



**CITY OF DELAND
HISTORIC PRESERVATION BOARD
MAY 4, 2023 AT 5:00 PM
CITY HALL, COMMISSION CHAMBERS
120 SOUTH FLORIDA AVENUE**

AGENDA

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

1. April 6, 2023 Meeting Minutes

OLD BUSINESS

NEW BUSINESS

1. Certificate of Appropriateness (Alteration) for Exterior Changes to an Accessory Structure at 812 North Woodland Blvd.
Application No.: COA23-080
Applicant: Central Florida Building and Inspections, LLC.
Owner: Fleishel Financial Assoc. Inc.

STAFF UPDATES

1. Small Matching Grant
2. Historic Preservation Month - May 2023
3. Upcoming Training - June 2023

OTHER BUSINESS

NEXT SCHEDULED MEETING DATE: June 1, 2023 at 5:00 P.M.

ADJOURNMENT



**MINUTES - CITY OF DELAND
HISTORIC PRESERVATION BOARD MEETING**
City Commission Chambers
120 South Florida Avenue
April 6, 2023- 5:00 P.M.

CALL TO ORDER

Having been duly noticed as required by law, the April 6, 2023 meeting of the City of DeLand Historic Preservation Board was called to order at 5:00 p.m. by Solomon Green, *Chairman*.

ROLL CALL WITH DETERMINATION OF QUORUM

Present: Charles Jordan, Renee Garrison, Scott Price & Reggie Santilli, Ross Janke, & Solomon Greene.

Absent: Dagny Robertson

City Staff: Belinda Williams-Collins, *Senior Planner*; Carol Kuhn, *Planning Director*, Darren Elkind, *City Attorney*; Emily Ragusa, *Community Development Coordinator*, Samuel Nelson, *Planner I*.

APPROVAL OF MINUTES

Renee Garrison motioned to approve the March 2, 2023 meeting minutes. Scott Price seconded the motion and all approved unanimously.

OLD BUSINESS

None

NEW BUSINESS

1. **Certificate of Appropriateness (Alteration) for a business sign at 109 East New York Ave. Application No.: COA22-179 Applicant/Owner: Joe Valente**

Emily Ragusa provided an overview of the application and stated that staff recommends approval of this Certificate of Appropriateness.

Ross Janke and Scott Price had further discussion regarding the sign's uniqueness and historical benefit to the downtown area.

Scott Price motioned for approval of the Certificate of Appropriateness. Charles Jordan seconded the motion. (6-6)

STAFF UPDATES

Emily Ragusa, Carol Kuhn, and Darren Elkind provided an overview of updates regarding grant opportunities, City Commission draft resolution, and the demolition of 136 North Florida Ave, which is outside of the Downtown Historic District.

OTHER DISCUSSION

Renee Garrison inquired about the Banner Rewards program, further discussion ensued amongst the board regarding the program's future and opportunities.

NEXT REGULARLY SCHEDULED MEETING

The next Historic Preservation Board will be May 4, 2023 at 5:00 p.m. in City of DeLand Commission Chambers.

ADJOURNMENT

As there was no further business, the meeting adjourned at 5:35 P.M.



DATE: May 4, 2023

TO: Historic Preservation Board

FROM: Emily Ragusa, *Community Development Coordinator*

RE: **Certificate of Appropriateness (Alteration) for Exterior changes to an Accessory Structure at 812 North Woodland Blvd.**
Application No.: COA23-080
Applicant: Central Florida Building and Inspections, LLC.
Owner: Fleishel Financial Assoc. Inc.

Property Information

Address: 812 North Woodland Blvd. **Current Use:** Commercial
Zoning District: P-1&H (*Professional Residential District & Historic*)

Original Structure Information (*Provided from Florida Master Site File Structure Form*)

Date of Construction:	1921-1925	Style:	Mediterranean Revival
Structural System:	Masonry – hollow Tile	Foundation Type:	Continuous/Poured Concrete
Siding:	Stucco	Stories:	2
Roof:	Pantile	Windows:	Double Hung Sash 6/1 and 4/1
Roof Type:	Flat-hip	Chimneys:	1/Brick/Center Ridge
Porch:	1/E/Portico/Hip roof, square columns/1 bay	Secondary Structure:	1/Two flat roof extensions

Description of Proposed Work:

The applicant is seeking approval for exterior renovations which includes the removal of the two-car garage door, new covered porch addition which includes a roof line extension, relocation of the pedestrian door, over the door awning, and installation of 4 new single-hung colonial style 6/1 windows with a Cedar décor trim. The previous exterior elevations based on Google Street view show similar features to the principle structure such as a white metal over-the-door awning, green tile roof, 6/1 colonial style windows with maroon trim, green pedestrian door with maroon trim and a 2-car garage door with maroon trim.

Historical Significance:

This property has been designated as a historic property and was placed on the Local Register of Historic Places effective August 15, 1994 (Ordinance 94-37). This property was developed between 1921 and 1925 with significant Mediterranean Revival Architectural styles.

The Historical Context of the uncertainty of the year built is described within the Florida Master Site File Form *"This building is located in the Athens Park subdivision cf DeLand, platted in 1922. It first appears on the Sanborn Fire Insurance Company map published cf the city in 1925, indicating that the building was constructed sometime between that year and the publication of the previous map in 1921."*

Background on Architectural Style Significance (Provided from Master Site File):

The Mediterranean Revival architectural style was a popular style during the 1920's in Florida. Some of the significant features for this style are stucco facades, double-hung sash windows, and ceramic tile roof surfacing. The features of this property such as ceramic barrel tile surfacing, stoop with hip roof, stucco exterior wall fabric, chimney, windows with bracketed pent-eave overhands and surfaced with barrel tile, and double-hung sash windows.

Staff Analysis

A building permit application was submitted for the interior renovation with a scope of work on the plans stating *"A. Renovate interior space including plumbing, electrical, and space planning (exceeds 50%). B. Exterior walls and perimeter to remain unchanged. C. Roof assembly to remain unchanged."* Due to the scope of work stating interior work only, the Historic review was done administratively. A building permit revision was submitted to add the porch addition, and during this review, it was found that the plans show the roof changing from tile to 'composite shingle'. This initiated staff to review further using Google Street view, which then showed the roof had already been changed to shingle. The Building Department then issued a stop work order on the property until the Historic Preservation Board reviews the application.

Guidance from DeLand Land Development Regulations

Land Development Regulations Sections 33-94.03 & 33-94.04 address the design guidelines criteria in the City and in the Historic Design and Downtown Support District.

Sec. 33-94.03. General design criteria. The following shall apply to all development projects within the City of DeLand:

(c) Historical styles. Architectural design needs to reflect, enhance, or favorably relate to the existing historic architectural character of the city.

1. New construction, remodeling or additions to buildings incorporating a historical style for the building's exterior shall utilize various materials, architectural elements and details consistent with that particular style of architecture.

Some of the architectural features that are considered significant at this property are hip roof with ceramic barrel tile surfacing, stucco exterior wall fabric and double hung sash windows. Ordinance 94-37 outlines the full list and details of significance. The proposed exterior renovation will carry some of the same features to match the principle structure such as color scheme and colonial style windows. The accessory structure having a composite shingle roof and the principle structure having pantile roof is one architectural significance that should remain in order to be consistent with the architectural style.

(j) Roof types, profiles, appearance. Variations in rooflines shall be used to add interest to and reduce the massing of buildings. Pitched or sloped roofs are the preferred method of covering a building. Roof features shall be in scale with the building's mass and compliment the character of adjoining and/or adjacent buildings and neighborhoods.

1. The design of visible roof structures shall be consistent with the architectural style of the building. Roof treatment shall be consistent for all facades of the building that are or can be exposed to the general public.

This property has variations in rooflines from the original construction and matching the principle structure. The original construction of the accessory structure provided masonry parapet cap, two pyramid caps and a pantile roofing material stepped down. The proposed renovation will keep the roofline variation, including a roofline and parapet extension over the new covered patio, excluding the pantile roof instead proposed composite shingles.

(i) Accessory uses and structures.

1. Accessory structures and uses shall be consistent in design character with the principle structure. Outdoor storage areas shall be located behind the front facade of the main building and shall be fully screened from view from both vehicular and pedestrian traffic from both side and front view vantage points by structural means, vegetative means, or a combination of earthen berms and vegetation. Where screening is accomplished by structural means, the structure shall be compatible in design and color with the main building. Outdoor garden supply, propane dispensers, ice dispensers and similar use areas utilized for retail sales shall be screened from view and integrated with the overall architectural design and structure of the building.

This accessory structure's proposed exterior renovation has some consistency with the design character as the principle structure. The accessory structure will have a matching color scheme, over-the-door white metal awning, stucco wall fabric, and colonial window styles, but lacks the same tile roof as the principle structure.

33-94.04 Design criteria for Historic Design and Downtown Support District.

(a) General architectural design.

4. Modifications and additions to existing structures shall be consistent with the style and character of the existing structure. Structures within the Downtown Support District shall result in a consistent and uniform treatment for the entire building.

The proposed modifications to this existing structure matching the principle structure will keep the Mediterranean Revival architectural style, provided the tile roof remain.

5. Structures in these districts shall be designed to extend and to enhance the attractiveness of the city's streetscape. Building design shall have characteristics and elements that relate favorably to the predominantly pedestrian scale of the district.

The accessory structure is visible from North Woodland Blvd., therefore having the accessory structure and principle structure retaining the same Mediterranean Revival architectural style will continue to extend and enhance the attractiveness of the City's streetscape. This block has very few Mediterranean Revival styles, making this structure important to the Historical character of the area.

6. The following historical architectural styles are the preferred styles: Classical Revival, Mediterranean revival, Colonial Revival, Craftsman Bungalow and Commercial Style, Chicago School.

b. Mediterranean Revival architecture mirrors the architectural influences of the Mediterranean coast including Italian, Byzantine and Moorish themes from southern Spain and the French style as displayed by buildings constructed in Miami, Florida from the 1920s through the 1930s...

Staff Recommendation:

The request is consistent with Section 33-94 Community Design Standards of the City's Land Development Regulations and recommends approval of this application with the following conditions:

- 1) The composite shingles are not acceptable and must be replaced with tile to match existing principle structure.
- 2) The color scheme and materials match the main structure.
- 3) The over-the-door awning to be white metal to match previous awning.

Historic Preservation Board shall take one of the following actions *(LDR Section 33-34.03 (c)(6))*

1. Grant the certificate of appropriateness with an immediate effective date;
2. Grant the certificate of appropriateness with special modifications and conditions;
3. Delay granting the certificate of appropriateness for a demolition for a period of not less than 30 days nor more than 60 days;
4. Deny the certificate of appropriateness.
5. If the Historic Preservation Board finds that the proposed work does not comply with the requirements of this Section 33-94.04, the Board shall set forth the reasons that the proposed work does not comply with such requirements. *(33-94.04. Design criteria for Historic Design and Downtown Support District.)*

Attachments:

Applicant's Request/Description of work

Vicinity Map

Ordinance 97-37 – Local Registry Designation

Historical Structure Form – Florida Master Site File (1989)

Google Street View – April 2021

Proposed Black/White Renderings



City of DeLand
Historic & Cultural Resources
120 S. Florida Ave.
DeLand, FL 32720
Planning@DeLand.org

APPLICANT'S FORMAL REQUEST VIA ACCELA PORTAL

DATE: May 4, 2023

RE: **Certificate of Appropriateness (Alteration) for Exterior changes to an
Accessory Structure at 812 North Woodland Blvd.
Application No.: COA23-080
Applicant:** Central Florida Building and Inspections, LLC.
Owner: Fleishel Financial Assoc. Inc.

