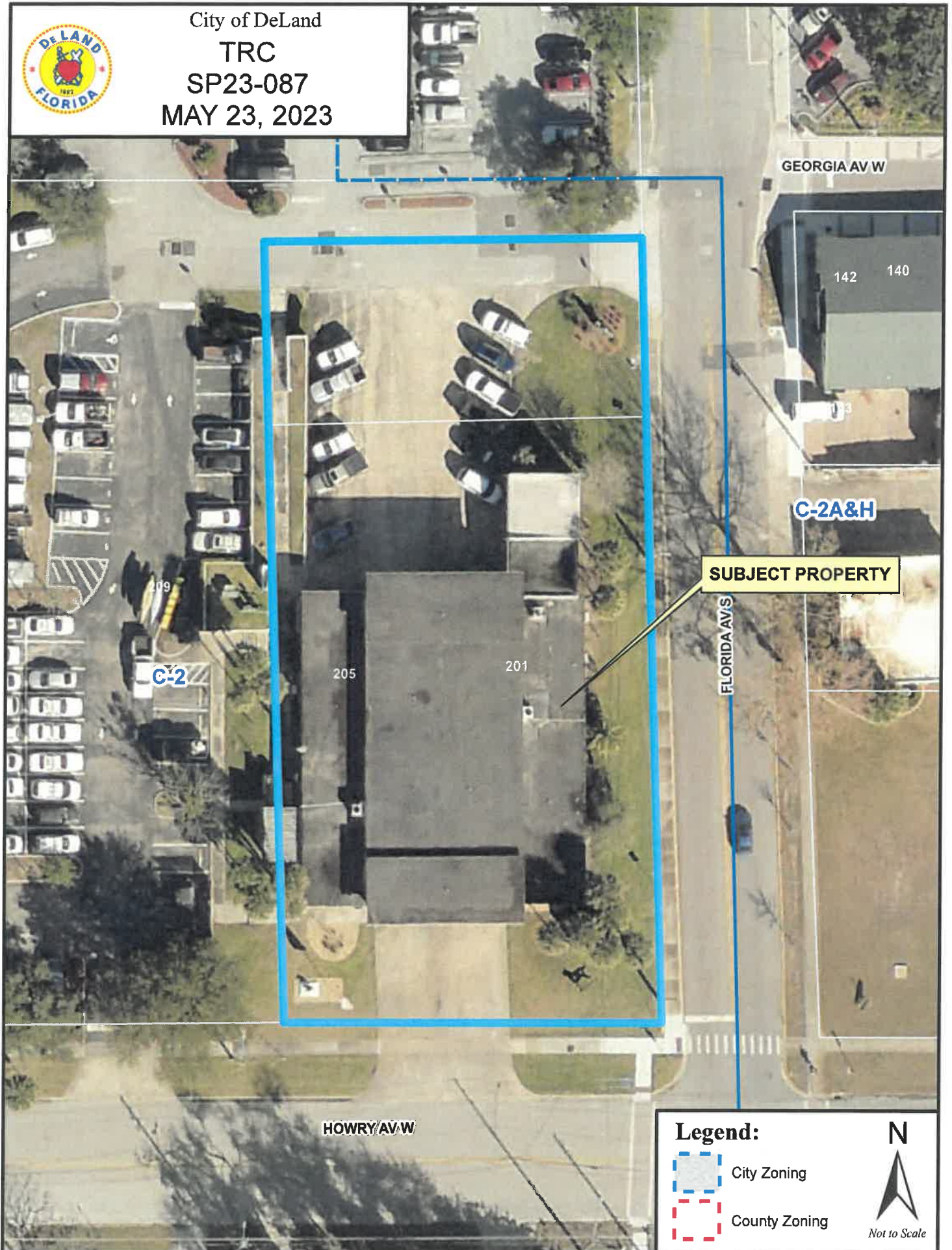
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Please add the City of DeLand Utility Director Jim Ailes's Contact Information.						
Landscape Architect Information						
Planning	Draft	Please add the Landscape Architect's information since the Landscape plans don't appear to have a cover page that has the respective information.	C-100	Melissa Winsett	Melissa Winsett	Yes
Revisions						
Planning	Draft	When submitting responses to comments, all revisions are to be clouded.	C-100	Melissa Winsett	Melissa Winsett	Yes
Sewer						
Utilities	Draft	Adjust the sewer service to the lot line.	C-402	Jim Ailes	Jim Ailes	Yes
Water and Sewer Construction note 34						
Utilities	Draft	City will not make any taps, taps will be done by the developer.	C-102	Scott Zender	Scott Zender	Yes
Utility Contacts						
Utilities	Draft	Missing Utility Contacts on cover page	C-100	Scott Zender	Scott Zender	Yes

NEW BUSINESS

10



City of DeLand
TRC
SP23-087
MAY 23, 2023



GEORGIA AV W

142 140

C-2A&H

SUBJECT PROPERTY

FLORIDA AV S

HOWRY AV W

Legend:

 City Zoning

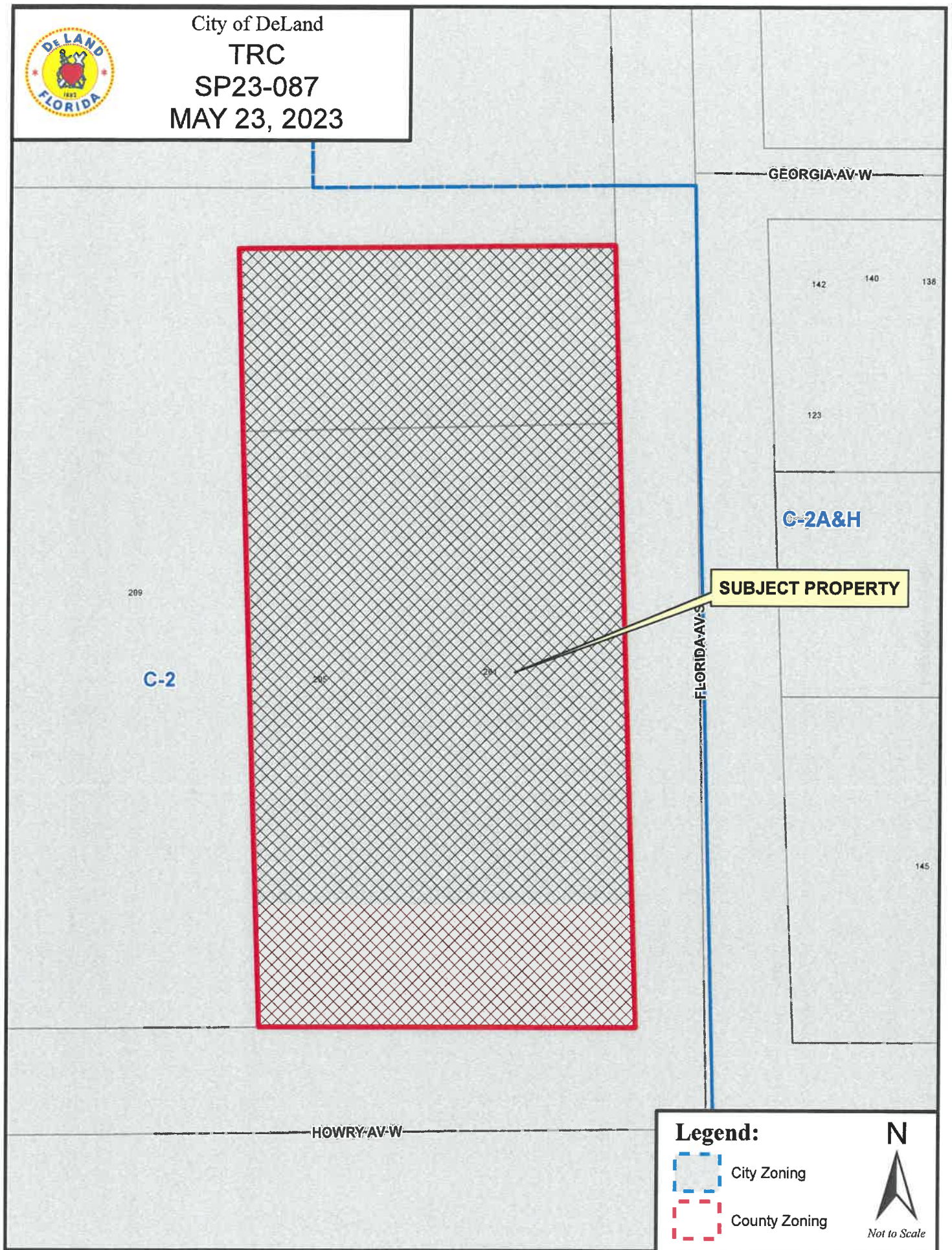
 County Zoning



Not to Scale



City of DeLand
TRC
SP23-087
MAY 23, 2023



Legend:

-  City Zoning
-  County Zoning



Issues for record SP23-087
Job Address: 201 W HOWRY AV, DELAND FL 32720
Job Description: Demo of old FD building and new parking lot

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Building	Draft	drawings 1. Provide electrical service details for parking lot lighting. 2. Provide lighting specifications for light poles.		Larry Hites	Larry Hites	Yes
Engineering	Draft	Drainage Report Drainage Report/Stormwater Calculations is missing.		Ray Bahrami	Ray Bahrami	Yes
Fire	Draft	Fire Hydrant Relocate hydrant closer to the roadway for access.	4	Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	Tree Barricade Detail The Tree Barricade Detail should be updated with the latest version.	9	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Location of Irrigation backflow Where will the backflow for the irrigation be located?	7	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Groundcover Recommend replacing mulched area along the sidewalks with groundcover. Recommend Asiatic Jasmine or Perennial Peanut.	6	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Planting Detail Add plant installation detail to this page.	6	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Earthwork Notes #1. The opinion of the City Forester should also be requested.	2	Kit Dennis	Kit Dennis	Yes
Planning	Draft	Lighting 33-94.03 (g) 2. Off-site areas shall be shielded from offensive or excessive illumination. Illumination from any light source onto adjacent properties or into the public right-of-way shall not exceed 0.5 foot-candles.	8	Belinda Collins	Belinda Collins	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Because this site is adjacent to residential uses, please verify that this requirement is met in relation to the adjacent properties.						
Planning	Draft	EV space Verify whether or not the EV space will be replaced.	12	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Eliminate bump out Verify the necessity of the back out space near the southeast corner of the lot given the length of the median and room for backing out within the aisle. The elimination of the bump-out could provide room for additional trees along the street.	6	Belinda Collins	Belinda Collins	Yes
Planning	Draft	TPA Indicate the amount of tree protection area provided on the site.	6	Belinda Collins	Belinda Collins	Yes
Utilities	Draft	Fire Hydrant Utilities would like it stay to the back side of the sidewalk for protection like we do with all new construction projects. Can discuss at TRC.	4	Jim Alles	Jim Alles	Yes
Utilities	Draft	Irrigation The city does not use a potable meter to feed an irrigation system only. How is this going to be irrigated? Does it already have a dedicated irrigation only meter?	7	Scott Zender	Jim Alles	Yes