

TRC AGENDA



**CITY OF DELAND
THURSDAY APRIL 20, 2023 AT 1:30 P.M.
CITY OF DELAND TRC MEETING ROOM
DELAND, FLORIDA**

A. CALL TO ORDER

B. ROLL CALL

C. OLD BUSINESS

1. Review of February 16, 2023 TRC Meeting Minutes

D. NEW BUSINESS

1. **Applicant Name:** Michael Wojtuniak – Engineered Permits Inc **Belinda**
Project Name: SP23-038 – Class II Site Plan for Jacobites
Project Location: .504 acres located at 502 W New York Ave
Project Description: 2,110 SF Specialty Restaurant
2. **Applicant Name:** Michael Wojtuniak – Engineered Permits Inc **Belinda**
Project Name: SP23-042 – Class II Site Plan for Littlefield Paint and Body
Project Location: 1.3 acres located at 1632 Parade Circle
Project Description: 5000 SF addition
3. **Applicant Name:** Peter Traficante – Kimely Horn and Assoc. **Melissa**
Project Name: CP23-043 – Concept Plan for Wawa
Project Location: 2.66 acres located at N Summit Ave
Project Description: 6000 SF of Convenience Store with Gas Pumps
4. **Applicant Name:** Josh Kinsley – LUV Car Wash Southeast LLC **Kendall**
Project Name: SP23-044 – Class II Site Plan LUV Car Wash
Project Location: .68 acres located at 104 E International Spdwy Blvd
Project Description: Changes to site layout
5. **Applicant Name:** Jason Sheridan – Pennoni Associates **Kendall**
Project Name: SP23-046 – Class II Site Plan for Take 5
Project Location: 2 acres located on E International Spdwy Blvd 300' east of N Garfield Ave
Project Description: 4183 SF Carwash and Oil change facility

6. **Applicant Name:** Strickland Smith – Heidt Design **Belinda**
Project Name: FSB23-049 – Final Plat for Cresswind Phase 1
Project Location 88.85 acres located at 2751 E New York Ave
Project Description: Plat 155 single family lots
7. **Applicant Name:** Amy Mathews – Masterplan **Melissa**
Project Name: SP23-054 – Class II Site Plan for Extra Space Storage
Project Location 8.55 acres located at 2745 S Woodland Blvd
Project Description: 39,600 SF expansion of existing storage facility

E. OTHER BUSINESS

F. ADJOURNMENT

OLD BUSINESS

1



**CITY OF DELAND
TECHNICAL REVIEW COMMITTEE MEETING
MEETING MINUTES
THURSDAY, MARCH, 2023 -1:30 P.M.
CITY HALL**

OPENING OF MEETING:

Call to Order:

1:30 pm

Members Present:

Mike Holmes, Chairperson

Belinda Williams Collins

Melissa Winsett

Debi Glick

Mariellen Calabro

Chad Gamble

Ray Bahrami

Tuan Huynh

Scott Zender

Rick Werbiskis

OLD BUSINESS:

1. Approval of the minutes of the TRC Meeting Minutes from February 16, 2023

Mariellen Calabro moved to approve the minutes with the correction of the meeting date,

Scott Zender seconded the motion.

The TRC Committee voted unanimously in favor of motion.

2. **Applicant Name:** Robert Blackberry – BC DeLand LLC
Project Name: SP22-215 – Class II Site Plan for Tire Service Center
Project Location 1.16 acres located at 144 Fenway Dr
Project Description: 6,765 square foot service center

Applicants Present:

None Present

Applicant was not present, motion to continue. Revised plans must be submitted to be placed the agenda for TRC.

***Mariellen Calabro moved to continue the application, at the March 16, 2023 TRC meeting,
Jim Ailes seconded the motion.
The TRC Committee voted unanimously in favor of motion.***

NEW BUSINESS:

1. **Applicant Name:** Nicole Martin – Madden Moorhead & Stokes Melissa
Project Name: PSB23-029 – Preliminary Plat for Summit Place
Project Location 59.88 acres located at N Summit Ave
Project Description: 300 Townhomes

Applicants Present:

Ben Beckham – Madden
Matt Stolz – Madden
Jan Byron – DR Horton
Sydney Kendrick – DR Horton
Mohammed Abdaliah
Nika Hosseini – Cobb Cole

Applicant will address all comments as discussed with staff at the meeting No deadline was given for the resubmittal of plans. All staff TIA comments must be addressed before a resubmittal can be accepted.

***Chad Gamble moved to continue the application, at the March 16, 2023 TRC meeting,
Melissa Winsett seconded the motion.
The TRC Committee voted unanimously in favor of motion.***

2. **Applicant Name:** Yedlin & Co LLC Kendall
Project Name: PSB23-030 – Preliminary Plat for The Canopy At Blue Lake
Project Location 4.874 acres located at E Wisconsin and east of Miller Rd
Project Description: 12 Single Family Lots

Applicants Present:

Tyler Malmberg – Newkirk Engineering

Applicant will address all comments and resubmit plans by March 24th in order to be placed on the April 19, 2023 Planning Board agenda.

3. **Applicant Name:** LAM Development LLC Belinda
Project Name: SP23-031 – Class II Site Plan for 425 South
Project Location 2.078 acres located at 425 S Woodland Blvd
Project Description: 15,174 SF of retail and office

Applicants Present:

None

There were no representatives present to discuss staff comments. Application was continued to the April 20, 2023 TRC contingent upon receiving revised plans addressing staff comment by March 24, 2023.

OTHER BUSINESS:

None.

ADJOURNMENT:

2:30 pm

NEW BUSINESS

1



City of DeLand
TRC
SP23-038
APRIL 20, 2023

R-1A

119

E-1

ADELLE AV N

445

SR 44 (NEW YORK AV W)

C-1

502

516

SUBJECT PROPERTY

ADELLE AVS

440

125

R-1A

127

128

130

125

131

Legend:



City Zoning

County Zoning

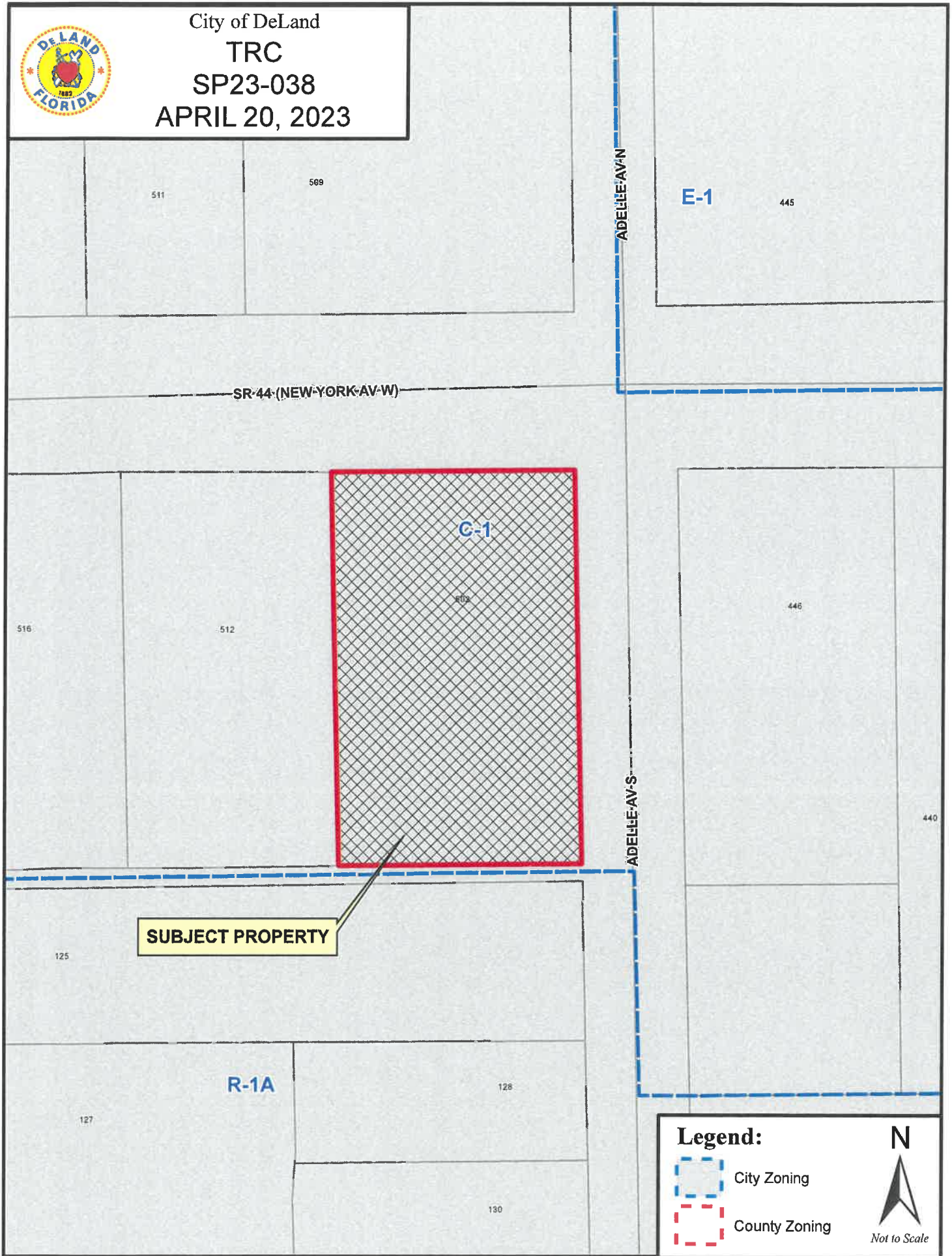
N



Not to Scale



City of DeLand
TRC
SP23-038
APRIL 20, 2023



Legend:



City Zoning

County Zoning



Not to Scale

Issues for record SP23-038

Job Address: 502 W NEW YORK AV, DELAND FL 32720

Job Description: This project will construct a new specialty restaurant with associated parking and on site stormwater.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
MOT Standard Index						
Engineering	Draft	1. Include the applicable FDOT Standard Plans Index for maintenance of traffic (MOT) for the new driveway and sidewalk construction on Adella Avenue.	14	Tuan Huynh	Tuan Huynh	Yes
Existing Inlet Connection						
Engineering	Draft	1. For Cross Section E, please show the existing inlet as dashed lines to represent existing information for clarity.	06	Tuan Huynh	Tuan Huynh	Yes
Existing Sidewalk Replacement						
Engineering	Draft	1. It appears that portions of the existing sidewalk on State Road 44 will need to be removed and replaced for the pond outfall pipe. Please show the sidewalk work limits more clearly on the plans and note that sidewalk replacement must meet ADA requirements.	05	Tuan Huynh	Tuan Huynh	Yes
FDOT Structure Callout						
Engineering	Draft	1. For Drainage Structure Summary, please use latest FDOT Standard Plans Index number. For example, plan callout Type 'E' Inlet as Index 232 but current FDOT Index is 425-052.	05	Tuan Huynh	Tuan Huynh	Yes
Grade Break						
Engineering	Draft	1. Provide a pavement grade break point (high-point) between drainage structures S-1 and S-2 on the plan.	05	Tuan Huynh	Tuan Huynh	Yes
Pipe Slope						
Engineering	Draft	1. Please provide storm pipes slope between drainage structures S-2 to S-3 and pond outfall pipe.	05	Tuan Huynh	Tuan Huynh	Yes
Driveway Turnout FDOT Index						
Engineering	Draft	1. Per FY 2017-18 FDOT Index 515 (sheet 7 of 7) for Turnouts and Driveways. Provide length (L) for smooth transitioning when driveway algebraic grade difference exceeds 6%. In addition, refer to FDOT Driveway Information Guide Manual, Section 4.2, which	05	Tuan Huynh	Tuan Huynh	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
states driveway maximum algebraic grade difference should be less than 12% to prevent vehicles from bottom-out. Please check FDOT driveway criteria or revise plans as needed.						
ADA Slope						
Engineering	Draft	1. Please provide additional spot grades to verify that the proposed 5' sidewalk area crossing new driveway is ADA compliance. The cross slopes within this area cannot exceed 2% and the longitudinal slope cannot exceed 5% per ADA. Revise plan and driveway cross-section sheet 6 as needed to show ADA grades compliance. Currently the plans show 10% slope at the driveway.	05	Tuan Huynh	Tuan Huynh	Yes
Max. 4:1 Slope						
Engineering	Draft	1. Provide note or callout "Max. 4:1 (H:V) Slope" within the retention pond and perimeter slope tie-down areas.	05	Tuan Huynh	Tuan Huynh	Yes
Existing Driveway on SR 44						
Engineering	Draft	1. There is existing driveway on State Road 44 connected to this property. But driveway will go directly into the new retention pond area. Will this driveway be closed after this site is developed? Please clarify or revise plans.	04	Tuan Huynh	Tuan Huynh	Yes
Thicken Edge Sidewalk						
Engineering	Draft	1. It is not clear on the plans where the proposed thickened edge sidewalk begins and ends next to parking lot pavement. Please callout more clearly on plan.	04	Tuan Huynh	Tuan Huynh	Yes
Sidewalk on Adella Ave						
Engineering	Draft	1. Please extend the 5' sidewalk on Adella Avenue to end of property at the southeast corner.	04	Tuan Huynh	Tuan Huynh	Yes
Pedestrian Crosswalk						
Engineering	Draft	1. Show standard pedestrian crosswalk striping at new driveway on Adella Avenue per FDOT Standard Plans Index 711-001.	04	Tuan Huynh	Tuan Huynh	Yes
Detectable Warning						
Engineering	Draft	1. Show detectable warning mat at sidewalk ramps per FDOT Standard Plans Index 522-002.	04	Tuan Huynh	Tuan Huynh	Yes
Retaining Wall						
Engineering	Draft		04	Tuan Huynh	Tuan Huynh	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
1. Show proposed retaining wall bottom elevation. Please note that if wall height is greater than 30 inches, pedestrian railings are required for safety.						
Drainage Calculations						
Engineering	Draft	1. Section 5.1, Stage Storage Table, please check the cumulative volume (CF) calculations. It appears to be slightly off. Revise HydroCAD input data as needed. 2. Section 5.1, Pre/Post Comparison Table, please include a table showing the pond Design High Water (DHW) and free-board provided with corresponding storm events. 3. HydroCAD model for Pre-Development Basin, it is recommended that site uses grass fair condition, coverage 50% to 75% and corresponding curve number (CN) = 49. This will allow a more conservative pre-development allowable discharge when comparing to the post-development discharge. 4. Please include Pre and Post Development Basin Maps to support the HydroCAD model routing diagrams. Also show time of concentration (Tc) path with elevations on the pre-development map.		Tuan Huynh	Tuan Huynh	Yes
General Comments						
Engineering	Draft	1. This development is adjacent to W. New York Ave. (State Road 44); therefore, FDOT Permit is required. 2. Please provide a copy of the approved SJRWMD permit upon issuance. This is required before scheduling the pre-construction meeting.		Tuan Huynh	Tuan Huynh	Yes
Note 16						
Forestry	Draft	Fix spelling of irrigation.	11	Mariellen Calabro	Mariellen Calabro	Yes
Tree Protection Note 3						
Forestry	Draft	Remove the word "caliper" to avoid confusion. Existing trees are measured in DBH, not caliper.	09	Mariellen Calabro	Mariellen Calabro	Yes
Tree Data Provided						
Forestry	Draft	Tree survey, landscape plan, and irrigation plan have been provided. Tree barricade detail has also been provided.	01	Mariellen Calabro	Mariellen Calabro	No
Cedar specifications						
Forestry	Draft	Fix the species name for Cedar from Virginian to virginiana. Change minimum spread to 4.5'.	10	Mariellen Calabro	Mariellen Calabro	Yes
Minimum root ball sizes						
Forestry	Draft	Increase the minimum root ball sizes for Live Oak, Magnolia, and cedar to 44".	10	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Tre Replacement Provided With the revisions proposed, the plan would provide 202" DBH replacement.	10	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Barricade Detail Update with 2022 version of tree barricade detail.	09	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Other Protected Tree Replacement It looks like 294" DBH of other protected trees will be removed. This would require 98" DBH of replacement. So, 120" DBH total replacement would be required when including the specimen trees.	09	Mariellen Calabro	Mariellen Calabro	No
Forestry	Draft	Specimen Tree Replacement It appears that 22" DBH of specimen tree replacement will be required. (18" DBH cedar + 26" DBH magnolia)/2 = 22" DBH.	09	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	BC Laurel What is BC Laurel?	09	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Existing Trees in TPA Why are the existing trees in the Tree Protection Area all being removed (Trees 1, 5, 16, 24, 25, 26, 28, 29, 30, 31, 32, and 33)?	09	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Specimen Trees There are two specimen trees on your property.	02	Mariellen Calabro	Mariellen Calabro	No
Forestry	Draft	Tree Worksheets Minimum coverage, tree protection area, and tree replacement requirements will be met by this plan. Specimen tree preservation requirements have not been met. Please indicate why the required number of specimen trees have not been preserved.	01	Mariellen Calabro	Mariellen Calabro	Yes
Planning	Draft	Grease trap Verify if a grease trap has been provided.		Belinda Collins	Belinda Collins	Yes
Planning	Draft	Parking count		Belinda Collins	Belinda Collins	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Verify how the parking count was determined and provide the net area of the restaurant used in the calculation.						
Planning	Draft	Curb cut Verify the existence of an existing curb cut along Adelle.	02	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Support district This property is located within the Support District for historic preservation and would require HPB approval of building colors, however, the colors are from the approved list and staff approval may be granted requiring no additional no board review.	01	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Building height List the building height (no maximum for commercial use).	A4.1	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Existing tree The landscape plans indicate there is an existing tree to be preserved, however, the plans do not show its location.	10	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Plant material arrangement A more natural arrangement of the landscape materials is suggested. (i.e. clustering some of the understory trees into more natural groupings instead of in straight lines.)	10	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Survey page In the Table of Contents on the cover page list the "Existing Conditions" page as the Survey instead and indicate the date that the survey was prepared.	01	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Setback info Correct the rear setback information provided to state the correct actual setback provided. Currently listed as 8 feet.	01	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Project description Add a brief project description to the cover page.	01	Belinda Collins	Belinda Collins	Yes
Utilities	Draft	Details Please update to newest version.	14	Jim Ailes	Jim Ailes	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Utilities	Draft	Details Details are not the most recent. Please upload new detail sheets.	13	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Sewer Need sewer clean out at stub out connect of property line.	07	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Wet Tap Why would you need a 4 x 8 wet tap for a 1" water service?	07	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Contact Jim Ailes 386-626-7250	01	Jim Ailes	Jim Ailes	Yes

NEW BUSINESS

2



City of DeLand
TRC
SP23-042
APRIL 20, 2023



Legend:

-  City Zoning
-  County Zoning





City of DeLand
TRC
SP23-042
APRIL 20, 2023

1697

C-2

SUBJECT PROPERTY

1650

1625

M-1

1630

PARADE CIR

I-1A

1632

C-2

M-1

Legend:



City Zoning

County Zoning



Not to Scale

Issues for record SP23-042

Job Address: 1632 PARADE CIR, DELAND FL 32724

Job Description: This project will remove and existing building and add a new building and associated parking and stormwater and site improvements.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Concrete Min. 3,000 PSI 1. Cross Section B, please note concrete pavement must be min. 3,000 PSI.	07	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Asphalt Millings 1. Cross Section A, Asphalt Milling is not allowed per City code.	07	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Erosion Protection 1. Please provide a concrete flume or rip-rap protection from the low-point grade 76.00 of parking lot to the bottom of the retention pond. There is concerned that over time this area will experience erosion issues.	06	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Max. 4:1 Slope 1. Provide note or callout "Max. 4:1 (H:V) Slope" within the retention pond area.	06	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Radius Dimensions 1. Show radius dimensions on site plan.	04	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Handicap Space 1. Are handicap spaces proposed? Per new parking count one handicap space is required.	04	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Striping 1. Provide double yellow line striping per FDOT Standard Plans Index 711-001 at driveway entrance.	04	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Asphalt Millings 1. Asphalt milling is not allowed per City code. Please provide standard concrete or asphalt pavement section.	04	Tuan Huynh	Tuan Huynh	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Drainage Calculations						
Engineering	Draft	1. Report, Section 5.1, Pre/Post Comparison Table, please include a table showing the pond Design High Water (DHW) and free-board provided with corresponding storm events.		Tuan Huynh	Tuan Huynh	Yes
General Comments						
Engineering	Draft	1. Please provide a copy of the approved SJRWMD permit upon issuance. This is required before scheduling the pre-construction meeting.		Tuan Huynh	Tuan Huynh	Yes
Access ways						
Fire	Draft	Verify the road base will accommodate the weight of the heaviest emergency apparatus throughout the project.	06	Jamie Lunsford	Jamie Lunsford	Yes
Tree Replacement						
Forestry	Draft	If the removals of historic and specimen trees are approved, your project would require 46" DBH replacement. With the revisions suggested, your landscape plan would provide 96" DBH replacement.	10	Mariellen Calabro	Mariellen Calabro	No
Landscape Legend - Bald Cypress						
Forestry	Draft	If these trees are meant to be replacement trees for historic tree impacts, they will need to be increased to 4" DBH, 6" caliper, 17' height, 52" min. root ball, and 200-gallon container size.	10	Mariellen Calabro	Mariellen Calabro	Yes
Irrigation Note 16						
Forestry	Draft	Fix spelling of irrigation.	10	Mariellen Calabro	Mariellen Calabro	Yes
Tree Barricade Detail						
Forestry	Draft	Update with 2023 version.	10	Mariellen Calabro	Mariellen Calabro	Yes
Existing Trees/Tree Protection						
Forestry	Draft	Remove the word "caliper" to avoid confusion. Existing trees are measured in DBH, not caliper.	09	Mariellen Calabro	Mariellen Calabro	Yes
Tree Protection Area						
Forestry	Draft	Your area calculations on this page do not match the total land area and total project area on page 1 of 11. Please update whichever is incorrect.	09	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Tree Removal Index Trees 1 and 3 are Specimen and historic trees.	09	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Specimen Tree Impacts Please indicate why you can't preserve the required number of specimen trees.	09	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Barricade Detail Please update with 2023 version.	09	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic Trees Label all historic trees on the property as historic and show 1.5 times their drip lines on the plan.	09	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic Tree and Specimen Tree Impacts Your project proposes to remove one historic tree and two historic trees. These trees also appear to be slightly outside of the project area. Can the proposed 5,000 sf building be adjusted to avoid impacting these trees? Any historic tree impact would need to be reviewed by the Tree Advisory Committee and approved by the City Commission. This will add at least two months to your project schedule, and there is no guarantee of approval.	09	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Crape Myrtle Fix spelling of Crape Myrtle.	02	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic and Specimen Trees You have at least three historic trees and six specimen trees shown on site.	02	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Area Calculations The area calculations on this page do not match the area of the tree replacement page. Please correct whichever is incorrect.	01	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Information Provided Tree Survey, Landscape Plan, and Irrigation Plans have been provided. the Tree Barricade Detail has been provided; however, it needs to be updated to the 2023 version.	01	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Approval of abandonment						
Planning	Draft	Staff cannot verify the approval of the abandonment after the PB approval in January of 2021.		Belinda Collins	Belinda Collins	Yes
Mechanical equipment						
Planning	Draft	Show any rooftop mechanical equipment as dashed lines behind a screen wall.		Belinda Collins	Belinda Collins	Yes
Pine Ave abandonment						
Planning	Draft	The Planning Board approved the abandonment of the Pine Ave. r.o.w. in January 2021. Verify the Ordinance approving the abandonment of Pine Ave.	05	Belinda Collins	Belinda Collins	Yes
Buffer residential						
Planning	Draft	This site is located adjacent to an Industrially zoned property that houses a residential use – at the north end, on the east side of Parade Circle. Consider buffering of the uses via additional landscaping or fencing to protect the adjacent use. The plant materials planned adjacent to the Pine Ave. r.o.w may be more appropriate on Parade Circle (understanding that there is also a lift station to consider).	10	Belinda Collins	Belinda Collins	Yes
Project limits						
Planning	Draft	The site plan highlights the “Project Limits”, however, the site plan review is applicable to the whole site.	01	Belinda Collins	Belinda Collins	Yes
Parking						
Planning	Draft	A total of 16 spaces is calculated for the site in its entirety (3 existing, 1 h/c , 12 proposed). The site plans list that parking is calculated based on a warehouse requirement. Revise the information to base the requirement on an Auto Service and Auto Repair use instead and verify that enough parking is provided. The requirement is for 2 spaces plus 2 for each service bay.	01	Belinda Collins	Belinda Collins	Yes
Impervious						
Planning	Draft	Verify that the impervious surface amount listed, 62.5%, applies to the site as a whole and not just the “Project Limits”. The maximum permitted for the site is 70%.	01	Belinda Collins	Belinda Collins	Yes
Elevations needed						
Planning	Draft	Provide building elevations, materials etc.	01	Belinda Collins	Belinda Collins	Yes
Project info						
Planning	Draft		01	Belinda Collins	Belinda Collins	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Add project address and a brief project description of the proposal to the cover page.						
Utilities	Draft	Contact Jim Ailes 386-626-7250	01	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Utilities Is there any utilities for this project? I do not see a sheet with them on it. No water or restrooms being added for new building?	01	Scott Zender	Jim Ailes	Yes

NEW BUSINESS

3



City of DeLand
TRC
CP23-043
APRIL 20, 2023

PD

SERVICE RD

PD

SR 44 (NEW YORK AV E)

PD

E-1

CR 4329

SUBJECT PROPERTY

Legend:

-  City Zoning
-  County Zoning





City of DeLand
TRC
SP23-043
APRIL 20, 2023

Cresswind DeLand
PD

SERVICE RD

PD

Gateway East
PD

SR 44 (NEW YORK AVE E)

Gateway East
PD

SUBJECT PROPERTY

E-1

CR 4139

Legend:

-  City Zoning
-  County Zoning



Issues for record SP23-043

Job Address: 0 N Summit AV, Deland FL

Job Description: We are requesting a conceptual site plan review. We are proposing a Wawa at the intersection of SR44 and North Summit Ave. We have held a pre-application meeting and based on that conversation, have re-designed our site. We would like a preliminary review before we official submit our plans into review.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
General Comments						
Engineering	Draft	1. This development is adjacent to State Road 44; Therefore, FDOT Permit is required. 2. This development is adjacent to County Road 4139; therefore, Volusia County Use permits is required.		Tuan Huynh	Tuan Huynh	Yes
Driveway Connection on Summit Ave						
Engineering	Draft	1. Driveway connection on N. Summit Avenue need to be perpendicular with the existing road edge of pavement and not as askew angle for traffic safety.	SP-09	Tuan Huynh	Tuan Huynh	Yes
Auto Turn Analysis						
Engineering	Draft	1. Auto-turn analysis will be required at final engineering plans to accommodate typical city fire truck dimensions.	SP-09	Tuan Huynh	Tuan Huynh	Yes
Off-site Runoff						
Engineering	Draft	1. If applicable, off-site runoff must be attenuated or by-pass through this development and cannot be impeded.	SP-09	Tuan Huynh	Tuan Huynh	Yes
Impervious Area Coverage						
Engineering	Draft	1. Provide impervious areas breakdown and open space with percentages.	SP-09	Tuan Huynh	Tuan Huynh	Yes
Handicap Space Dimension						
Engineering	Draft	1. Show handicap parking spaces dimensions and must be 12' wide x 20' length per City LDC.	SP-09	Tuan Huynh	Tuan Huynh	Yes
Curb Radius Dimension						
Engineering	Draft		SP-09	Tuan Huynh	Tuan Huynh	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
1. Provide curb radius dimensions at all driveway locations.						
Soils and FEMA Maps						
Engineering	Draft	1. Show the site soil delineation, types and percentages per the National Resource Conservation Soil (NRCS) data. 2. Show the site FEMA Flood Zone, FIRM panel number, and effective date.	SP-09	Tuan Huynh	Tuan Huynh	Yes
Stormwater Management System						
Engineering	Draft	1. How will stormwater runoff be collected, treated, and attenuated. Show on concept plan the proposed stormwater management system and off-site discharge location.	SP-09	Tuan Huynh	Tuan Huynh	Yes
Fire Hydrants						
Fire	Draft	Show locations of existing fire hydrants within 500ft of structure and the locations of any proposed fire hydrants being installed.	SP-09	Jamie Lunsford	Jamie Lunsford	Yes
No Comments at this Phase						
Forestry	Draft	1. The following general comments are provided to assist you at the Site Plan stage: a. During future submissions, a tree survey, completed tree worksheets, and landscape plan will be required. b. At least 15 percent of the site will need to be designated as tree protection area, and a minimum of one tree per 2,500 square feet will need to remain or be planted on the site. c. Removal of trees will require at least one third diameter replacement. Removal of specimen trees will require 50% replacement of the DBH inches lost. Unhealthy specimen trees, as determined by the city forester, will be replaced at the same rate as non-specimen protected trees. d. A list of specimen trees can be found at: https://library.municode.com/fl/deland/codes/code_of_ordinances?nodeId=COOR_CH33LADERE_ARTVIREPRST e. Laurel Oaks (Quercus laurifolia) which are larger than 20" DBH and in deteriorated condition may be replaced by one two-inch DBH (three-inch caliper) minimum sized canopy tree from the "List of Permitted Shrubs and Trees for Landscaping and Tree Protection." An Arborist Report documenting the deteriorated trees will be required to receive reduced replacement. Removal of all other non-specimen protected trees greater than 6" DBH will require the replacement of one third of the DBH inches lost. f. Any historic tree that is proposed for removal will require a review by this office, recommendation by the City Tree Advisory Committee and approval by City Commission. The developer must demonstrate that the tree is a hazard or that it is not economically or practically feasible to develop the parcel without removing the historic tree. Historic trees are defined as Bald Cypress 20-inches or larger DBH, Live Oak 25-inches or larger DBH, and Red Cedar 25-inches or larger DBH. i. For historic trees that will be preserved, tree protection fence must be installed by the contractor and inspected by the City Forester prior to any land disturbing activity. ii. Unless the applicant proposes a method of root protection which is acceptable to the	SP-09	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		City, no construction activity shall take place within an area equal to one and one-half times the area of the drip line. g. All new Class II and Class III site plans require the following statement: "Tree barricades are required around all trees which have been designated on the site plan to be retained and protected. Prior to any clearing or construction activity occurring on the site, tree barricades shall be constructed by the contractor and approved by the City." h. A Tree Barricade detail showing how remaining trees will be protected needs to be included on all Site Plans. A barrier needs to be constructed around your Tree Protection Area and at the drip line or ten feet from each tree that will remain, whichever area is larger.				
		Conceptual Plan Comments: Informational/Other				
		-Please provide a letter of intent.				
Planning	Draft	-An FDOT driveway permit and Volusia County use permit are both required since SR 44 is a state road and Summit Avenue is a county road. Any work proposed in either agency's ROW will need to be part of those applications. -Because a TIA is required for the parent tract, none of the individual developments within both PDs will be required to provide a TIA. In lieu of a TIA, a technical memorandum may be requested at the final site plan phase to document certain information and any mitigation if required.	SP-09	Melissa Winsett	Melissa Winsett	No
Planning	Draft	Conceptual Plan Comments: Informational The following comments are informational. Based on the conceptual plan submitted, a site plan application would require the following: -Parcel ID Numbers -Statement of intended use -Each sheet: Title block with the name of the development, scale, a north arrow, and date -General vicinity of location map drawn to scale -Development phase lines, easements -Ground signage following 33-36.04 Core Area standards. Include location of ground signs along with setbacks from property lines. -Easements for cross-access or cross-parking Occupancy Load -Sign plans, including the location of signs on the site; dimensions of all signs, including maximum square footage, height and width; and distance from the ground to the bottom of the sign display area (including borders) – as required by the director 33-192.10(a)(2)	SP-09	Melissa Winsett	Melissa Winsett	No

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
(f)						
		-Solid waste dumpster detail				
		-Legal description is required on the cover sheet as well as all design professionals including the landscape architect.				
		-Scale (1 inch = 20-foot), per Section 33-132.10(c), on all pages				
		-Sidewalks are required along all ROW and internal to the site. State how pedestrians will safely and conveniently access the site from SR 44.				
		-Pedestrian facilities and their dimensions to ensure they are in compliance with the Florida Accessibility Code.				
		-Statement describing the handicapped accessibility. Refer to the current edition of the Florida Accessibility Code.				
		-Canopy: Gas stations and convenience stores' canopies are required to be constructed with the same or compatible roof design as main building. -Canopy facing and support poles must be constructed of complimentary material as the main building's façade. (See Section 33-94, Section J)				
		-No more than 25 percent of the minimum tree coverage requirements may consist of palms.				
		-Building perimeter landscaping: One canopy tree is required for every 75 feet of exterior building perimeter, excluding building areas not for public view or access. Understory trees and shrubs are also required except for areas not for public view or access. See Section 33-94.				
		-Community Design Standards 33-94 are applicable.				
		-Interior landscaping requirements for vehicle use areas (See Sec. 33-92.02(a))				
		-Each row of interior parking must be terminated at each end by a landscaped area.				
		-Photometric Plan. Per Section 33-94.03(g)2, off-site areas shall be shielded from offensive or excessive illumination and shall not exceed 0.5 foot-candles. Provide photometric readings that prove no lighting will exceed 0.5 foot-candles off-site.				
		-Identify the location of truck loading/unloading and fuel truck delivery areas. Note: Autoturn may be required to illustrate that a large truck will be able to safely navigate the site.				
		-Street lighting consistent with (future) preliminary plat.				
		-Impervious Surface: Provide Existing/Proposed/Total impervious calculations in square				