Applicant's Description of work:

Building Renovation - Interior/Exterior Windows Exterior- White/ Colonial Grills on top lite only
Front Door-Oak Grain w/ Glass Insert / remaining exterior doors Oak Grain w/ mini blinds
Covered Porch- Wood to be painted to match existing building Exterior Siding to be painted
Sandstone to match main building Exterior Trim to be painted wine to match main building Metal
Awning to be painted Hunter Green to match main building



City of DeLand
Historic Preservation Board
COA23-080
MAY 4, 2023



Legend:

- City Zoning
- County Zoning



AN ORDINANCE OF THE CITY OF DELAND, FLORIDA, DESIGNATING THE PROPERTY LOCATED AT 812 NORTH WOODLAND BOULEVARD AS AN HISTORIC PROPERTY TO BE INCLUDED ON THE LOCAL REGISTER OF HISTORIC PLACES; REQUIRING REVIEW BY THE HISTORIC PRESERVATION BOARD PURSUANT TO SECTION 33-34 OF THE LAND DEVELOPMENT REGULATIONS OF THE CITY OF DELAND; PRESCRIBING ARCHITECTURAL FEATURES SIGNIFICANT TO THE PROPERTY; ADOPTING ARCHITECTURAL GUIDELINES FOR THE PROPERTY; SPECIFYING WORK ITEMS NOT REQUIRING A BUILDING PERMIT WHICH SHALL BE REVIEWED FOR APPROPRIATENESS; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the property located at 812 North Woodland Boulevard, having developed between 1921 and 1925, contains significant Mediterranean Revival architectural styles and influences; and

WHEREAS, this Ordinance seeks to protect and preserve elements that contribute to the architectural and historical significance of the property located at 812 North Woodland Boulevard, including but not limited to, distinguishing historic material, distinctive stylistic architectural features, examples of skilled craftsmanship, and significant historical, architectural, or cultural material; and

WHEREAS, the historic and architectural significance of the property located at 812 North Woodland Boulevard has been achieved over time, and is part of the history of DeLand which is worthy of protection; this Ordinance seeks to maintain and preserve what is unique to the property by preventing future growth and development that is incompatible with the existing building(s) on the property and assure that changes will be compatible with the historic character of the building(s) and environment of the property; and

WHEREAS, the historic and architectural significance of the property located at 812 North Woodland Boulevard has been established through a field survey, the documentation of building(s), preparation of a Florida Site File for building(s), and the listing of the property in the National Register of Historic Places in 1989; and

WHEREAS, the owners of the subject property have requested that the property be designated as an historic property and placed on the Local Register of Historic Places; and

WHEREAS, the Historic Preservation Board and the Planning Board have recommended the establishment of the property located at 812 North Woodland Boulevard as an historic property and the listing of same in the Local Register of Historic Places; and

WHEREAS, all prerequisites to the establishment of the property located at 812 North Woodland Boulevard as an historic property have been met;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF DELAND, FLORIDA:

Section 1. Pursuant to Section 33-34 of the City of DeLand Land Development Regulations, the property located at 812 North Woodland Boulevard and described in the legal description and map which are attached hereto and incorporated herein by reference as Exhibits A and B, respectively, is hereby designated as an historic property and shall be listed in the Local Register of Historic Places.

Section 2. Pursuant to Section 33-34 of the City of DeLand Land Development Regulations, the Historic Preservation Board shall consider all applications or proposals to add to, demolish or in any way alter the exterior historic fabric of the property located at 812 North Woodland Boulevard.

Section 3. In addition to the general requirements contained in Section 33-34 of the City of DeLand Land Development Regulations, when considering applications or proposals to alter or modify sites, buildings or structures for the property located at 812 North Woodland Boulevard, the Historic Preservation Board shall seek to preserve those architectural features which contribute to the historic ambiance of the property. The architectural features considered to be significant to the property located at 812 North Woodland Boulevard are those of the Mediterranean Revival style of architecture, including but not limited to:

- Central block with symmetrical wing plan;
- Hip roof with ceramic barrel tile surfacing;
- Stoop with hip roof;
- Square columns;
- Stucco exterior wall fabric;
- Brick chimney;
- Windows with bracketed pent-eave overhangs;
- Window overhangs surfaced with barrel tiles; and/or
- Double hung sash windows.

Section 4. The following work items not requiring a building permit shall be reviewed pursuant to Section 33-34.03 of the City of DeLand Land Development Regulations for appropriateness:

- Exterior painting;
- Replacement of existing windows or exterior doors;
- Installation of siding;
- Alteration of existing exterior signage affecting an area of more than ten (10) square feet;

Alteration or replacement of canopies or awnings;
and/or
Any other work which would result in a material
change or alteration in the exterior appearance
of existing buildings, objects or structures.

Section 5. The Local Register of Historic Places shall contain a map of the property located at 812 North Woodland Boulevard and the tax identification number and Florida Site File.

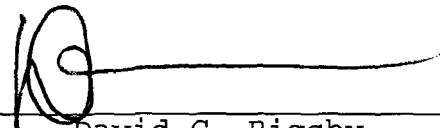
Section 6. Any amendments to this Ordinance and the standards set forth herein shall be reviewed by the Historic Preservation Board and approved by ordinance of the City Commission.

Section 7. If any section, sentence, clause or phrase of this Ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, that holding shall in no way affect the validity of the remaining portions of this Ordinance.

Section 8. All ordinances, or parts of ordinances, in conflict herewith are, to the extent of such conflict, hereby repealed.

Section 9. This Ordinance shall become effective immediately upon its adoption.

PASSED AND DULY ADOPTED this 15th day of August, 1994.



David C. Rigsby
Mayor - Commissioner

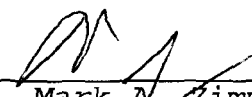
ATTEST:



Viola H. Ballentine
City Clerk - Auditor

Passed on first reading: August 1, 1994
Adopted on second reading: August 15, 1994

APPROVED AS TO FORM AND LEGALITY:



Mark A. Zimmerman
City Attorney



RECORD NUMBER: 186

Page 1

HISTORICAL STRUCTURE FORM

Site 8

X original
update

FLORIDA MASTER SITE FILE

SITE NAME:

HISTORIC CONTEXTS: Boomtimes

NAT. REGISTER CATEGORY: Building

OTHER NAMES OR MSF NOS:

COUNTY: Volusia OWNERSHIP TYPE: Private - Individual

PROJECT NAME: Survey of Stetson Univ and Vicinity: S+P DHR NO.

LOCATION:

ADDRESS: 812 North Woodland Boulevard

CITY: DeLand

VICINITY OF/ROUTE TO: See attached maps

SUB: Athens Park

BLOCK

LOT 24

PLAT OR OTHER MAP: Property Appraiser Map of DeLand

TOWNSHIP: 17 S RANGE: 30 E SECTION: 9 1/4: 1/4-1/4:

IRREGULAR SEC? y X n LAND GRANT: John Beresford Grant

USGS 7.5 MAP: DeLand, Florida 1964 PR 1980

UTM: ZONE: EASTING: NORTHING:

COORDINATES: LATITUDE: D M S LONGITUDE: D M S

HISTORY

ARCHITECT:

BUILDER:

CONSTRUCTION DATE: c 1925 RESTORATION DATE(S):

MODIFICATION DATE(S):

MOVE: DATE: ORIG. LOCATION:

ORIGINAL USE (S): Residence - private

PRESENT USE (S): Residence - private

DESCRIPTION

STYLE: Mediterranean Revival

PLAN: EXTERIOR: Rectangular

PLAN: INTERIOR: Unknown

NO. STORIES: 2 OUTBLDGS: 1 PORCHES: 1 DORMERS: 0

STRUCTURAL SYSTEM(S): Masonry - hollow tile

EXTERIOR FABRIC(S): Stucco

FOUNDATION: TYPE: Continuous

MATERIALS: Poured concrete

INFILL:

PORCHES: E/portico/hip roof, square columns/1 bay

ROOF: TYPE: Flat-hip

SURFACING: Pantile

SECONDARY STRUCS: Two flat roof extensions

CHIMNEY: NO.: 1

MATERIALS: Brick

LOCATIONS: Center ridge

WINDOWS: Double-hung sash 6/1, 4/1

EXTERIOR ORNAMENT:

CONDITION: Good

SURROUNDINGS: Residential

NARRATIVE:

See continuation sheet

RECORD NO: 186

Page 2

FMSF HISTORICAL STRUCTURE FORM

Site 8 _____

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? y X n

ARTIFACTS OR OTHER REMAINS: None observed

RECORDER'S EVALUATION OF SITE

AREAS OF SIGNIFICANCE: Architecture

ELIGIBLE FOR NAT. REGISTER?	y	X	n	likely, need info	insf	info
SIGNIF. AS PART OF DISTRICT?	y	X	n	likely, need info	insf	info
SIGNIFICANT AT LOCAL LEVEL?	y		n	likely, need info	X	insf info

SUMMARY OF SIGNIFICANCE

See continuation sheet

* * * DHR USE ONLY * * * * * DHR USE ONLY * * * * *

* DATE LISTED ON NR _____ *

* KEEPER DETERMINATION OF ELIG. (DATE): _YES _____ _NO _____ *

* SHPO EVALUATION OF ELIGIBILITY (DATE): _YES _____ _NO _____ *

* LOCAL DETERMINATION OF ELIG. (DATE): _YES _____ _NO _____ *

* OFFICE _____ *

* * * DHR USE ONLY * * * * * DHR USE ONLY * * * * *

RECORDER INFORMATION: NAME: Stephen Olausen

DATE: 10/01/89 AFFILIATION: Historic Property Associates, Inc

PHOTOGRAPHS

LOCATION OF NEGATIVES: HPA, PO Box 1002, St Augustine, FL 32085

NEGATIVE NUMBERS: Roll 6 Fr 13

PHOTOGRAPH

M A P

See Attachments

RN 186

CONTINUATION SHEET

Statement of Significance

Architecture:

This two-story Mediterranean Revival residential building is located at 812 North Woodland Boulevard. Its Mediterranean Revival styling is expressed by a central block with symmetrical wing plan, hip roof with ceramic barrel tile surfacing, stoop with hip roof, stucco exterior wall fabric, chimney, windows with bracketed pent-eave overhangs and surfaced with barrel tile, and double-hung sash windows. The building retains much of its original integrity.

Mediterranean Revival is an eclectic style containing architectural elements with Spanish or Mid-eastern precedents. Found in those states that have a Spanish colonial heritage, Mediterranean Revival broadly defines the Mission, Moorish, Turkish, Byzantine, and Spanish Eclectic revival styles which became popular in the Southwest and Florida. The influence of those Mediterranean styles found expression through a detailed study in 1915 of Latin American architecture made by Bertram Grovesnor Goodhue at the Panama-California Exposition in San Diego. The Goodhue exhibit prominently featured the rich Spanish architectural variety of South America. Encouraged by the publicity afforded the exposition, other architects began to look directly to Spain and elsewhere in the Mediterranean where they found still more interesting building traditions.

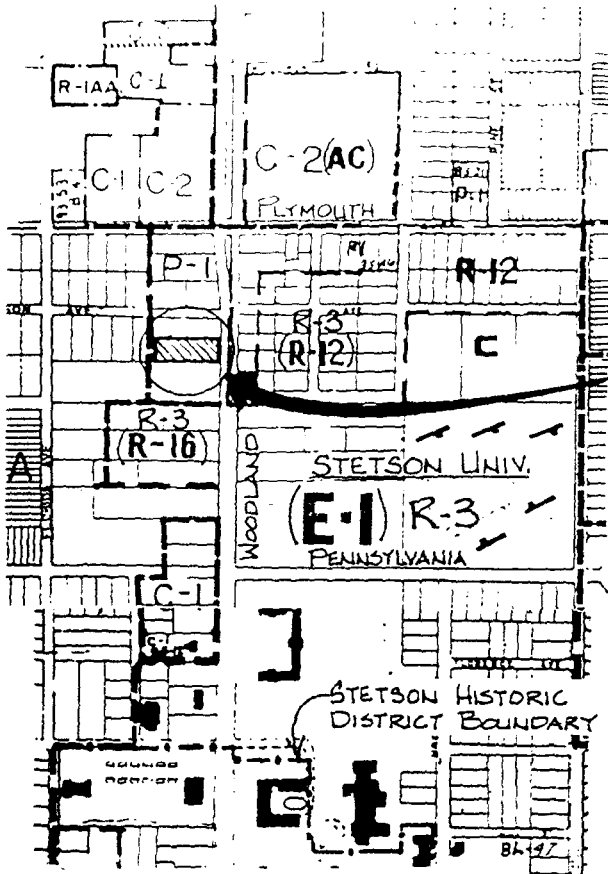
Mediterranean Revival buildings in Florida display considerable Spanish influence. A popular building style in Florida during the 1920s, construction continued following the collapse of the land boom and even into the 1930s. It was adapted for a variety of building types ranging from grandiose tourist hotels to two-room residences. The popularity of the style became widespread, and many commercial and residential buildings underwent renovation in the 1920s to reflect the Mediterranean influence. Identifying features of the style include flat (sometimes hip) roofs, usually with some form of parapet; ceramic tile roof surfacing; stuccoed facades; flat roof entrance porches, commonly with arched openings supported by square columns; casement and double-hung sash windows; and ceramic tile decorations.

Historical Context:

This building is located in the Athens Park subdivision of DeLand, platted in 1922. It first appears on the Sanborn Fire Insurance Company map published of the city in 1925, indicating that the building was constructed sometime between that year and the publication of the previous map in 1921.

DeLand, Florida, was founded in 1876, and was incorporated in 1882. The home of Stetson University, DeLand became the seat of Volusia County in 1888. In 1890, the population of DeLand totaled 1,113, increasing to 2,812 by 1910. Stetson University was founded in 1883, and during the following three decades several important university buildings were constructed. Residential development in surrounding neighborhoods kept apace with the expansion of the university. A number of small subdivisions were platted in the immediate vicinity of the campus during the first two decades of the twentieth century. Between 1910 and 1920, DeLand's population increased from 2,812 to 3,324. During the Florida land boom of the 1920s, real estate sales played an important role in the local economy. The population of DeLand nearly doubled, creating a need for new residential construction. In the area immediately surrounding Stetson University a total of twenty-three subdivisions were recorded during the first half of the 1920s. The collapse of the land boom in 1926 brought development to a virtual halt. Together with the rest of the state, DeLand entered a period of economic decline. Due to increased enrollments, however, the university continued to grow. By 1940, the population of DeLand reached 7,041. Following World War II, DeLand began to recover, with Stetson University again playing an important role in the economic development of the community.

Ordinance No. 94-37
Exhibit B



812 N. WOODLAND BLVD.



HISTORIC PRESERVATION BOARD

CITY OF DELAND

P.O. DRAWER 449 DELAND FL 32721-0449

FILE HL-94-02

DATE JULY 7, 1994

DRAWN SMF



038451

RECORD NUMBER: 186

Page 1

X original
update

**HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE**

Site # 10 3323

SITE NAME:

HISTORIC CONTEXTS: Boomtimes

NAT. REGISTER CATEGORY: Building

OTHER NAMES OR MSF NOS:

COUNTY: Volusia **OWNERSHIP TYPE:** Private - Individual

PROJECT NAME: Survey of Stetson Univ and Vicinity: S+P **DHR NO.** 2232

LOCATION:

ADDRESS: 812 North Woodland Boulevard

CITY: DeLand

VICINITY OF/ROUTE TO: See attached maps

MULTILIST 8 10 4369

SUB: Athens Park

BLOCK

LOT 24

PLAT OR OTHER MAP: Property Appraiser Map of DeLand

TOWNSHIP: 17 S **RANGE:** 30 E **SECTION:** 9 1/4: 1/4-1/4:

IRREGULAR SEC? y X n **LAND GRANT:** John Beresford Grant

USGS 7.5 MAP: DeLand, Florida 1964 PR 1980

UTM: ZONE: **EASTING:** **NORTHING:**

COORDINATES: **LATITUDE:** D M S **LONGITUDE:** D M S

HISTORY

ARCHITECT:

BUILDER:

CONSTRUCTION DATE: c 1925 **RESTORATION DATE(S):**

MODIFICATION DATE(S):

MOVE: DATE: **ORIG. LOCATION:**

ORIGINAL USE (S): Residence - private

PRESENT USE (S): Residence - private

DESCRIPTION

STYLE: Mediterranean Revival

PLAN: EXTERIOR: Rectangular

PLAN: INTERIOR: Unknown

NO. STORIES: 2 **OUTBLDGS:** 1 **PORCHES:** 1 **DORMERS:** 0

STRUCTURAL SYSTEM(S): Masonry - hollow tile

EXTERIOR FABRIC(S): Stucco

FOUNDATION: TYPE: Continuous

MATERIALS: Poured concrete

INFILL:

PORCHES: E/portico/hip roof, square columns/1 bay

ROOF: TYPE: Flat-hip

SURFACING: Pantile

SECONDARY STRUCS: Two flat roof extensions

CHIMNEY: NO.: 1

MATERIALS: Brick

LOCATIONS: Center ridge

WINDOWS: Double-hung sash 6/1, 4/1

EXTERIOR ORNAMENT:

CONDITION: Good

SURROUNDINGS: Residential

NARRATIVE:

See continuation sheet

SEE SITE FILE FOR
ORIGINAL PHOTO(S) AND MAP(S)

RECORD NO: 186

Page 2

FMSF HISTORICAL STRUCTURE FORM

site 8 V63323

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? y X n

ARTIFACTS OR OTHER REMAINS: None observed

RECORDER'S EVALUATION OF SITE

AREAS OF SIGNIFICANCE: Architecture

ELIGIBLE FOR NAT. REGISTER?	y	X	n	likely, need info	insf	info
SIGNIF. AS PART OF DISTRICT?	y	X	n	likely, need info	insf	info
SIGNIFICANT AT LOCAL LEVEL?	y		n	likely, need info	X	insf info

SUMMARY OF SIGNIFICANCE

See continuation sheet

* * * * DHR USE ONLY	* * * * * DHR USE ONLY	* * * * *
* DATE LISTED ON NR _____		*
* KEEPER DETERMINATION OF ELIG. (DATE):	YES _____ NO _____	*
* SHPO EVALUATION OF ELIGIBILITY (DATE):	YES _____ NO _____	*
* LOCAL DETERMINATION OF ELIG. (DATE):	YES _____ NO _____	*
* OFFICE _____		*
* * * * DHR USE ONLY	* * * * * DHR USE ONLY	* * * * *

RECORDER INFORMATION: NAME: Stephen Olausen

DATE: 10/01/89 AFFILIATION: Historic Property Associates, Inc

PHOTOGRAPHS

LOCATION OF NEGATIVES: HPA, PO Box 1002, St Augustine, FL 32085

NEGATIVE NUMBERS: Roll 6 Fr 13

PHOTOGRAPH

M A P

See Attachments

RN 186

CONTINUATION SHEET

Statement of Significance**Architecture:**

This two-story Mediterranean Revival residential building is located at 812 North Woodland Boulevard. Its Mediterranean Revival styling is expressed by a central block with symmetrical wing plan, hip roof with ceramic barrel tile surfacing, stoop with hip roof, stucco exterior wall fabric, chimney, windows with bracketed pent-eave overhangs and surfaced with barrel tile, and double-hung sash windows. The building retains much of its original integrity.

Mediterranean Revival is an eclectic style containing architectural elements with Spanish or Mid-eastern precedents. Found in those states that have a Spanish colonial heritage, Mediterranean Revival broadly defines the Mission, Moorish, Turkish, Byzantine, and Spanish Eclectic revival styles which became popular in the Southwest and Florida. The influence of those Mediterranean styles found expression through a detailed study in 1915 of Latin American architecture made by Bertram Grovesnor Goodhue at the Panama-California Exposition in San Diego. The Goodhue exhibit prominently featured the rich Spanish architectural variety of South America. Encouraged by the publicity afforded the exposition, other architects began to look directly to Spain and elsewhere in the Mediterranean where they found still more interesting building traditions.

Mediterranean Revival buildings in Florida display considerable Spanish influence. A popular building style in Florida during the 1920s, construction continued following the collapse of the land boom and even into the 1930s. It was adapted for a variety of building types ranging from grandiose tourist hotels to two-room residences. The popularity of the style became widespread, and many commercial and residential buildings underwent renovation in the 1920s to reflect the Mediterranean influence. Identifying features of the style include flat (sometimes hip) roofs, usually with some form of parapet; ceramic tile roof surfacing; stuccoed facades; flat roof entrance porches, commonly with arched openings supported by square columns; casement and double-hung sash windows; and ceramic tile decorations.

Historical Context:

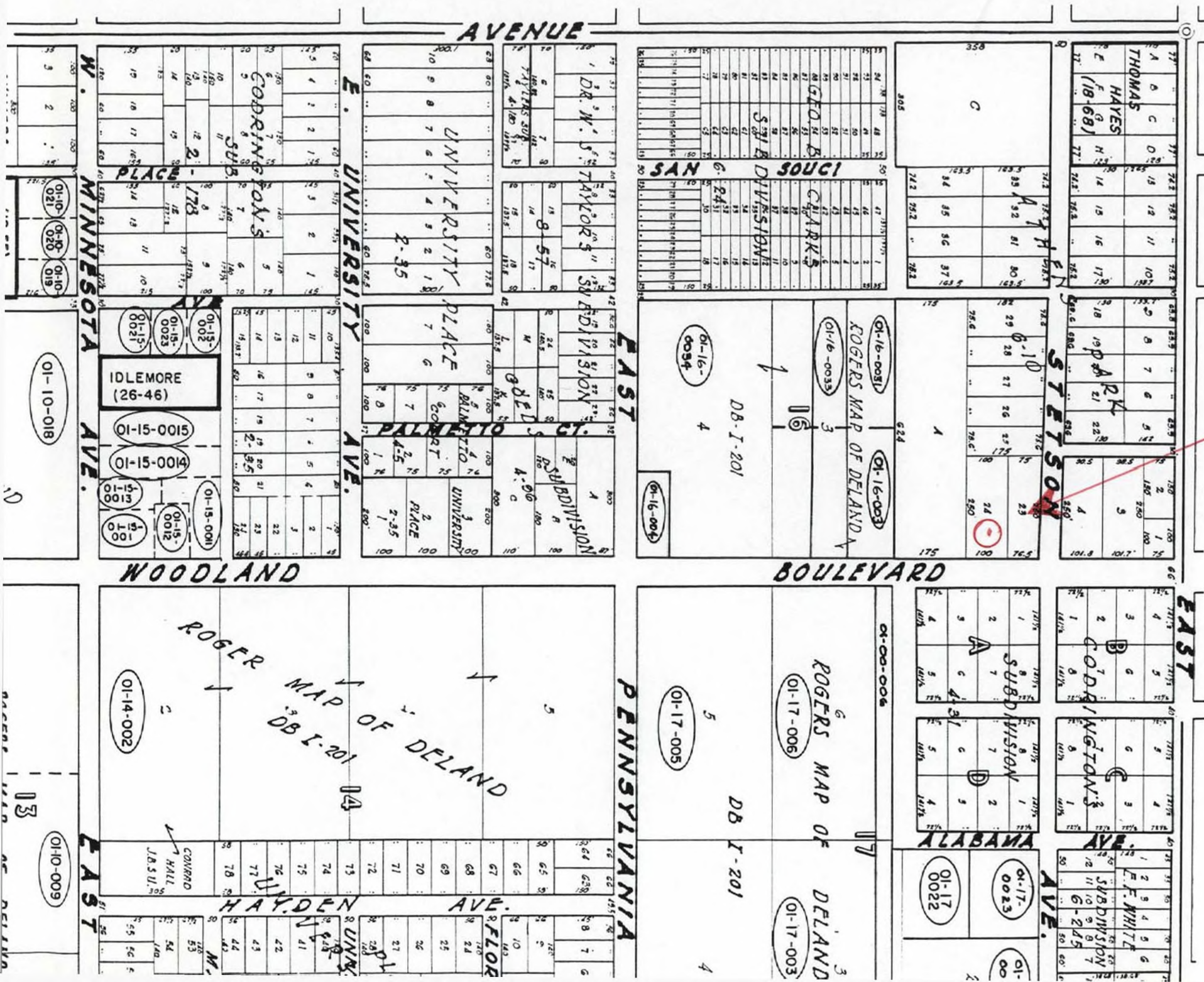
This building is located in the Athens Park subdivision of DeLand, platted in 1922. It first appears on the Sanborn Fire Insurance Company map published of the city in 1925, indicating that the building was constructed sometime between that year and the publication of the previous map in 1921.