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		feet/aces & percentages to include: Total site area, impervious area, building coverage, vehicle use area, pavement & sidewalks, open space -Parking calculations in the site data table in Existing/Required/Proposed format. -Provide a parking space typical -Proposed or required screening or buffering mechanism, including walls, hedges and/or fences. -Flood Prone Areas: Please indicate on the plan the flood elevation for the 100-year flood (Coded SE) on the site plan as established by the National Flood Insurance Program, Flood Insurance Rate Map. -Wetlands: The jurisdictional wetland boundary as established by the St. Johns River Water Management District shall also be depicted on the site plan. A permit from FDEP is required for any disturbance. -Irrigation Plan including irrigation lines in the landscape buffers.				
Conceptual Plan Comments: Parking Spaces						
Planning	Draft	Please explain the need for 50 parking spaces since the site requires 24 spaces per Sec. 33-91.03(f) for "Retail Other." Additionally, parking lots are to be shared areas to reduce the PD's impervious surface and stormwater needs. Please identify the location(s) of shared parking.	SP-09	Melissa Winsett	Melissa Winsett	Yes
Conceptual Plan Comment: Bicycle Parking & Amenities						
Planning	Draft	Though the site's square footage is just below the threshold, bicycle parking and amenities are required due to the location having to be compliant with the LWGC local plan. Refer to Section 33-132 for bicycle rack and amenities.*	SP-09	Melissa Winsett	Melissa Winsett	Yes
Conceptual Plan Comment: Access						
Planning	Draft	The conceptual plan shows access that is not planned or approved at this time. Per previous policy-related comment, the driveway locations on SR 44 and Summit Avenue will be preliminarily decided when a TIA conceptual plan is approved. Final determination will occur after the TIA is approved and permits from FDOT and Volusia County are issued. The TIA will also document driveway access type (right-in, right-out, directional, full, signalized) based on the cumulative needs of the PD. Per discussions with the property owner's development team, a conceptual plan for use in the TIA is underway. When completed, it will be forwarded to Volusia County and the city for review and approval.*	SP-09	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Conceptual Plan Comment: Site Data Table						
Planning	Draft	The Site Data table is missing the following: -Impervious Surface Area: 70% Maximum* -Tree Preservation Area: 15% Minimum* -Future Land Use: Lake Winnemissett Gateway Corridor Local Plan -Overlay District: Emerging Gateway -Gross Area of property shown in square feet & acres -Proposed height of buildings -Also: Please state that site is not located in a historic preservation area.	SP-09	Melissa Winsett	Melissa Winsett	Yes
Conceptual Plan Comment: Landscape Buffers						
Planning	Draft	Landscape buffers need to be delineated, showing lengths, widths, and a table comprised of what is required vs. what is being provided for the buffer width and required plantings. Provide the following information for each buffer (table format is preferred): - Buffer Type and Location - Buffer Width - Length of each buffer & calculations per 100 SF. - Required canopy dbh & height - Required # of canopy vs. Provided # of canopy - Required # of understory vs. Provided # of understory - Required number of shrubs & proposed number of shrubs	SP-09	Melissa Winsett	Melissa Winsett	Yes
Conceptual Plan Comments: General						
Planning	Draft	a. Show the site's relationship to the overall development plan.* b. Provide location of the 15% gross acreage minimum required tree protection area. See Tree Protection details (Sec. 33-57.07).* Calculate the site's impervious surface area (70% for C-2).* c. Please label and dimension the required stormwater pond* d. Summit Ave is an Emerging Gateway Corridor (in addition to SR 44). See Sec. 33-36.05 for buffer requirements for the Emerging Gateway Overlay District. Everything else shall follow the general landscape section in the code Sec. 33-92	SP-09	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Conceptual Plan Comments: Notes Notes: 1. These are being listed to assist the applicant with his/her site plan; however, city staff may unintentionally omit items. It is the applicant's responsibility to research all associated requirements. 2. Comments with an asterisk (*) are those that have policy implications associated with	SP-09	Melissa Winsett	Melissa Winsett	No

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
the LWGC local plan, comprehensive plan, and/or Gateway East PD development agreement.						
Policy-Related Comment: Required Plat						
Planning	Draft	Per Section L of Development Agreement, prior to the issuance of any Development Orders, the city can require a plat or site plan showing the layout for the entire PD, which will show the general use locations, access points, and general drainage design for the entire site. The conceptual plan shows the Wawa site on one lot with a proposed vacant lot on the east side. The development interest seen by the city alludes to the need for subdividing Gateway East so that lots may be sold to individual developers. This has not been done. A site plan cannot be submitted for the proposed Wawa until Gateway East is plattd. The plat application will require the necessary master-planning discussed in previous comments.	SP-09	Melissa Winsett	Melissa Winsett	Yes
Policy-Related Comment: Joint Facilities						
Planning	Draft	Stormwater ponds, bus stops locations, frontage/service roads, parking lots, loading facilities, and utility easements are to be shared or joint facilities. Furthermore, Section L of the Summit Place PD states that, prior to issuing any development order, the city is entitled to require a layout of the entire PD showing the general drainage plan as well as a layout for other areas such as general use locations, access points, etc. The respective shared facilities have not been master-planned to create separate developable lots; therefore, the conceptual plan did not account for potential shared facilities despite being required.	SP-09	Melissa Winsett	Melissa Winsett	Yes
Policy-Related Comment: Open Space Networks						
Planning	Draft	The following policies pertain to required open space networks for protected species, wetlands, and environmentally sensitive lands: • Per fl4.3.5w, open space areas must be identified prior to the issuance of a development order for individual projects. To do this, a full environmental report must be completed. • Per fl4.3.6w, a protected species management plan is required. Per fl4.4.3w, coordination is required with county, state, and federal agencies. Furthermore, per the local plan, protected species and habitats are to be clustered. • Per fl4.2.1w, the LWGC local plan requires a network of unifying open spaces that are linked with adjoining developments. • Clustered structures to protect listed species and their habitats and a "network of unifying open spaces" that promote linkage with adjacent developments are required per fl4.2.1w. • Per fl4.3w, the plat is required to be designed to protect and enhance the natural and built environment. • Per fl4.3.2w, "Developments shall be designed to integrate wetlands and other environmentally sensitive lands into an open space network. This network should be linked to similar systems on the same property or adjacent properties, including parcels	SP-09	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		outside of the gateway." - F14.3.6w requires a management plan for the listed species populations. - F14.3.3w requires the original clusters of historic trees to be protected. The conceptual plan does not show connected open spaces or demonstrate that ecological and environmentally-sensitive areas are being avoided. Until open space areas and networks are identified based on ecological and environmental surveys and reports for both PDs, developers will not be able to provide such documentation in their plans.				
Policy-Related Comment: Multimodal Requirement						
Planning	Draft	Policy f14.7.3w requires, as a condition of city approval, that development is designed to facilitate and encourage the internal movement of transit vehicles or provide pedestrian connections to the local road network. Per f14.7.4w, commercial development is to be designed to promote walking and internal capture to reduce impacts on the roadway system. Coordination with Votran for future transit service will occur through the TIA review process. The conceptual plan needs to be revised to move the principal structure towards SR 44 and Summit Ave and add required pedestrian and bicycle facilities. Construction of sidewalks along SR 44 and Summit Ave alone will not adequately address the requirements for promoting walking.	SP-09	Melissa Winsett	Melissa Winsett	Yes
Policy-Related Comment: Access & Internal Circulation						
Planning	Draft	Per the LWGC, policy F14.2.1w, new development is required to have shared access and shared parking and loading facilities to reduce impervious surface area and eliminate the need for multiple access points on the thoroughfare roads, which are SR 44 and Summit Avenue. Additionally, a local roadway, cross-access easements and private ingress/egress easements are all required to maximize potential retention of on-site traffic. It is understood that the conceptual plan only pertains to the westernmost portion of the Gateway East PD and that no other development has been proposed in Gateway East, potentially making the Wawa the first development. However, the LWGC requires a local road that serves all PD development and moves trips within the site and to shared access points. The conceptual plan is required to show the respective local road through the property, stubbing out to the east for future extension.	SP-09	Melissa Winsett	Melissa Winsett	Yes
Policy-Related Comment: Project Design						
Planning	Draft	Policy f14.7.1w of the LWGC requires developments to be consistent with the city's Multimodal Supportive and Mixed-Use Designation Overlay, which supports the principles of mixed-use development that facilitate the use of alternative modes of transportation. Buildings are to be oriented towards and built close to the street line to improve pedestrian access to buildings and reduce walking distances. Projects are to be pedestrian oriented and designed to pedestrian scale (i.e., mix of uses within close proximity, interconnected and traffic-calmed streets, walkways, landscaped buffers, etc.). The conceptual plan is not designed to encourage mixed use and multimodal transportation that retains trips on site and minimizes impacts to adjacent thoroughfare roads. (Note: Please review the LWGC local plan and Community Design Guidelines	SP-09	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		(Sec. 33-94 of the LDRs) for architectural design requirements potentially affecting Wawa's design prototype. The local plan specifies that building design scale and details shall include interesting architecture, varied rooflines, and varied building spacing. Monotonous repetition of identical structures is to be avoided.				
Policy-Related Comment: Master Planning Requirement						
Planning	Draft	Per page 15 of the development agreement, "This Planned Development Plan does not include a detailed map depicting the overall layout of the property, location of uses, access points, etc. Prior to the issuance of any final DOs, regardless of whether the first development application for the property is a preliminary plat or site plan, the city shall be entitled to require such plat or site plan to provide a layout for the entire PD showing general use locations, access points, and general drainage design." The conceptual plan is located within the Gateway East Planned Development (PD) and is located in the Lake Winnemissett Gateway Corridor (LWGC) local plan area within the city's comprehensive plan (See page 1-104, https://www.deland.org/DocumentCenter/View/797/Chapter-1-Future-Land-Use). The LWGC local plan requires developments to be reviewed, designed and developed following specific policy guidelines. The Summit Place PD is also within the LWGC local plan. Both PDs have development agreements that have similar requirements. When the PDs were reviewed and analyzed, much of the zoning-level data and analysis, including mitigation, was deferred until the property(s) had development interest. Within the last year, the city has received applications or development interest from two separate developers for Summit Place and three from Gateway East. However, prior to being able to develop, per both development agreements, the deferred data and analysis must be completed. This includes the delivery of several cumulative studies and master planning of both sites since the local plan and development agreements specify that they are to be reviewed cumulatively because they were once part of the same parent tract. The master planning must reflect designated developable land based on required master planning of tree preservation areas, connected open space systems for habitat protection, protection of Lake Tatum and its associated wetlands, on-site transportation networks, among other areas as required and identified in the comprehensive plan and development agreements.	SP-09	Melissa Winsett	Melissa Winsett	Yes
General & Policy-Related Comments: Local Plan & Devt Agreement Requirements						
Planning	Draft	If the applicant were to pursue submitting a site plan for Wawa, the site would have to be consistent with a completed master plan for Gateway East PD, as described in previous comments, which may result in the need for significant revisions from what is proposed on the conceptual plan. Prior to submitting a site plan application, the seller/property owner (or his/her designee) is responsible for completing several master plan-related documents including, but not limited to, a TIA that analyzes both Gateway East and Summit Place PDs cumulatively and an environmental/ecological survey and study that would identify the developable areas in both PDs.	SP-09	Melissa Winsett	Melissa Winsett	Yes
General & Policy-Related Comments: Master Planning Need						
Planning	Draft	The Gateway East PD has not been master-planned, phased, or platted. Therefore, the	SP-09	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
lots shown on the conceptual plan, along with associated dimensions, are not legitimate.						
Utility Lines						
Utilities	Draft	Will be required to hook up to the water, sewer, and reclaim lines. A Utility Service Agreement will be required.		Jim Ailes	Jim Ailes	Yes