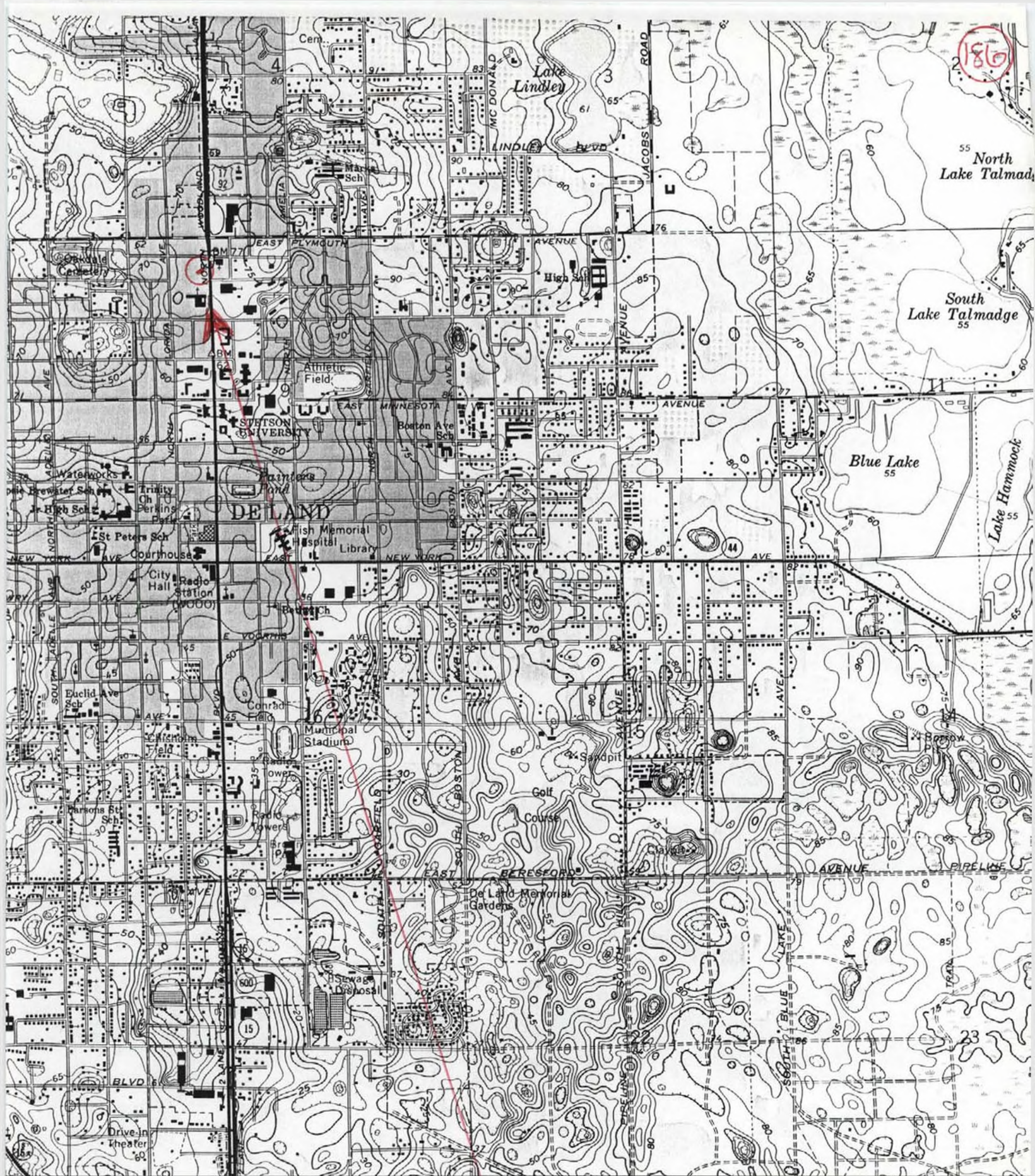
DeLand, Florida, was founded in 1876, and was incorporated in 1882. The home of Stetson University, DeLand became the seat of Volusia County in 1888. In 1890, the population of DeLand totaled 1,113, increasing to 2,812 by 1910. Stetson University was founded in 1883, and during the following three decades several important university buildings were constructed. Residential development in surrounding neighborhoods kept apace with the expansion of the university. A number of small subdivisions were platted in the immediate vicinity of the campus during the first two decades of the twentieth century. Between 1910 and 1920, DeLand's population increased from 2,812 to 3,324. During the Florida land boom of the 1920s, real estate sales played an important role in the local economy. The population of DeLand nearly doubled, creating a need for new residential construction. In the area immediately surrounding Stetson University a total of twenty-three subdivisions were recorded during the first half of the 1920s. The collapse of the land boom in 1926 brought development to a virtual halt. Together with the rest of the state, DeLand entered a period of economic decline. Due to increased enrollments, however, the university continued to grow. By 1940, the population of DeLand reached 7,041. Following World War II, DeLand began to recover, with Stetson University again playing an important role in the economic development of the community.

810 N. WOODLAND RVD.

103323

186







April 2021



April 2021



WIND ZONE DESIGN LOADS:

DESIGN STATEMENT: THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, 7th EDITION (2020). THE DESIGN CRITERIA ARE AS FOLLOWS:

ULTIMATE DESIGN WIND SPEED: 139mph
 NOMINAL DESIGN WIND SPEED: 108mph
 WIND IMPORTANCE FACTOR: 1
 BUILDING CATEGORY: II
 WIND EXPOSURE: B
 INTERNAL PRESSURE COEFFICIENT: 0.18

DESIGN VARIABLES FOR WIND LOADS:

ROOF PITCH:	1:12 PITCH
MEAN ROOF HEIGHT:	10.0' ABV. GRADE
MAIN BUILDING HEIGHT(h):	12.0' ABV. GRADE
MAIN BUILDING WIDTH(W)/DEPTH(D):	35.0' X 28.0'
EDGE DISTANCE (e ₁):	6.4'
($g = 10\% \times L$ or W ; 40% $\times$ H; 3' MIN.)	

DESIGN PRESSURES FOR COMPONENTS & CLADDING (psf):

ROOF:	ZONE 1:	16.0' / -27.5
	ZONE 2:	16.0' / -36.2
	ZONE 3:	16.0' / -49.3
		(INCLUDES OVER HANG, FASCIA AND SOFFIT)
WALL:	ZONE 4:	17.3' / -18.7
	ZONE 5:	17.3' / -23.0

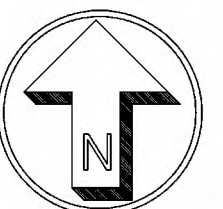
NOTE: DESIGN PRESSURES FOR COMPONENTS AND CLADDING ARE DESIGNED FOR 10 MPH OR LESS AND APPLY TO ALL COMPONENTS AND CLADDING UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.

PORTABLE FIRE EXTINGUISHER SCHEDULE				MAX TRAVEL DIST TO CLOSEST LIQUID (TAB 56.3(2))
PROTECTED AREA - XXX				
	LABEL	PROTECTED AREA MAX	HAZARD TYPE	OCCUPANT USE
FE-1	2A-10B:C	6,000	LIGHT	50'
TOTAL AREA PROTECTED				
MAX TRAVEL DISTANCE: 75'				FBC, SEC 90B3 NFA 101: 9.3 NFA 10



	USE OF OCCUPANCY CAPACITY AREA SQUARE FEET PER PERSON N=NET G=GROSS		EXIT SIGN (ILLUMINATED ON ONE SIDE)
			EXIT SIGN (ILLUMINATED ON TWO SIDES)
			EXIT SIGN (ARROW IN PATH OF EGRESS)
	EXIT ACCESS		EMERGENCY LIGHT (WITH BATTERY)
	EXIT DISCHARGE		EXIT SIGN W/ EMERGENCY LIGHT
	FE-# FIRE EXTINGUISHER		EXIT SIGN W/ EMERGENCY LIGHT (ARROW IN PATH OF EGRESS)
	FE-# FIRE EXTINGUISHER IN CABINET		

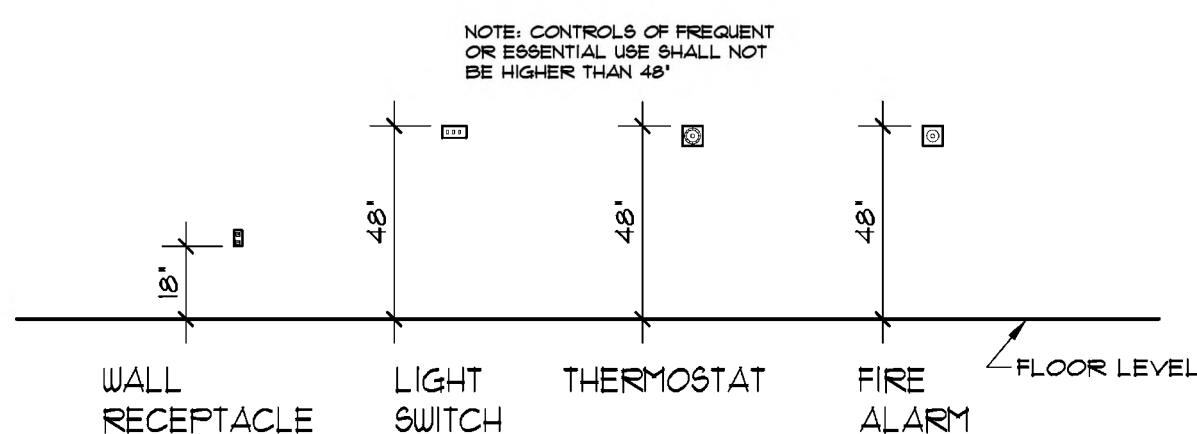
OWNER/CONTRACTOR TO INSTALL
A DECAL/SIGN PER FLORIDA
STATUTE, SECTION 633.027, (2017)
WITH REGARDS TO THE PRESENCE
OF LIGHT FRAME ROOF TRUSSES &
FLOOR JOIST



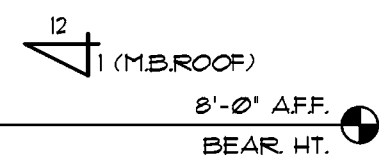
SCALE: N/A

INDEX	
A-1	COVER PAGE / LIFE SAFETY PLAN
A-2	FLOOR / DEMOLITION PLAN
A-3	ELEVATIONS
A-4	FOUNDATION PLAN
E-1	ELECTRICAL PLAN
M-1	MECHANICAL PLAN
M-2	MECHANICAL NOTES
P-1	PLUMBING PLAN
S-1	DETAILS

SHEET NO.:



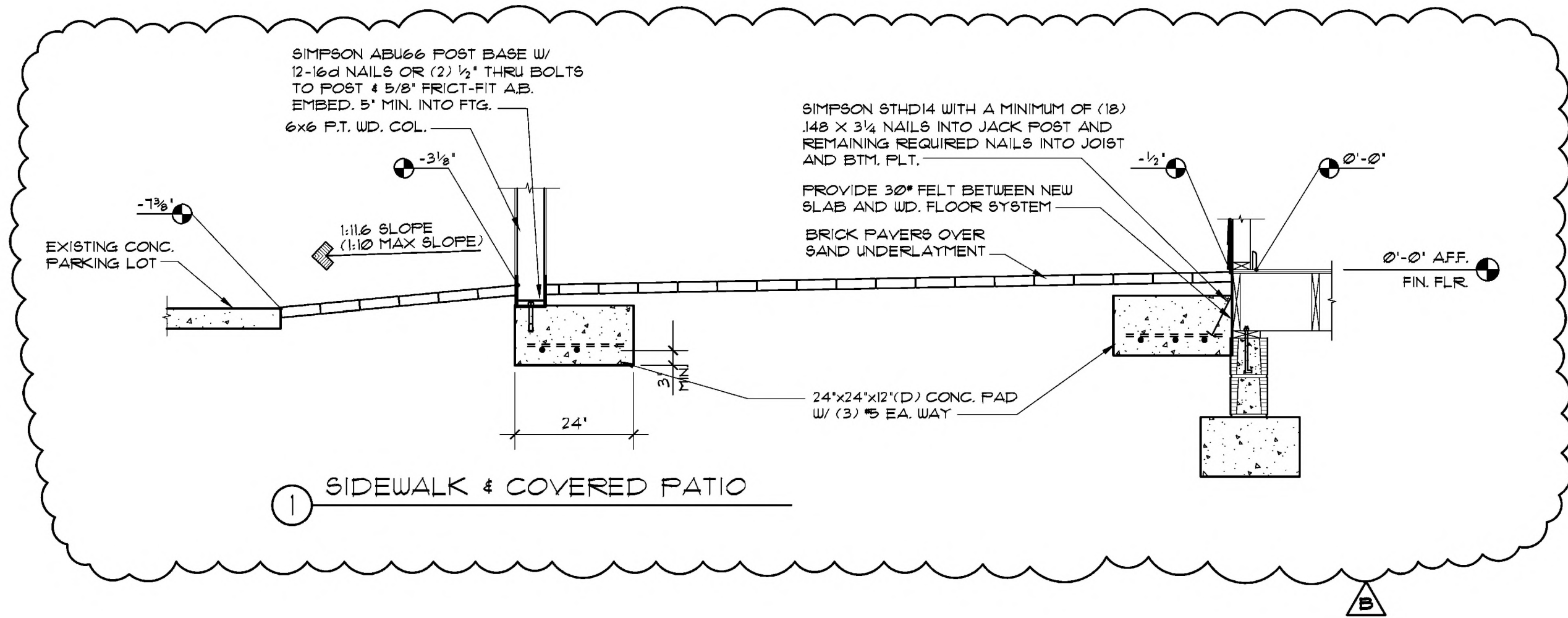
SCALE: 1/4" = 1'-0"



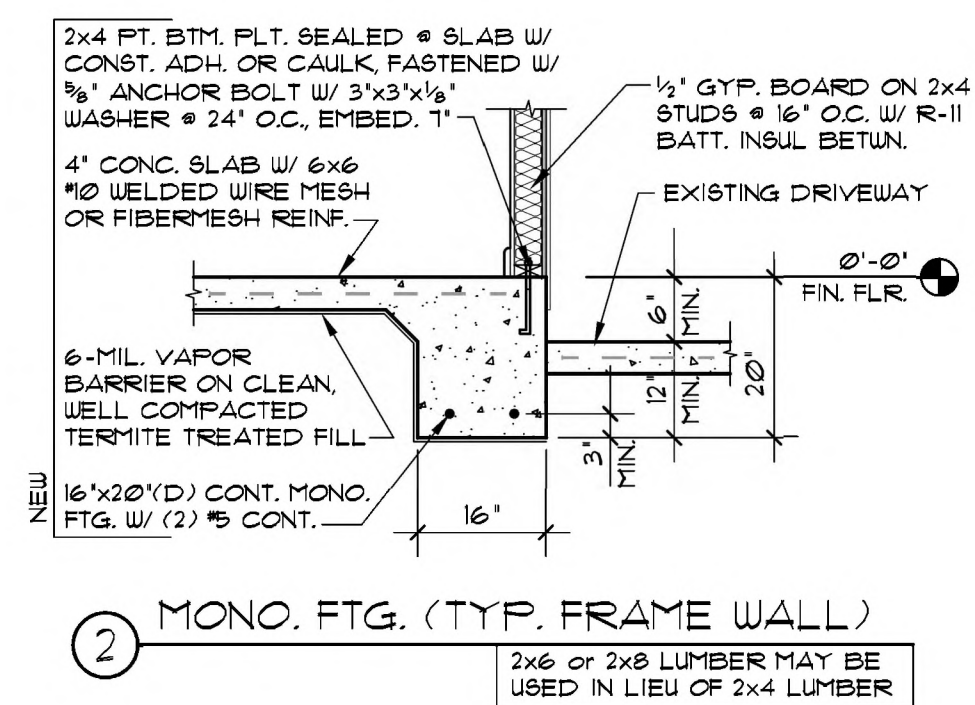
SCALE: $\frac{1}{4}" = 1'-0"$



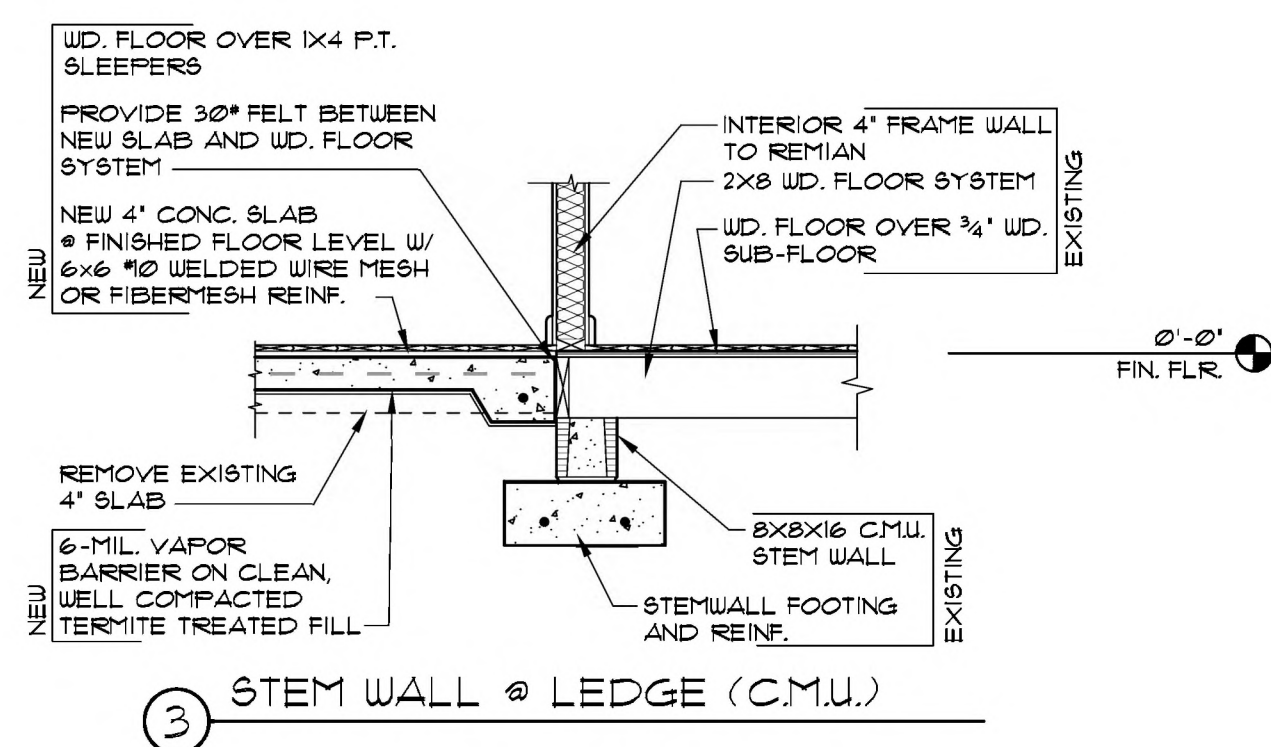
SCALE: $\frac{1}{4}" = 1'-0"$



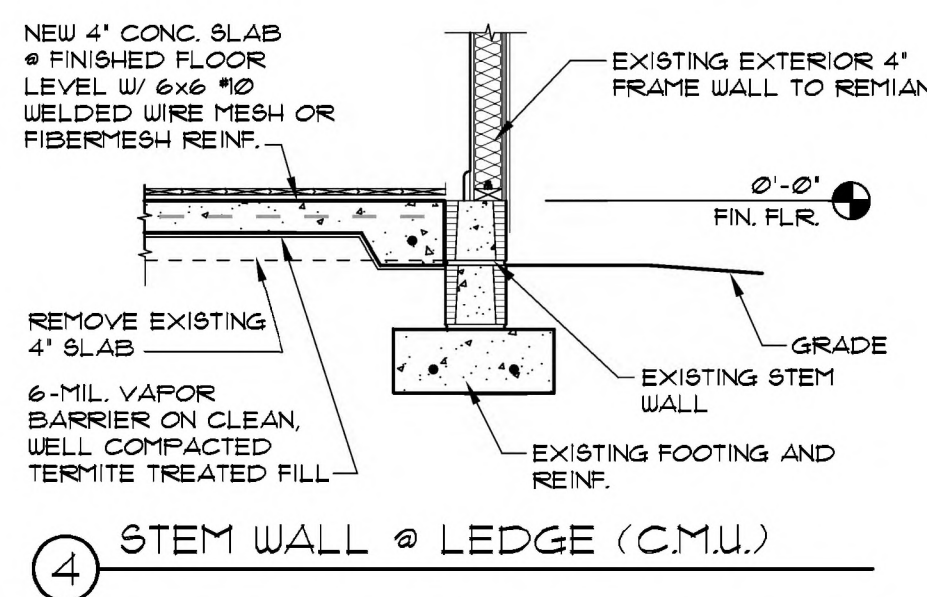
1 SIDEWALK & COVERED PATIO



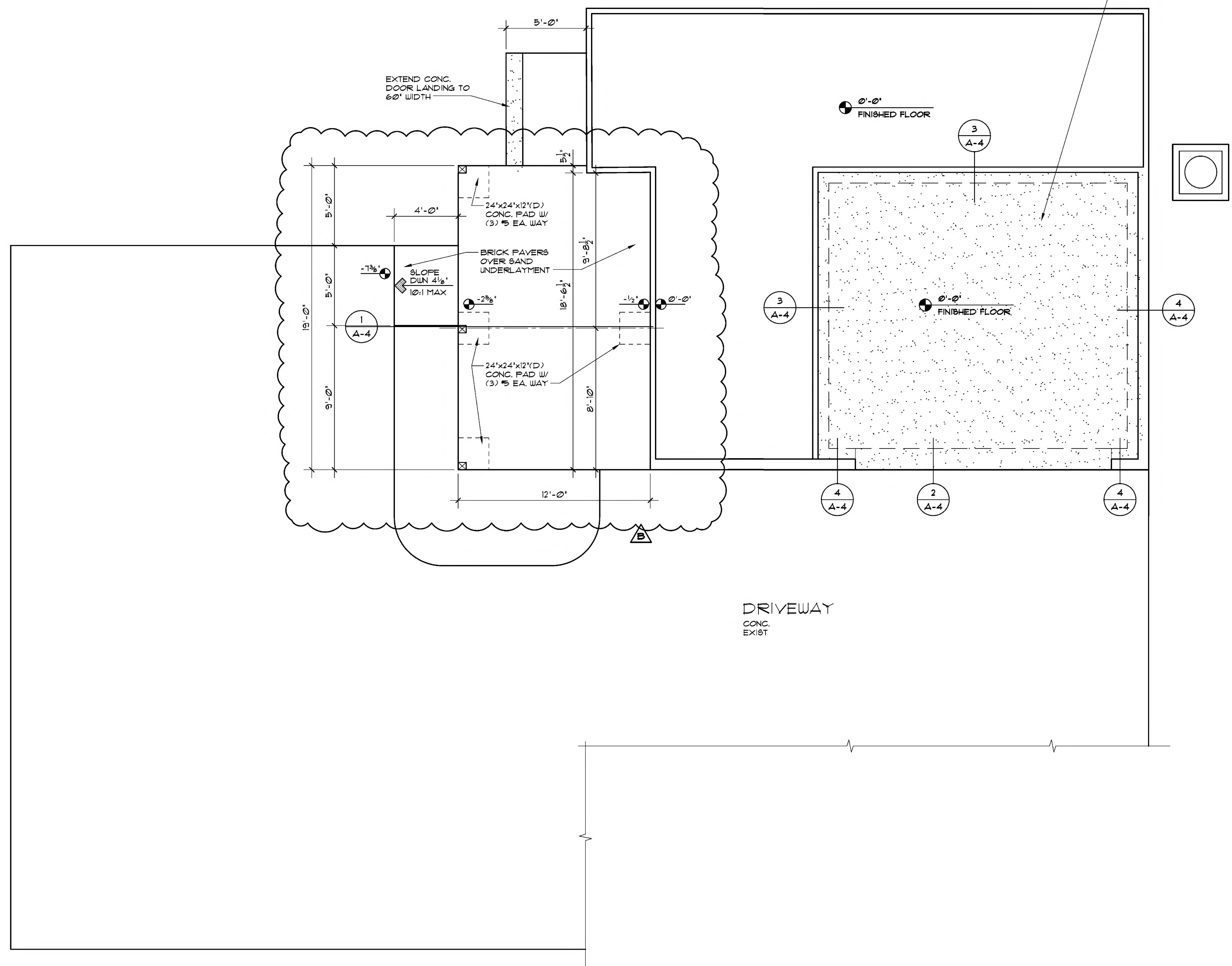
2 MONO. FTG. (TYP. FRAME WALL)



3 STEM WALL @ LEDGE (C.M.U.)



4 STEM WALL @ LEDGE (C.M.U.)



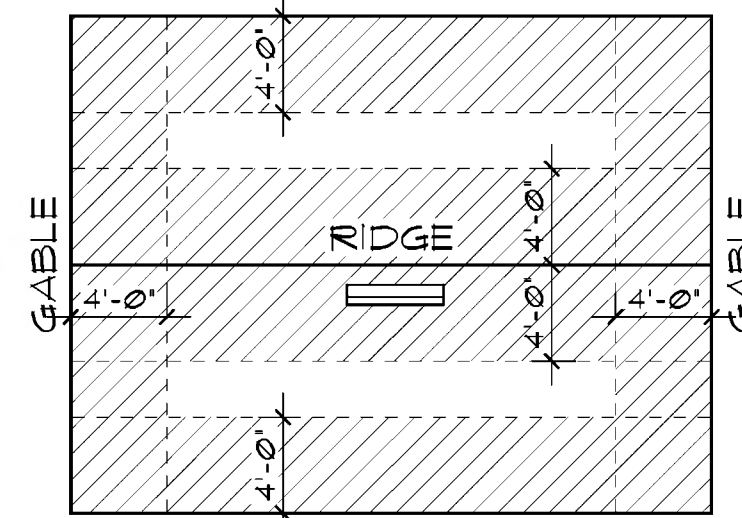
FLOOR SLAB OF PLANT MIX CONCRETE 2500 P.S.I. 4\"/>

FOUNDATION DETAILS

SCALE: 1/2" = 1'-0"

FOUNDATION PLAN

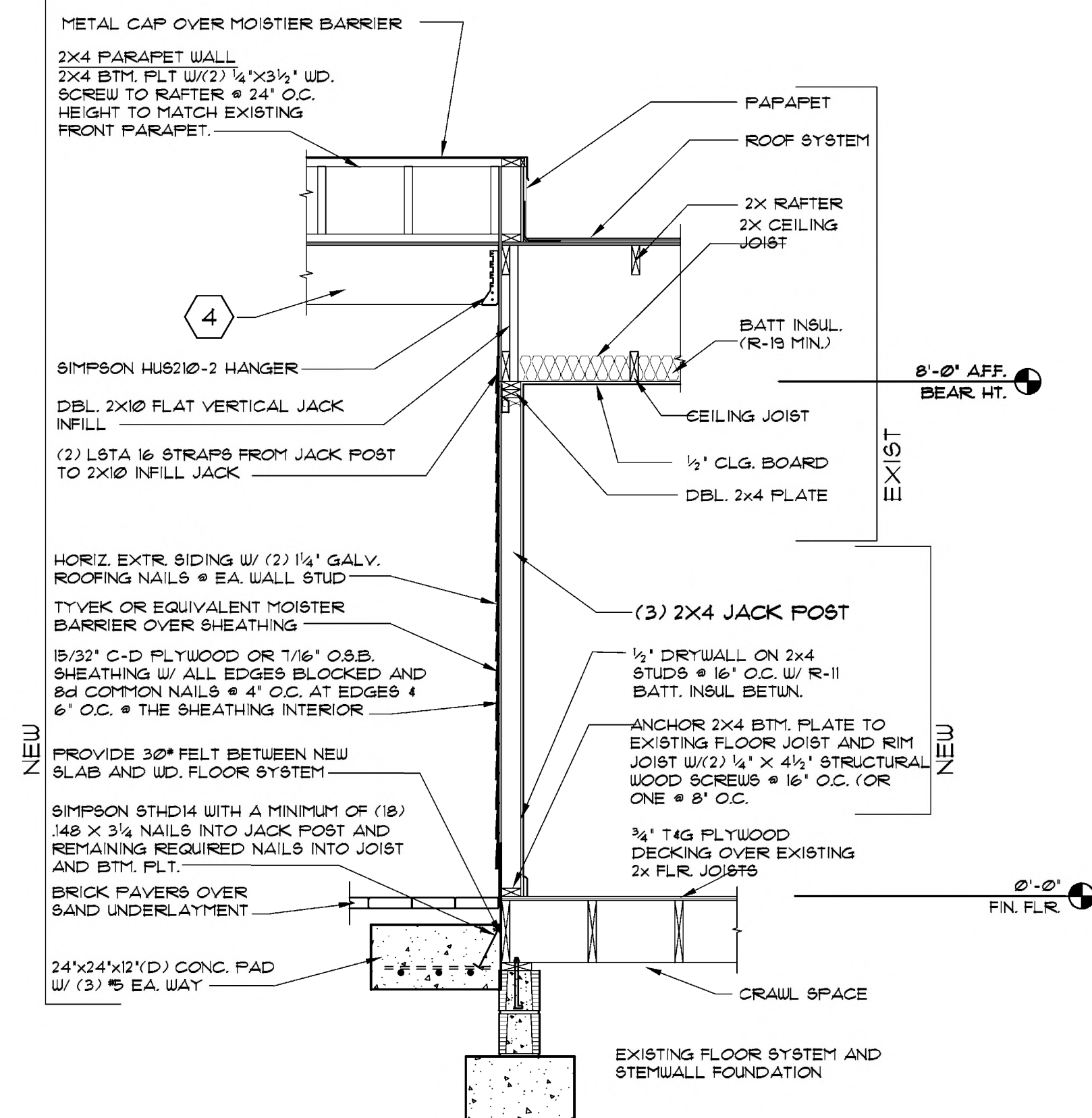
SCALE: 1/4" = 1'-0"



50 - ROOF ASSEMBLY/NAILING DETAIL

ROOF ASSEMBLY DETAILS	
DESIGN CRITERIA: EXPOSURE = <u>B</u> WIND SPEED = <u>139</u> RAFTER/TRUSS SPACING = <u>24" O.C.</u> MIN. SHEATHING THICKNESS = <u>15/32"</u>	
SHEATHING	SHEATHING OPTIONS: PLYWOOD, OSB, or ZIP-BOARD FLYSHING SPACING: MAINTAIN 1/8" GAP BETWEEN ALL ADJACENT BOARDS
	SHEATHING FASTENING: 8d (2 1/2" X 0.131") 5' X 12' (120") RING-SHANK NAILS @ 6" O.C. ON RIDGES AND FIRST FOUR FEET OF ROOF SHEATHING FROM ALL EDGES, AND 6" O.C. * SHEATHING INTERIOR
	UNDERLAYMENT OPTIONS: LESS THAN 4:12: COMP., METAL, or TILE A. (2) LAYERS ASTM D4669 TYPE III or IV UNDERLAYMENT; BASE LAYER OVER SHEATHING, STARTING WITH 18" STRIP AT EYE, FASTEN SUFFICIENTLY TO HOLD IN PLACE SECOND LAYER 36" (1/2") STARTING AT EYE W/ 18" OVERLAP; 1" CAFFED ROOFING NAILS @ 6" O.C. * OVERLAPS & 12" O.C. * FELT INTERIOR
UNDERLAYMENT	MODIFIED BITUMEN MODIFIED BITUMEN POLY BASE LAYER W/ ROOFING NAILS @ 9" O.C. ON SIDE LAPS & EYE; 18" ON CENTER IN (2) STAGGERED ROWS IN FIELD
ROOFING TYPE	COMPOSITION COMPOSITION SHINGLES W/ (6) 1/4" ELECTRO GALV. ROOFING NAILS @ EA. SHINGLE W/ FULL SHEATHING PENETRATION
	MODIFIED BITUMEN MODIFIED BITUMEN SELF-ADHERED CAP LAYER
VENT TYPE & FASTENING: 4"-Ø" x 1"-Ø" GALV. OFF-RIDGE VENTS W/ 1/4" ELECTRO GALV. ROOFING NAILS @ 6" O.C.	
FLASHING TYPE & FASTENING: 26 GAUGE GALV. or ALUMN. FLASHING W/ 1/4" ELECTRO GALV. ROOFING NAILS @ 6" O.C. (EAVE, GURSE AND LEAD FLASHING AS REQ. FOR TILE, ROOF OR 12).	