NEW BUSINESS

4



City of DeLand
TRC
SP23-044
APRIL 20, 2023

US HWY 92 (INTL SPEEDWAY BLVD E)

C-2

SUBJECT PROPERTY

VC-B-4

B-4CA

ALABAMA AVE N

104

1435

R-4A

R-6A

Legend:



City Zoning

County Zoning



Not to Scale



City of DeLand
TRC
SP23-044
APRIL 20, 2023

281

US HWY 92 (INTL-SPEEDWAY BLVD E)

C-2

SUBJECT PROPERTY

182

184

VC:B-4

B-4CA

1435

R-4A

1433

ALABAMA AV N

R-6A

Legend:



City Zoning

County Zoning



Not to Scale

Issues for record SP23-044**Job Address: 104 E INTL SPEEDWAY BLVD, DELAND FL 32724****Job Description: Proposed remodel of an automated car wash (tunnel existing), with new pay station and vacuum stations, along with associated site and utility work.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Positive Drainage to Existing Inlet						
Engineering	Draft	1. Please show existing inlet grate elevation south of the car wash building to ensure parking lot proposed grades have positive drainage to this inlet.	C3	Tuan Huynh	Tuan Huynh	Yes
FDOT Standards						
Engineering	Draft	1. Provide a note on plan that all pavement marking and striping to be per FDOT Standard Plan Index 711-001.	C2	Tuan Huynh	Tuan Huynh	Yes
Handicap Space depth						
Engineering	Draft	1. Per City code, handicap spaces are min. 20 feet depth. Plan shows 19 feet.	C2	Tuan Huynh	Tuan Huynh	Yes
Auto Turn Analysis						
Engineering	Draft	1. Please provide Auto Turn Analysis to ensure that city fire truck can enter the middle drive aisle and exit (back-up) the site unobstructed. Please contact Fire Marshall for city fire truck dimensions.	C2	Tuan Huynh	Tuan Huynh	Yes
General Comments						
Engineering	Draft	1. This development is adjacent to International Speedway Blvd.; therefore, FDOT Permit is required. 2. Please provide a copy of the approved SJRWMD permit or exemption upon issuance. This is required before scheduling the pre-construction meeting.		Tuan Huynh	Tuan Huynh	Yes
Hydrants						
Fire	Draft	Please show all hydrants within 500 feet of building. the existing hydrant shown may not be sufficient due to closure of the existing south entrance.	C2	Jamie Lunsford	Jamie Lunsford	Yes
Shrubs						
Forestry	Draft	Please check with Planning whether shrubs are required in this area. Existing mature	L-2	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
landscaping is present that shouldn't need supplemental irrigation. This could reduce impacts to existing trees if additional plantings are removed.						
Dashed line						
Forestry	Draft	What does the dashed line indicate on this page? Please limit any trenching next to the historic tree and the adjacent specimen trees on this property.	13	Mariellen Calabro	Mariellen Calabro	Yes
OAK						
Forestry	Draft	Identify oak trees larger than 9" DBH by species to determine whether they are historic, specimen, or protected trees.	SURVEY	Mariellen Calabro	Mariellen Calabro	Yes
Landscape Planting Note 2						
Forestry	Draft	You have specified Florida Fancy plants. Grade 1 is also acceptable by our Code. No change is needed; we just wanted to make you aware of the option.	L-3	Mariellen Calabro	Mariellen Calabro	No
Agriform Fertilizer Tablets						
Forestry	Draft	The City does not recommend using fertilizer at planting unless soil testing has indicated a deficiency. If there is a deficiency, Agriform tablets may not be the best method of addressing the deficiency.	L-3	Mariellen Calabro	Mariellen Calabro	Yes
Tree Planting Detail						
Forestry	Draft	Trees should be planted on undisturbed soil, not planting soil mix. Revise as shown in multi-trunk tree planting detail.	L-3	Mariellen Calabro	Mariellen Calabro	Yes
UA Specifications						
Your specifications for elm do not match what is shown in Florida grades and standards. Because Planning is requiring 4" DBH trees, you would need to plant trees that are 14' height, 8' spread, 44" root ball or 100-gallon container size.						
Forestry	Draft	Assuming that the trees on your property are all Live Oaks, you would need 51" DBH replacement. With the 12" provided by the plan, you would still need to plant larger trees or more trees to provide sufficient replacement. If you do not want to change your landscape plan, you would need to contribute the inches not planted into the Tree Replacement Reserve Account. At the current rate of \$75 per inch not planted, you would need to contribute \$2,925 to make up for the 39" DBH deficiency.	L-3	Mariellen Calabro	Mariellen Calabro	Yes
Tree Specifications						
Forestry	Draft	It might make more sense to move the specifications to this page rather than the next page. You have plenty of space.	L-2	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Historic Trees						
Forestry	Draft	You appear to have at least one historic tree (30" DBH Live Oak) on your property. (I can't tell if the 36" DBH oak is historic from the information provided.) Please identify any historic and show 1.5 times their drip lines on your plan. Contact Chris Jackson at jacksonc@deland.org if you need to schedule a site visit to determine whether the trees are historic.	L-1	Mariellen Calabro	Mariellen Calabro	Yes
ID Oaks by Species						
Forestry	Draft	All oaks 10" DBH or larger need to be identified by species so we can determine whether they are specimen or protected trees. Assuming that all oaks 10" DBH or larger are specimen trees, your project would require 27"73 DBH replacement of protected trees and 83"2 DBH of specimen tree replacement for a total of 51" DBH replacement needed.	L-1	Mariellen Calabro	Mariellen Calabro	Yes
Tree Protection Area						
Forestry	Draft	Fifteen percent of the site needs to be set aside as tree protection area. Please show this area on your plans.	L-1	Mariellen Calabro	Mariellen Calabro	Yes
Tree Barricade Detail						
Forestry	Draft	Replace with City's 2023 Tree Barricade Detail. If you keep the text next to it, remove the crossed-out text and replace it with "the drip line of the tree or 10' from the trunk, whichever is larger."	L-1	Mariellen Calabro	Mariellen Calabro	Yes
11 Tree Protection						
Forestry	Draft	Replace with City's 2023 Tree Barricade detail. If you keep the text, fencing should be no closer than 10'. This is not a DOT project, so remove reference to Index 110-100, and in Note 7, remove "except adjacent to the property construction area where it may be at one half of the canopy distance on one side only."	C5	Mariellen Calabro	Mariellen Calabro	Yes
Vacuum						
Forestry	Draft	Fix spelling of vacuum in at least two places.	C1	Mariellen Calabro	Mariellen Calabro	Yes
Hours of Operation						
Planning	Draft	You must comply with the city's noise ordinance found in Sec. 20-4 of the code. Please provide your hours of operation.	C2	Kendall Story	Kendall Story	Yes
Rooftop Mechanical Equipment						
Planning	Draft	Show all rooftop mechanical equipment as dashed lines behind a screen wall.	C2	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Color elevations						
Planning	Draft	Please submit color elevations with specific colors, the LRV of each color and the percentage of each color per building elevation.		Kendall Story	Kendall Story	Yes
North LS Buffer						
		You show the 40' LSB, but it does not appear to be meeting the planting requirements of the section below. Please provide a table that demonstrates adherence to the code. See sec. 33-36.05(c): Landscape buffer requirements. a. A minimum 40-foot-wide landscape buffer shall be required along the overlay street frontage. b. The buffer shall be planted with material appearing on the city's approved plant list. c. Canopy trees shall have a minimum four-inch diameter at breast height (DBH) and 14 feet in height at planting. The number of trees shall be based on meeting the requirements of Buffer Standard "D" along the overlay street frontage. The technical review committee will determine the actual spacing of the vegetation, which may include the grouping of trees.				
Planning	Draft		L-2	Kendall Story	Kendall Story	Yes
Site Data Table						
Planning	Draft	Please move the Site Data table to the Site Plan page.	C0	Kendall Story	Kendall Story	Yes
Crash data						
		As discussed in the pre-app meeting, staff still has operational and safety concerns about the onsite circulation/access and potential stacking at the Alabama/access road intersection, which could impact the US 92/Alabama Ave intersection area. To alleviate this concern, please provide 5-years of crash data at and near the site's driveway on the access road.				
Planning	Draft		C2	Kendall Story	Kendall Story	Yes
Foot Candles						
Planning	Draft	You may not exceed 0.5 foot candles at the property line.	PHOTOMET RIC	Kendall Story	Kendall Story	Yes
Property lines						
Planning	Draft	Please make the location of the property lines clear.	PHOTOMET RIC	Kendall Story	Kendall Story	Yes
ADA Parking						
Planning	Draft	ADA parking spaces must have a minimum length of 20'.	C2	Kendall Story	Kendall Story	Yes
Signage						
Planning	Draft			Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
It does not appear that a permit was submitted for the changes to signage. Please provide signage details and apply for the permit.						
Utilities	Draft	Utilities Is there any utility plans for this project? I didn't see any.	C0	Scott Zender	Scott Zender	Yes

NEW BUSINESS

5



City of DeLand
TRC
SP23-046
APRIL 20, 2023

US HWY 92 (INTL SPEEDWAY BLVD E)

C-2

400

SUBJECT PROPERTY

425

R-4A

VC-R-4

PD

Legend:



City Zoning

County Zoning



Not to Scale



City of DeLand
TRC
SP23-046
APRIL 20, 2023

US HWY 92 (INTL SPEEDWAY BLVD E)

C-2

480

SUBJECT PROPERTY

485

425

VC:R-4

R-1

455

445

449

ROSEHILL AV

402

R-4A

406

410

Legend:



City Zoning

County Zoning



Not to Scale

Issues for record SP23-046**Job Address: 0 E International Speedway BLVD, Deland FL****Job Description: PROPOSED OIL CHANGE AND CAR WASH BUILDING WITH SUPPORTING UTILITY INFRASTRUCTURE, QUEUEING LANES, AND VACUUM SPACES**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Roof Drain Connection 1. Please show building roof drain connections to the on-site inlet and storm system.	8	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Connection 1. Storm Inlet I-4 pipe connects into the storm tech aggregate envelop. Should this be connected to the storm chamber portions.	8	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Inlet over Storm Tech Chamber 1. Please show how Storm Type "C" Inlet (structure I-1 and I-8) can be constructed on top of the storm tech chamber. Typically, the inlet is connected to the storm chamber by a pipe. If it connects directly on top of the chamber, then please provide a detail of the connection between structure of bottom and storm tech chambers.	8	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Stop Sign and Stop Bar 1. Provide a standard stop sign and stop bar for the drive aisle exit point next to the car wash facility.	6	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Auto Turn Analysis for Dumpster 1. Provide Auto turn analysis to ensure that dumpster truck can perform the back-up maneuver when pick-up and exiting the site.	6	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Drainage Calculations 1. Report Section 5.1 Curve Numbers for Existing and Proposed By-pass basins show curve number (CN) = 67. But ICPR model input show CN = 64. Please revise ICPR calculations to match.		Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	General Comments 1. This development is adjacent to International Speedway Blvd.; therefore, FDOT Permit is required.		Tuan Huynh	Tuan Huynh	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
2. Please provide a copy of the approved SJRWMD permit upon issuance. This is required before scheduling the pre-construction meeting.						
Fire	Draft	Roadway Area indicated needs to be between 14ft-16ft.	6	Jamie Lunsford	Jamie Lunsford	Yes
Fire	Draft	Auto Turn Show vehicle turn rounds in the vacuum lot and the oil change line. Both distances exceed the 150ft length max. dead end and the largest apparatus must be able to turn around at the dead ends	7	Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	Tree Barricade Detail Update with 2023 version.	12	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Formatting Issue Fix overlapping text at the bottom of the page.	11	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Crape Myrtle and Ligustrum Increase size to 3" caliper. Add 45 gallon container size and 42" spread.	10	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Pine Add 54" spread and 100 gallon container size	10	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Magnolia Add 8' spread and 100 gallon container size.	10	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	24" DBH tree Your graphic shows a 24" DBH tree remaining, but it is not shown on the summary table. Please review your data and make sure that all trees remaining and removed have been included in your calculations.	10	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Protection Area Show the location of your 15% Tree Protection Area on your plan.	10	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Proposed Legend The "Proposed Tree" only shows one type of tree when 5 species are proposed. Update	13	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
legend to show all species of Proposed trees. If proposed trees are not shown on this page, consider removing this item from the legend.						
Proposed Legend						
Forestry	Draft	The "Proposed Tree" only shows one type of tree when 5 species are proposed. Update legend to show all species of Proposed trees. If proposed trees are not shown on this page, consider removing this item from the legend.	11	Mariellen Calabro	Mariellen Calabro	Yes
Proposed Legend						
Forestry	Draft	The "Proposed Tree" only shows one type of tree when 5 species are proposed. Update legend to show all species of Proposed trees. If proposed trees are not shown on this page, consider removing this item from the legend.	10	Mariellen Calabro	Mariellen Calabro	Yes
Proposed Legend						
Forestry	Draft	The "Proposed Tree" only shows one type of tree when 5 species are proposed. Update legend to show all species of Proposed trees. If proposed trees are not shown on this page, consider removing this item from the legend.	9	Mariellen Calabro	Mariellen Calabro	Yes
Proposed Legend						
Forestry	Draft	The "Proposed Tree" only shows one type of tree when 5 species are proposed. Update legend to show all species of Proposed trees. If proposed trees are not shown on this page, consider removing this item from the legend.	8	Mariellen Calabro	Mariellen Calabro	Yes
Proposed Legend						
Forestry	Draft	The "Proposed Tree" only shows one type of tree when 5 species are proposed. Update legend to show all species of Proposed trees. If proposed trees are not shown on this page, consider removing this item from the legend.	7	Mariellen Calabro	Mariellen Calabro	Yes
Proposed Legend						
Forestry	Draft	The "Proposed Tree" only shows one type of tree when 5 species are proposed. Update legend to show all species of Proposed trees. If proposed trees are not shown on this page, consider removing this item from the legend.	6	Mariellen Calabro	Mariellen Calabro	Yes
Proposed Legend						
Forestry	Draft	The "Proposed Tree" only shows one type of tree when 5 species are proposed. Update legend to show all species of Proposed trees. If proposed trees are not shown on this page, consider removing this item from the legend.	5	Mariellen Calabro	Mariellen Calabro	Yes
Tree Barricade Detail						
Forestry	Draft		4	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Update Tree Barricade Detail with 2023 version.						
Tree Removal Summary						
Forestry	Draft	Identify all oak trees by species. Assuming that all trees 10" DBH or larger are specimen trees, your project would require 377" DBH replacement.	3	Mariellen Calabro	Mariellen Calabro	Yes
Proposed Tree Protection						
Forestry	Draft	Change label to Proposed Tree Barricade.	3	Mariellen Calabro	Mariellen Calabro	Yes
24" OAK Tree						
Forestry	Draft	The 24" DBH OAK trees may be historic or large specimen trees. Please contact jacksonc@deland.org for a field review to determine their species. If you need to remove a historic tree, it would need to be reviewed by the Tree Advisory Committee and approved for removal by the City Commission. This is an at least two month process. There is no guarantee that the removal would be approved. Avoiding historic tree impacts is encouraged.	2	Mariellen Calabro	Mariellen Calabro	Yes
Excel Spreadsheet						
Forestry	Draft	Provide an Excel spreadsheet listing all trees on site and whether they will be removed or preserved.	1	Mariellen Calabro	Mariellen Calabro	Yes
Existing Palm Trees						
Forestry	Draft	Add Existing Palm Trees to the Legend.	13	Mariellen Calabro	Mariellen Calabro	Yes
Existing Palm Trees						
Forestry	Draft	Add Existing Palm Trees to the Legend.	11	Mariellen Calabro	Mariellen Calabro	Yes
Existing Palm Trees						
Forestry	Draft	Add Existing Palm Trees to the Legend.	10	Mariellen Calabro	Mariellen Calabro	Yes
Existing Palm Trees						
Forestry	Draft	Add Existing Palm Trees to the Legend.	9	Mariellen Calabro	Mariellen Calabro	Yes
Existing Palm Trees						
Forestry	Draft	Add Existing Palm Trees to the Legend.	8	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Existing Palm Trees Add Existing Palm Trees to the Legend.	7	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Existing Palm Trees Add Existing Palm Trees to the Legend.	5	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Existing Palm Trees Add Existing Palm Trees to the Legend.	3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Existing Palm Trees Add Existing Palm Trees to the Legend.	2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Existing Existing Trees You probably don't need the second "existing."	13	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Existing Existing Trees You probably don't need the second "existing."	11	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Existing Existing Trees You probably don't need the second "existing."	10	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Existing Existing Trees You probably don't need the second "existing."	9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Existing Existing Trees You probably don't need the second "existing."	8	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Existing Existing Trees You probably don't need the second "existing."	7	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Existing Existing Trees You probably don't need the second "existing."	6	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Existing Existing Trees You probably don't need the second "existing."	5	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Existing Existing Trees You probably don't need the second "existing."	3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Existing Existing Trees You probably don't need the second "existing."	2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Cluster Trees in "Tree Cluster" must be identified by species and DBH must be provided.	2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Minimum Tree Coverage If the project area is 87,120 sf, 209" DBH must remain on site to meet minimum coverage requirements. Sheet CS2001 shows that 443" DBH will remain on site, so minimum coverage requirements will be met.	1	Mariellen Calabro	Mariellen Calabro	No
Forestry	Draft	Tree Protection Area Requirements If project area is 38,120 sf, 13,068 sf of Tree Protection Area must be provided.	1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic Trees There may be historic trees on the property (OAK 24).	1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	OAK Identify trees labeled as OAK by species.	1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Barricade Detail Tree Barricade Detail has been provided; however, it needs to be updated with 2023 version.	1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Landscape Plan and Irrigation Plan Landscape Plan and Irrigation Plan have been provided.	1	Mariellen Calabro	Mariellen Calabro	No
Planning	Draft	City Architect Comments		Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Please refer to the document titled "Community Design Comments " for comments from the city architect.						
Bay Orientation						
Planning	Draft	Building mechanical equipment, service, delivery, and work areas, shall be visually screened from pedestrian areas and from public view. These areas shall be located as far as reasonably possible from adjoining residential uses. Vertical lift and overhead garage type doors should not be located on principal facades abutting public rights-of-way. (33-94.03(a)4)		Kendall Story	Kendall Story	Yes
Community Design Standards						
Planning	Draft	All architectural standards must still be approved by the city architect, following the Community Design Standards from the code Sec. 33-94	A3.00	Kendall Story	Kendall Story	Yes
Unclear						
Planning	Draft	The location of property lines is unclear. Please bolden. Max. 0.5 foot candles at the property line are permitted.	LP.1	Kendall Story	Kendall Story	Yes
Empty rectangle area						
Planning	Draft	See mark up on plan. What is the empty rectangular area near the entrance?	6	Kendall Story	Kendall Story	Yes
ADA parking						
Planning	Draft	ADA parking spaces must be a min. 20' in length. You have the correct width at 12' + 5' striped space.	5	Kendall Story	Kendall Story	Yes
Vehicle Use Area						
Planning	Draft	See 33-92.02 Vehicle Use Area. Demonstrate how you're meeting the required landscaping for the vehicle use area.	10	Kendall Story	Kendall Story	Yes
FAR						
Planning	Draft	FAR = 1. Please update your table.	5	Kendall Story	Kendall Story	Yes
linear dimensions						
Planning	Draft	Provide the linear dimensions of the property on the site plan.	5	Kendall Story	Kendall Story	Yes
TPA						
Planning	Draft	15% tree protection area is required. Please delineate on the plan showing what areas	5	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
will be dedicated to tree protection. Demonstrate how the 15% is being met in the site data table.						
ground signs						
Planning	Draft	Will there be any ground signs? Please show location. A separate permit is required for all signage. See Emerging Gateway Overlay standards in Sec. 33-36	5	Kendall Story	Kendall Story	Yes
Roof top mechanical equipment						
Planning	Draft	Show all rooftop mechanical equipment as dashed lines behind a screen wall.	5	Kendall Story	Kendall Story	Yes
Use Permit						
Planning	Draft	FYI may need a User Permit from county and/or FDOT.	1	Kendall Story	Kendall Story	No
parcel & legal						
Planning	Draft	Add parcel ID and legal description on cover.	1	Kendall Story	Kendall Story	Yes
Owner						
Planning	Draft	Owner name on plans doesn't match Volusia Co. property appraiser's website.	1	Kendall Story	Kendall Story	Yes
Description of intended use						
Planning	Draft	Provide a description of intended use.	1	Kendall Story	Kendall Story	Yes
TPA						
Planning	Draft	Provide a table that demonstrates how you're meeting the 15% TPA requirement	10	Kendall Story	Kendall Story	Yes
Vehicle Use Area						
Planning	Draft	Provide a table that demonstrates how you're meeting the vehicle use area requirements.	10	Kendall Story	Kendall Story	Yes
USA						
Utilities	Draft	A Utility service Agreement will be required for this project.	9	Jim Ailes	Jim Ailes	Yes
Utility Contact						
Utilities	Draft	Jim Ailes 1101 s. Amelia Ave. DeLand, FL 32724 386-626-7250	1	Jim Ailes	Jim Ailes	Yes