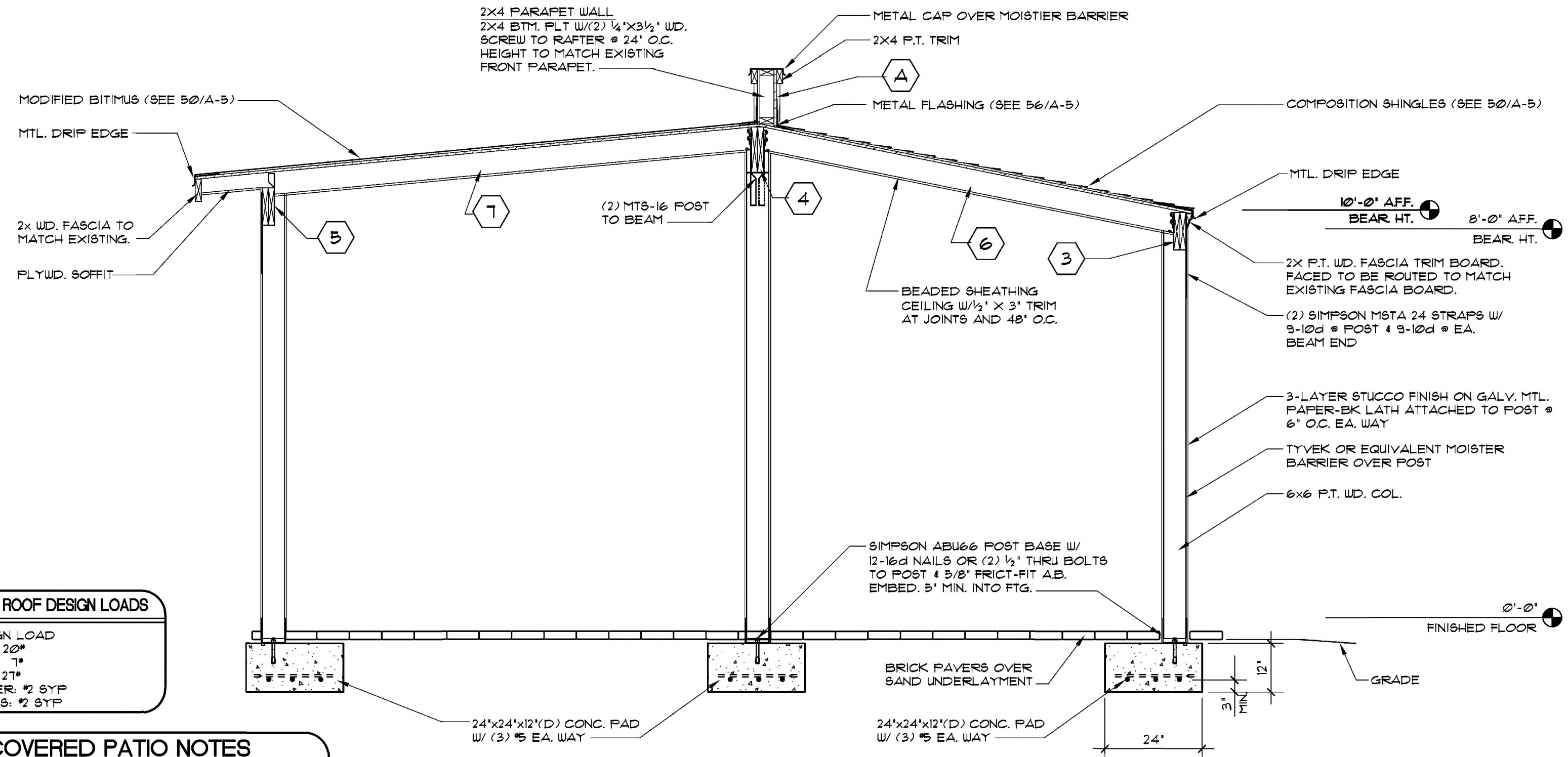
TIE SCHEDULE			
(UPLIFT VALUES DO NOT INCLUDE 30% STRESS INCREASE ON STEEL)			
CORROSION NOTE: ALL STRAPS AND FASTENERS IN CONTACT W/ PRESSURE TREATED LUMBER TO BE GALVANIZED OR Z-MAX			
UPLIFT	TIE-DOWN	FASTENER	ANCHOR
STD. FRAME TIE			
40D	SIMPSON H3	4-8d	5-8d
56S	SIMPSON H2.5A	5-8d	5-8d
93D	SIMPSON MT5 12	1-10d@14"	1-10d@14"



2 - JACK POST FOR CENTER BEAM

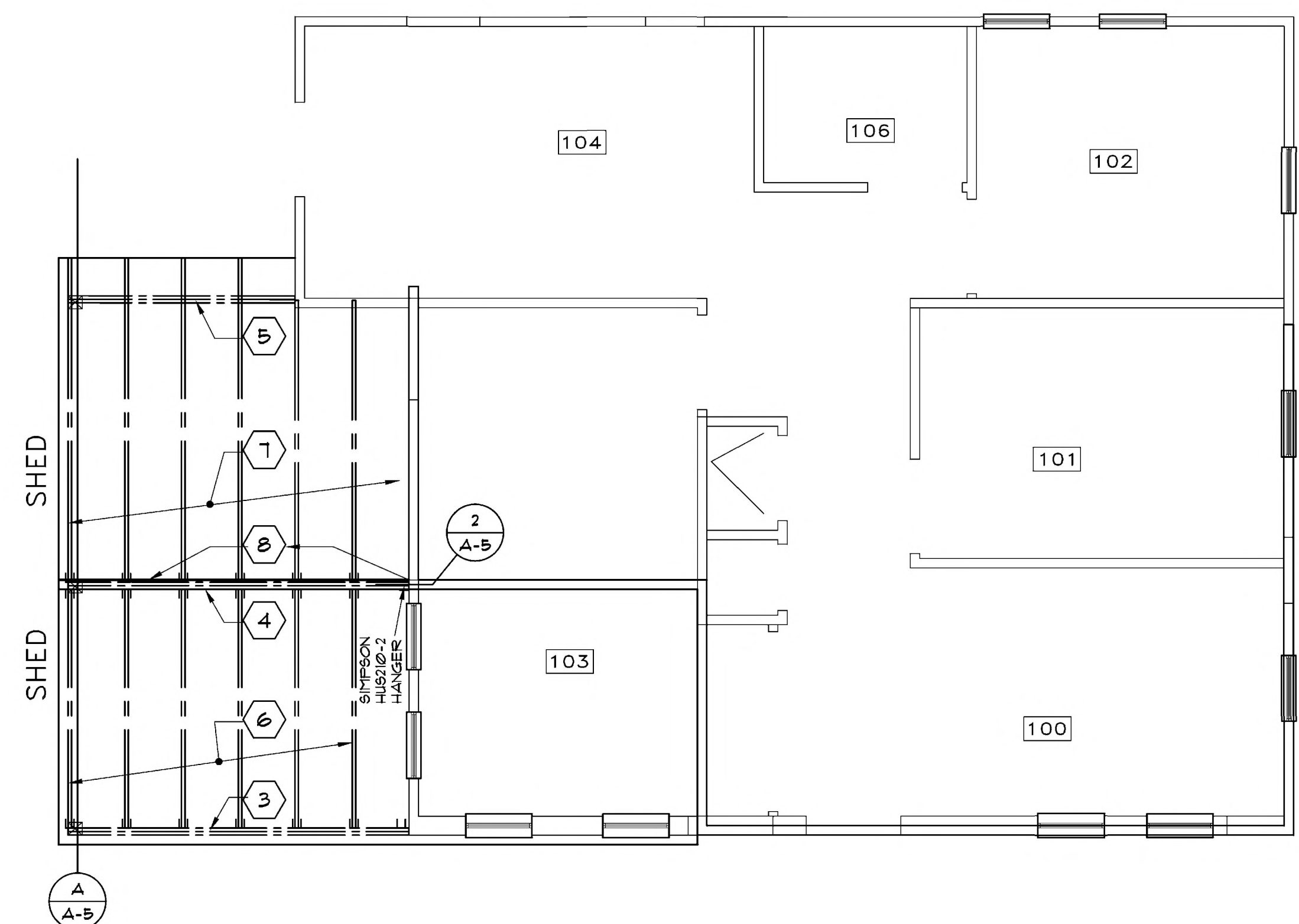
SCALE: $\frac{1}{2}" = 1'-0"$

3-LAYER STUCCO FINISH ON GALV. MTL.
PAPER-BK LATH ATTACHED TO
SHEATHING @ 6" O.C. EA. WAY
OVER
TYVEK OR EQUIVALENT MOISTER BARRIER
ATTACHED TO SHEATHING PER MANUF.
SPECS
OVER
1/2" C-D PLYWOOD OR 1/4" O.S.B.
SHEATHING W/ ALL EDGES BLOCKED AND
8d COMMON NAILS @ 4" O.C. AT EDGES &
6" O.C. @ THE SHEATHING INTERIOR



- 1 SEE 502/5-1 FOR ROOF SHEATHING THICKNESS, TYPE & FASTENING
- 3 DBL. 2'X10' WD BEAM. TOP OF BEAM @ 1/2' BELOW TOP OF RAFTER HEIGHT. NEW RAFTER ALIGNED WITH EXISTING RAFTERS OVER CONFORMANCE ROOM.
- 4 DBL. 2'X12' WD RIDGE BEAM. TOP OF BEAM @ 1/2' BELOW TOP OF RAFTER HEIGHT. NEW RIDGE BEAM ALIGNED WITH EXISTING RAFTERS OVER CONFORMANCE ROOM.
- 5 DBL. 2'X10' WD BEAM. TOP OF BEAM @ 1/2' BELOW TOP OF RAFTER HEIGHT. NEW RAFTER ALIGNED WITH EXISTING RAFTERS OVER BREAK ROOM.
- 6 2'X6' RAFTER @ 24" O.C. W/LR26Z HANGER EA. END
- 7 2'X6' RAFTER @ 24" O.C. W/LR26Z HANGER @ RIDGE BEAM + H25.4 CLIP @ WALL OR BEAM
- 8 4" PARAPET WALL. HEIGHT TO MATCH EXISTING PARAPET WALL OVER ROOM 103.

SCALE: $\frac{1}{2}'' = 1'-0''$



ROOF PLAN - Patio Addition

SCALE: $\frac{1}{4}'' = 1'-0''$

ELECTRICAL NOTES

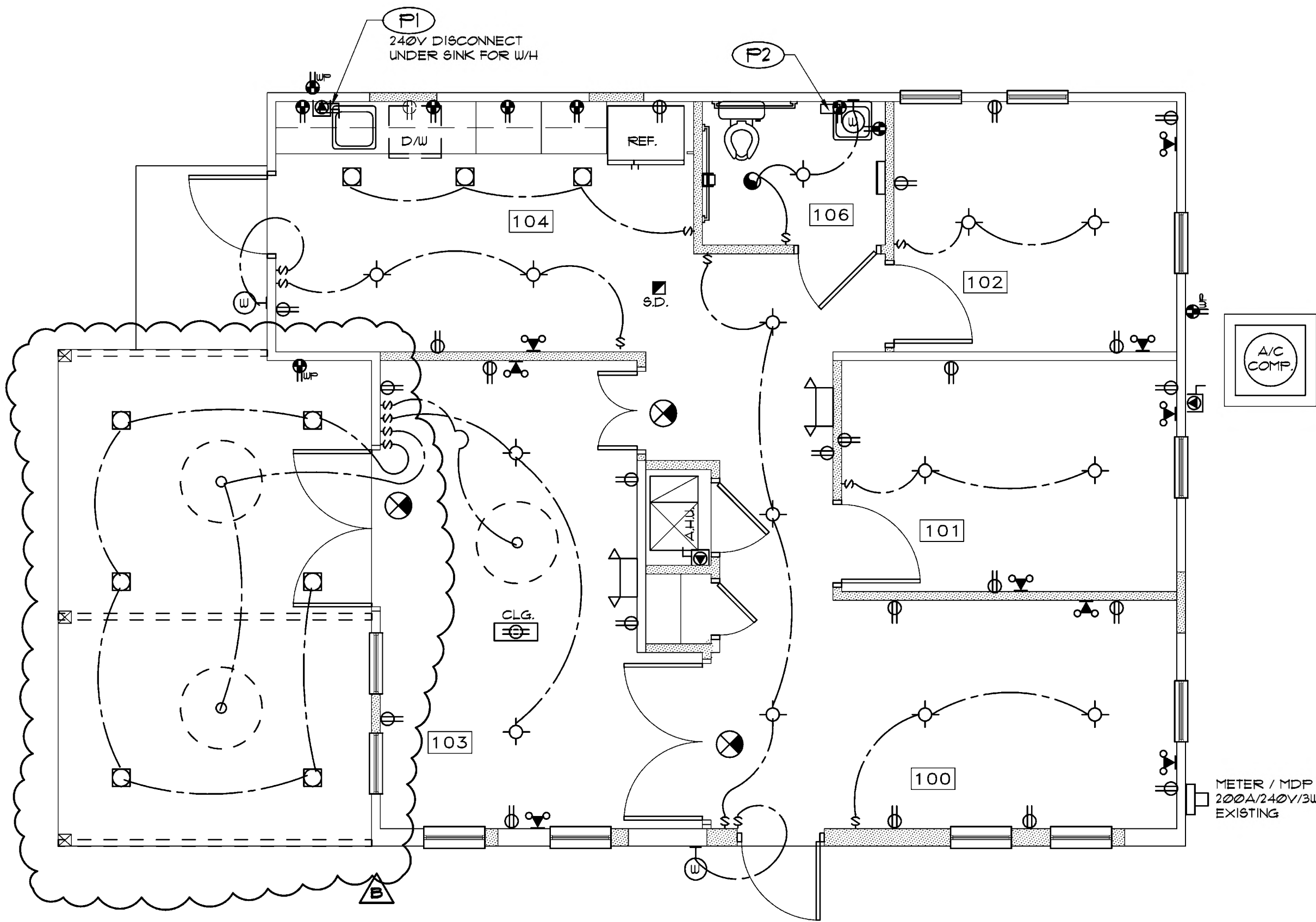
1. PROVIDE ALL LABOR AND MATERIALS FOR A COMPLETE AND PROPERLY OPERATING ELECTRICAL SYSTEM. THE CONTRACTOR SHALL INCLUDE THE COST OF ALL FEES AND PERMITS FOR THE ELECTRICAL WORK AND CALL FOR ALL INSPECTIONS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
2. PERFORM ELECTRICAL WORK IN ACCORDANCE WITH THE N.E.C. & LOCAL AMENDMENTS AND OTHER CODES APPLICABLE TO THIS PROJECT.
3. KEEP ONE SET OF ELECTRICAL PRINTS AT THE JOB SITE AND MARK DESIGN DRAWINGS WITH COLORED PENCIL AS ELECTRICAL ITEMS ARE INSTALLED. SHOW ACTUAL LOCATION OF CONDUIT RUNS AND BRANCH CIRCUIT NUMBERS. THESE MARKED PRINTS SHALL SHOW PROGRESS TO DATE AND SHALL BE FOR AN 'AS-BUILT' RECORD. THE MARKED DRAWINGS SHALL BE TURNED OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT. AT THE COMPLETION OF INSTALLATION, THE CONTRACTOR SHALL OPERATE EACH ITEM OF ELECTRICAL EQUIPMENT AND GIVE OWNER INSTRUCTION ON THE OPERATION OF THE SYSTEM. THE CONTRACTOR SHALL ALSO SUBMIT PERFORMANCE VERIFICATION INFORMATION ON EACH ITEM OF ELECTRICAL EQUIPMENT. THE CONTRACTOR SHALL SUBMIT A MEMO FROM THE MANUFACTURER'S REP. ADVISING THAT THE EQUIPMENT FURNISHED BY THE REPRESENTATIVE HAS BEEN CHECKED AND IS INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND IS OPERATING PROPERLY.
4. MOUNT A TYPEWRITTEN DIRECTORY IN PANEL BOARDS SHOWING CIRCUIT NUMBERS, TYPE OF LOAD, AND AREA SERVED.
5. ALL WORK AND MATERIALS SHALL BE GUARANTEED FREE FROM DEFECTS FOR ONE YEAR AFTER DATE OF ACCEPTANCE. REPAIRS, REPLACEMENTS (EXCEPT LAMPS), AND ADJUSTMENTS SHALL BE MADE DURING THIS PERIOD AT NO COST TO THE OWNER.
6. ALL WIRING SHALL BE IN CONDUIT. CONDUIT BELOW GRADE OR BELOW SLAB SHALL BE RIGID METAL CONDUIT OR P.V.C. ABOVE GRADE SHALL BE EMT OR M/C CABLE OR AS OTHERWISE SHOWN ON PLANS.
7. MINIMUM WIRE SIZE SHALL BE #12. ALL WIRES SHALL BE COPPER UNLESS OTHERWISE INDICATED. HOME RUNS 100' OR MORE ON 20 AMP CIRCUITS SHALL BE #10.
8. INSTALL A SEPARATE EQUIPMENT AND GROUNDING CONDUCTOR IN EACH RACEWAY SIZED IN ACCORDANCE WITH TABLE 250-95.
9. PROVIDE OUTLET BOXES SIZED AS REQUIRED BY N.E.C. FOR LIGHTING FIXTURES AND OTHER ELECTRICAL ITEMS.
10. REUSE EXISTING WIRING & PANELS WHERE SUITABLE FOR NEW LAYOUT. PROVIDE NEW COMPONENTS WHERE REQUIRED.
11. THERE WILL BE NO ELECTRICAL PENETRATIONS IN EXISTING DEMISING WALLS.
12. ALL EXIT AND EMERGENCY LIGHTS TO BE WIRED TO UNSWITCHED POWER.
13. NO MORE THAN SIX GENERAL PURPOSE OUTLETS PER 20 AMP CIRCUIT.
14. NO MORE THAN TEN FLUORESCENT LIGHTS PER 20 AMP CIRCUIT.
15. USING ALL EXISTING FLUORESCENT LIGHTS & LOCATIONS.
16. USING EXISTING ELECTRICAL PANEL & EXISTING SYSTEM CALCULATION.
17. ALL LIGHTING, OUTLETS, & SWITCHES ARE EXISTING UNLESS NOTED OTHERWISE.
18. OPERATORS MANUAL AND MAINTENANCE MANUAL TO BE PROVIDED TO THE BUILDING OWNER. THE MANUALS SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING:
 - 1) SUBMITTAL DATA STATING EQUIPMENT RATING AND SELECTED OPTIONS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE.
 - 2) OPERATION MANUALS AND MAINTENANCE MANUALS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE. REQUIRED ROUTING MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED.
 - 3) NAMES AND ADDRESSES OF AT LEAST ONE QUALIFIED SERVICE AGENCY.
19. WITHIN 30 DAYS OF SYSTEM ACCEPTANCE, RECORD DRAWINGS OF ACTUAL INSTALLATION SHALL BE PROVIDED TO OWNER, INCLUDING:
 1. A SINGLE DIAGRAM OF THE BUILDING ELECTRICAL DISTRIBUTION SYSTEM
 2. FLOOR PLANS INDICATING LOCATION AND AREA SERVED FOR ALL DISTRIBUTION.
20. BRANCH CIRCUIT FEEDING EMERGENCY AND EXIT LIGHTS SHALL BE THE SAME BRANCH CIRCUIT AS THAT SERVING THE NORMAL LIGHTING IN THE AREA.

PANEL A		200 AMP/3 (EXISTING) SINGLE PANEL		120/240 VOLTS SINGLE PHASE/3 WIRE	
BKR.	WIRE	CRT.	CRT.	IDENTIFICATION	WIRE BKR.
1P20	12	1	2	LIGHTS	12 1P20
1P20	12	3	4	LIGHTS	12 1P20
1P20	12	5	6	OUTLETS	12 1P20
	SPACE	7	8	OUTLETS	12 1P20
	SPACE	9	10	PATIO. FANS/LIGHTS	12 1P20
	SPACE	11	12	SPACE	
	SPACE	13	14	SPACE	
2P60	6	15	16	SPACE	
		17	18	WATER HEATER (P2)	10 1P30
2P40	8	19	20	WATER HEATER (P1)	6 2P50
		21	22		
	SPACE				

PARTITION SCHEDULE	
WD. FRAMED	
NEW WALL TO BE CONSTRUCTED	
EXISTING WALL TO REMAIN	
EXISTING WALL TO BE REMOVED	

FIXTURE NOTES	
P1	RHEEM RTX-11 ELEC INSTA W/H 240V/146A
P2	RHEEM RTX-04 ELEC INSTA W/H 120V/23A
PROVIDE TEMPERATURE REGULATION VALVE SET AT 100 DEGREES (TO COMPLY WITH ASSE 1010)	

LOAD CALCULATIONS - PANEL A			
NON-CONTINUOUS LOAD	VA EACH	VA TOTAL	TOTAL LOAD
27 RECEPTACLE LOAD:	180	4,860	VA
FIRST 10,000 VA @ 100%		4,860	VA
REMAINING VA @ 50%			
SUBTOTAL		4,860	VA
CONTINUOUS LOAD - DEDICATED	VA EACH	VA TOTAL	TOTAL LOAD
1 DISHWASHER		1,200	VA
1 REFRIGERATOR		775	
1 WATER HEATER (P2)		3,500	
1 WATER HEATER (P1)		11,000	
SUBTOTAL		16,475	VA
CONTINUOUS LOAD - LIGHTING	VA EACH	VA TOTAL	TOTAL LOAD
13 LED SURFACE LIGHTS	15	195	VA
3 FAN	60	180	VA
9 RECESS LIGHTS	15	135	VA
SUBTOTAL		510	VA
SUBTOTAL @ 125%		638	VA
H.V.A.C.			
HEAT LOAD		9,600	VA
SUBTOTAL (LARGEST LOAD)		9,600	VA
TOTAL LOAD		51,573	VA
31,573 / 240 VOLTS = 132 AMPS			



ELECTRICAL SYMBOLS

NOTE: ALL DSL AND PHONE BOXES TO BE FED FROM CONDUIT IN WALL TO ATTIC SPACE.

110 V. DUPLEX OUTLET	CEILING MOUNTED LIGHT FIXTURE	EMERGENCY LIGHT WALL MOUNT (2-HR BATTERY BACKUP)
110 V. GFI. DUPLEX OUTLET	CEILING MOUNTED PENDANT LIGHT FIXTURE	EMERGENCY LIGHT CEILING MOUNT (2-HR BATTERY BACKUP)
1/2 HOT, 1/2 SWITCHED 110 V. DUPLEX OUTLET	WALL MOUNTED LIGHT FIXTURE	LIGHTED EXIT SIGN (2-HR BATTERY BACKUP)
WATERPROOF 110 V. DUPLEX OUTLET	RECESSED LIGHT FIXTURE	EMERGENCY LIGHT LIGHTED EXIT SIGN COMBO (2-HR BATTERY BACKUP)
110V OUTLET IN CLG.	MINI RECESSED LIGHT FIXTURE	TELEVISION JACK
FLOOR OUTLET	WALL SCONCE	TELEPHONE
220 V. DUPLEX OUTLET	4" T-8 (2) BULB SURFACE MOUNTED FLUORESCENT FIXTURE	DATA/NETWORK
220 V. DISCONNECT	6" TRACK LIGHT SURFACE MOUNTED (4) LED FIXTURES	JUNCTION BOX (AUDIO)
SINGLE POLE SWITCH	CHANDELIER	SPEAKER (AUDIO)
3-WAY SWITCH	ELECTRICAL PANEL	THERMOSTAT
SWITCH W/ OCCUPANCY SENSOR		PUSH BUTTON
DIMMER SWITCH		
GFI. SWITCH		
EXHAUST FAN		
EXHAUST FAN/LIGHT COMBO.		

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

DESIGNER HEREBY EXPRESSLY RESERVES HIS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF GERALD GROSS ARCHITECT.

REVISIONS

A	12/2/21	REVIEW COMMENTS
B	2/2/22	DATE COVERED

GERALD R. GROSS
AIA, F.A.S.A.
architect
205T North Ibis Drive
Bryce Breezes, Florida 33453
386.574.9088
FL REG. ARCHITECT NO. AR0005998

ELECTRICAL PLAN
A RENOVATION FOR:
FLEISHEL FINANCIAL
8125 NORTH WOODLAND BLVD.
DELAND, FLORIDA

THIS PLAN HAS BEEN ELECTRONICALLY
SIGNED AND SEALED BY GERALD R. GROSS,
AIA, F.A.S.A., ON THE DATE AND AT THE
SHOWN BELOW USING A DIGITAL SIGNATURE.

PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED
AND SIGNATURE MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

STATE OF FLORIDA
GROSS
5998

GERALD R. GROSS
AIA, F.A.S.A.
205T North Ibis Drive
Bryce Breezes, Florida 33453
386-574-9088
FL REG. ARCHITECT
NO. AR0005998

PROJECT NO.:
01FLEISHEL3E1

DATE:
21 FEB 2022

DRAWN BY:
TMTL

SHEET NO.:
E-1