NEW BUSINESS

6



City of DeLand
TRC
FSB23-049
APRIL 20, 2023



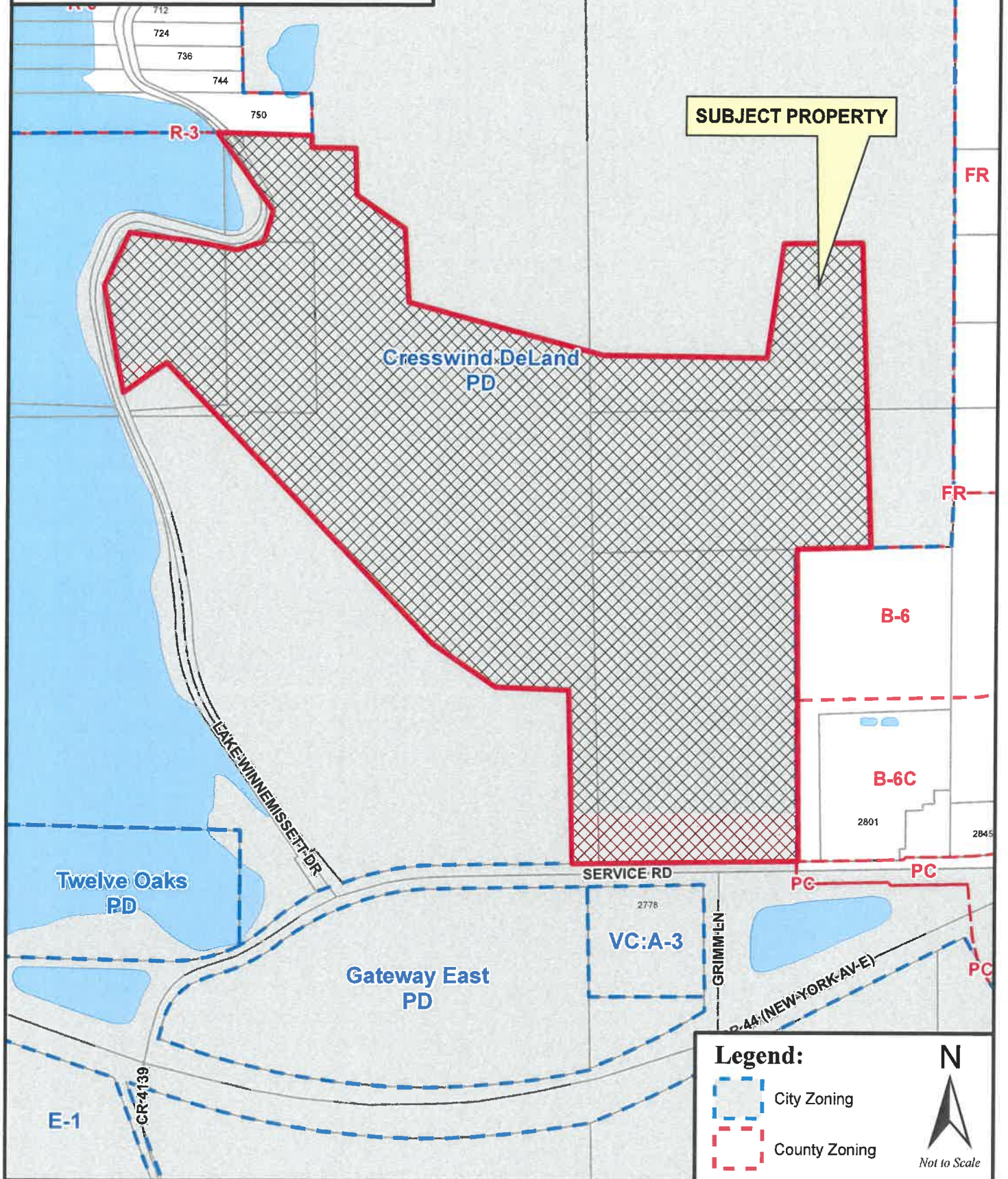
Legend:

- City Zoning
- County Zoning





City of DeLand
TRC
FSB23-049
APRIL 20, 2023



Legend:

-  City Zoning
-  County Zoning



Issues for record FSB23-049**Job Address: 2751 E 2751 E New York AV, Deland Volusia 32724****Job Description: Vacant property in the City of DeLand. The development of the property is intended as a private gated community for the housing of persons 55 years of age and older in accordance with the Planned Development Plan.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Access Roads						
Fire	Draft	Only one access road / exit is indicated on this phase. Two access points / exits are required. Will the amenity center be the second access point?	PAGE: 3	Jamie Lunsford	Jamie Lunsford	Yes
Dead Ends						
Fire	Draft	The dead end roads need to have a compacted area for emergency vehicles to turn around.	PAGE: 3	Jamie Lunsford	Jamie Lunsford	Yes
Dedication						
Forestry	Draft	Tracts A, C, G, H, K and L; Tracts J, N and P; and Tract O are designated as TPA.	PAGE: 1	Mariellen Calabro	Mariellen Calabro	No
TPA						
Forestry	Draft	Change Tree Preservation Area to Tree Protection Area to be consistent with Code language.	PAGE: 1	Mariellen Calabro	Mariellen Calabro	Yes
Tree Protection Area						
Forestry	Draft	Tree protection areas should be separated from the open space and common area tracts. Notes 12 and 17 seem to combine TPAs with open space and common areas.	PAGE: 1	Mariellen Calabro	Mariellen Calabro	Yes
Dates						
Planning	Draft	Indicate the date of the survey and plat preparation.	PAGE: 1	Belinda Collins	Belinda Collins	Yes
Lot location						
Planning	Draft	Verify the location of Lot P-1A .	PAGE: 1	Belinda Collins	Belinda Collins	Yes
Property identification						
Planning	Draft	There are several portions of the property located east of Lake Winnemissett Drive	PAGE: 3	Belinda Collins	Belinda Collins	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
labelled as 1,2,3,10, 11,12,13,14 and 15 that do not have descriptive information. Verify if they are for "future development" and label as such if that is the case for clarification.						
Planning	Draft	Note Because the language in notes 12 and 17 says the same thing, the language and tracts referenced could be combined into a single note.	PAGE: 1	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Tract clarification The location of Tract P-3 is unclear. It appears that Tract P-3 may have been mislabeled as Tract P-6.	PAGE: 11	Belinda Collins	Belinda Collins	Yes
Planning	Draft	TPA Because there are specific requirements and prohibitions for tree protection areas, they should be separate and distinct from the open space and common area tracts. In the NOTES section items 12 and 17 reference TPAs as well as open space and common areas.	PAGE: 1	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Unidentified parcel Verify if the parcel located directly adjacent to lot #33 has a connection to the adjacent stormwater tract.	PAGE: 12	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Development plan For Note 6: The rezoning was approved with Ord. 2020-019 on September 23, 2020.	PAGE: 1	Belinda Collins	Belinda Collins	Yes

NEW BUSINESS

7

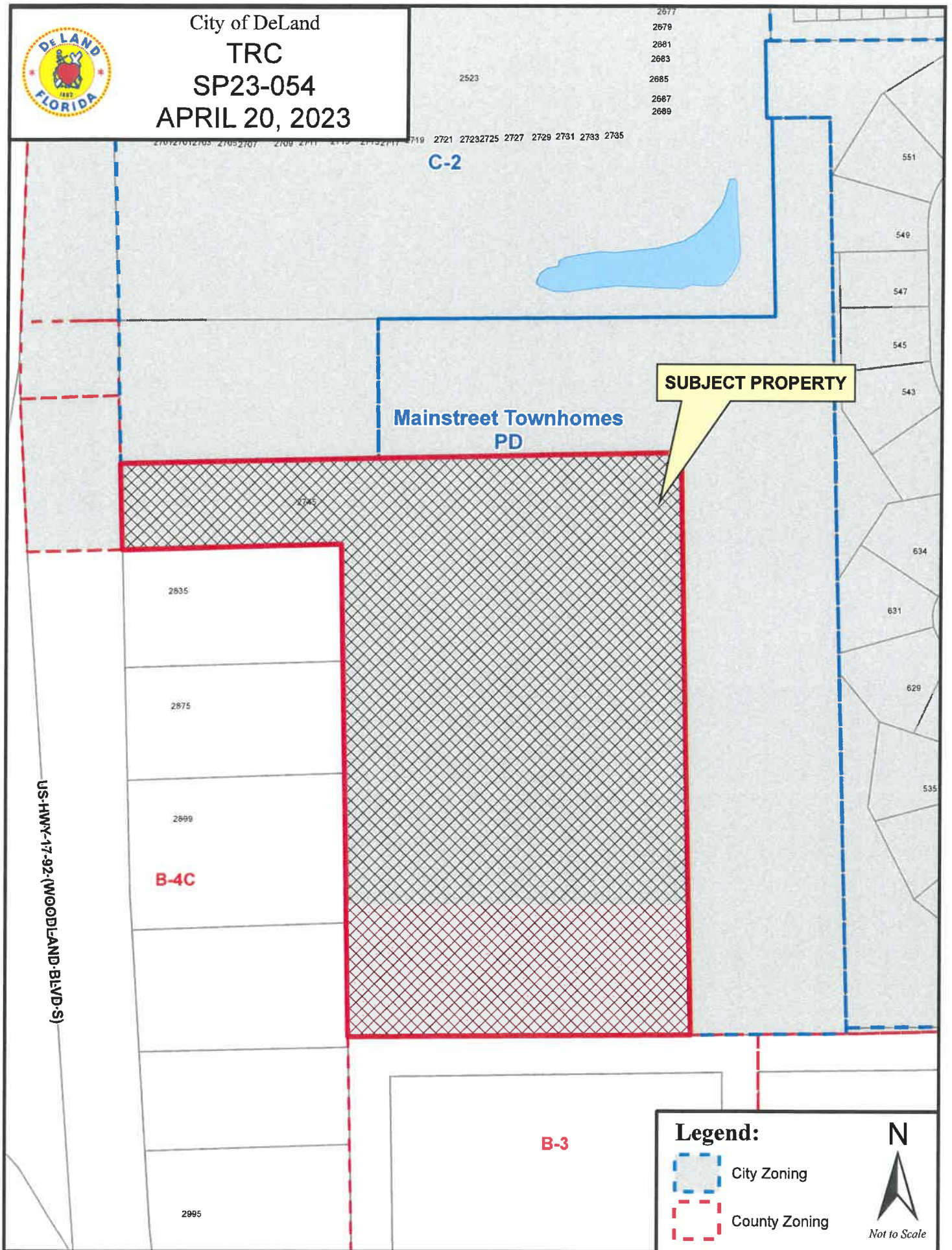


City of DeLand
TRC
SP23-054
APRIL 20, 2023





City of DeLand
TRC
SP23-054
APRIL 20, 2023



Issues for record SP23-054

Job Address: 2745 S WOODLAND BLVD, DELAND FL 32720

Job Description: This Site Plan application is being submitted for the existing Extra Space Storage facility at 2745 S. Woodland Boulevard. Extra Space Storage is the second largest operator of self-storage facilities in the U.S. with properties in 41 states and over 2,000 stores, comprising approximately 1.4 million units and 152.6 million square feet of rentable space. Extra Space Storage knows a safe, secure, and clean property while being user friendly is what customers expect and receive at an Extra Space Storage location. The project is located at 2745 S. Woodland Boulevard, DeLand, FL (Parcel 703300000051). The site currently contains roughly 76,277 square feet of structures, including an office, manager's apartment, and storage buildings. In addition, the site has parking for Boat/RV parking. The property owner, Extra Space Storage, and their development team had a pre-application meeting with Melissa Winsett (Pre-App # 23-10) on February 1, 2023, to discuss the proposed project. The site revisions include building two new mini-warehouse buildings (shown below shaded in dark gray) totaling approximately 39,600 square feet, in areas currently used for RV/Boat/Vehicle parking.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Rooftop Equipment All rooftop mechanical equipment must be screened. Show all rooftop mechanical equipment as dashed lines behind a screen wall.	7	Melissa Winsett	Melissa Winsett	Yes
Engineering	Draft	Impervious Area Coverage 1. Provide a pre-development and post-development impervious area breakdown. If there is no increased in impervious coverage then state this clearly on the plan sheet.	8	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Min. FFE 1. Please show finished floor elevation (FFE) for proposed Building A and B. FFE must be min. one-foot above the existing retention pond 100yr-24hr storm peak stage.	8	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	General Comments 1. This development is adjacent to Woodland Blvd.; therefore, FDOT Permit is required.		Tuan Huynh	Tuan Huynh	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
2. Please provide a copy of the approved SJRWMD permit or exemption upon issuance. This is required before scheduling the pre-construction meeting.						
Forestry	Draft	OAK Identify oaks by species.	I3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Protection Area 2 Show the location of Tree Protection Area on the plan.	7	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Protection Area TPA is based on 7.567 acres, but your project area is shown as 8.55 acres above.	7	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Protection Fence Label as Tree Barricade to be consistent with Tree Barricade Detail. Move overlapping text below C/O S-7.	5	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Preservation Area Relabel Tree Preservation Areas as Tree Protection Areas to be consistent with Code language.	4	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Project Area Is the project area 8.55 aces or 7.576 acres?	4	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Areas A1 and B1 Are the "Tree Preservation Areas" to be removed part of an existing site plan?	4	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Data needed Provide data on trees removed and preserved. We cannot determine whether minimum coverage will be met or confirm tree replacement calculations without data matching the trees' numbers to species and DBH.	I3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Planting Specifications Provide specifications for trees proposed to be planted. To receive 3" DBH credit, the trees need to be 10' height, 6' spread, and in 100 gallon containers. With the revisions proposed, your plan would provide 36" DBH. The table below indicates that 35" DBH replacement will be required.	I3	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Tree Data						
Tree survey, landscape plan, and tree barricade detail have been provided. No irrigation plan has been provided.						
Forestry	Draft	If the project area is 8.55 acres, you would need 55,866" DBH Tree Protection Area and 894" DBH to meet minimum coverage requirements. Please provide Excel spreadsheet showing trees remaining and preserved so we can determine whether minimum coverage requirements have been met.	1	Mariellen Calabro	Mariellen Calabro	Yes
USA						
Utilities	Draft	A Utility Service Agreement may be required if one in the past was not done.	1	Jim Ailes	Jim Ailes	Yes
Sedimentation Control Plan Comment						
Planning	Draft	Please add a statement describing the proposed sedimentation control plan techniques.	5	Melissa Winsett	Melissa Winsett	Yes
Note: City Architect Approval						
Planning	Draft	The city's architect reviewed and approved the proposed plan.	A301	Melissa Winsett	Melissa Winsett	No
Signage						
Planning	Draft	Please include the details and locations of all signage including directional signage.	I0	Melissa Winsett	Melissa Winsett	Yes
Landscaping - General						
Planning	Draft	1. Redevelopment projects that require a Class II, III, or IV site plan are required to meet landscaping requirements of section 33-92 to the fullest extent possible. Due to site limitations, TRC may allow modifications that still meet the intent of the regulations. 2) Landscape buffers need to be delineated, showing lengths, widths, and a table comprised of what is required vs. what is being provided for the buffer width and required plantings. Provide the following information for each buffer (table format is preferred): - Buffer Type and Location - Buffer Width - Length of each buffer & calculations per 100 SF. - Required canopy dbh & height - Required # of canopy vs. Provided # of canopy - Required # of understory vs. Provided # of understory 3) Please provide information on the 15% Tree Preservation Area (TPA) requirement, which is based on gross site area. The site plan sheet contains the TPA information; however, it's provided for the total developed area.	I3	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Miscellaneous Irrigation plan was not provided.	1	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Parking Areas - landscaping 1. If parking abuts the landscape buffer, a shrub hedge is required so as to screen a minimum of 75% of the parking area. 2. Each row of interior parking spaces is required to be terminated at each end by a landscaped area. Please see Sec. 33-92.02(a) for interior landscaping requirements for vehicle use areas.	13	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Landscaping adjacent to Woodland Blvd - Buffer 1. For frontage on Woodland Blvd, a 30-ft landscaping buffer is required (Standard "C") per the Redevelopment Gateway Overlay standards. Everything else shall follow the general landscape section in the code (Sec. 33-92). 2. Redevelopment projects that require a Class II, III, or IV site plan are required to meet landscaping requirements of section 33-92 to the fullest extent possible. Due to site limitations, TRC may allow modifications that still meet the intent of the regulations. If you are requesting an adjustment from TRC, this must be stated on the plan (from "X" to "Y").	13	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Autoturn 1) Please revise to show all circulation movements since the autoturn exhibit doesn't show all movements. For example, demonstrate how a vehicle could navigate the center 2 aisles from the outer 2 aisles is needed. If this movement, as well as the others, isn't allowed for larger vehicles, show how this will be prohibited. 2) Demonstrate how a moving truck (53-ft trailer plus 15' tractor), which people moving to Florida typically use to store their items from their former homes, could navigate the aisles of the site. The largest vehicle used in the autoturn exhibit is 42.15-ft.	10	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Add Statement Please add a statement that the site is or is not in a historic preservation district.	7	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Building Heights Please include the proposed height of new buildings.	7	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Vehicle Use Areas The minimum separation between vehicle use areas and the property line is 10-ft. Since the area on the north side of the driveway is less than 10-ft, staff may adjust or waive this requirement. Please state your request to be voted on at TRC.	7	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Dumpster						
Planning	Draft	Please include the dumpster location and provide dimensions and materials for trash enclosure. Materials must be complimentary to the primary building materials. See the LDC for specific regulations.	7	Melissa Winsett	Melissa Winsett	Yes
Property Lines						
Planning	Draft	Property lines should be clearly shown with dimensions.	7	Melissa Winsett	Melissa Winsett	Yes
Large Truck/Semi Loading & Unloading						
Planning	Draft	Where will large trucks/semis park to unload and load items from the storage units? Please explain. Maintaining safety and mobility is required.	7	Melissa Winsett	Melissa Winsett	Yes
Parking & Project Table (Parking Requirements)						
1. Per Sec. 33-91.01(c)3, please provide gross and net floor area calculations related to parking requirements. 2. In the Parking Requirements row, Proposed column, the table states that there are 58 spaces; however, this is the requirement - not what's being proposed. Please revise the table. (Planning calculated the same number of parking spaces for the uses; however, please revise if necessary due to previous comment about the square footage exact totals.). The required 58 spaces are not illustrated on the site plan. Explain where customers will park when accessing their rented storage units. Please explain if some of the required parking spaces are located adjacent to or near customers' storage units. Also, please provide an explanation regarding why only 7 spaces plus 1 handicapped space are proposed next to the office and apartment.						
Planning	Draft		7	Melissa Winsett	Melissa Winsett	Yes
Pedestrian access						
Planning	Draft	Please show all pedestrian facilities and their dimensions to ensure they are in compliance with the Florida Accessibility Code. Please depict how pedestrians will access the storage buildings from the front office.	7	Melissa Winsett	Melissa Winsett	Yes
Access to US 17-92						
Planning	Draft	Please include the dimensions of the driveway to illustrate that the driveway is built to the current FDOT standard including, but not limited to, a stop signs, double yellow striping, and stop bar.	7	Melissa Winsett	Melissa Winsett	Yes
Scale						
Planning	Draft	Please revise the scale on all pages to 1' = 20'.	7	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Project Data Table: Density						
Planning	Draft	C-2 zoning's maximum density is 1.0 FAR per the Highway Commercial Future Land Use designation.	7	Melissa Winsett	Melissa Winsett	Yes
Project Data Table: Impervious Coverage and Building Height						
Planning	Draft	1. Please provide exact calculation percentages in lieu of "<70%" or "Roughly 45%." 2. The impervious surface area requirement is 70%; however, for redevelopment projects such as this one, TRC may vote to decrease the amount. State the amount for which TRC should vote.	7	Melissa Winsett	Melissa Winsett	Yes
Project Data: Tree Protection Area						
Planning	Draft	Please recalculate the Tree Protection Area based on gross site area - not developed area.	7	Melissa Winsett	Melissa Winsett	Yes
Project Data: Landscape Buffers						
Planning	Draft	1. For clarity, please include requirements, existing, and proposed for the north and south sides of the property even though they are built out. 2. West side should reflect Redevelopment Gateway/Standard D, which is 30-ft. 3. East side should be revised to reflect standard C (not B), which is 20-ft. This is related to the 2nd column referencing the East side twice.	7	Melissa Winsett	Melissa Winsett	Yes
Project Data: Building Area						
Planning	Draft	Please revise the square footages to be exact. Per the site plan, the existing storage building square footage is 75,879 including the units proposed to be removed on the south side of the property. Also, the square footage of the office and apartment is 2823.	7	Melissa Winsett	Melissa Winsett	Yes
Revisions						
Planning	Draft	All revisions must be clouded.	7	Melissa Winsett	Melissa Winsett	Yes
Future Land Use Category						
Planning	Draft	Please add the Future Land Use category (Highway Commercial) to the Project Table.	7	Melissa Winsett	Melissa Winsett	Yes
FDC and Hydrants						
Fire	Draft	Both fire department connections exceed the required 100ft distance from the hydrants. An additional hydrant may be needed. FDCs must be within 100ft of the hydrants.	9	Jamie Lunsford	Jamie Lunsford	Yes