

TRC AGENDA



**CITY OF DELAND
THURSDAY MARCH 16, 2023 AT 1:30 P.M.
CITY OF DELAND TRC MEETING ROOM
DELAND, FLORIDA**

A. CALL TO ORDER

B. ROLL CALL

C. OLD BUSINESS

1. **Review of February 16, 2023 TRC Meeting Minutes**
2. **Applicant Name:** Robert Blackberry – BC DeLand LLC **Belinda**
Project Name: SP22-215 – Class II Site Plan for Tire Service Center
Project Location: 1.16 acres located at 144 Fenway Dr
Project Description: 6,765 square foot service center

D. NEW BUSINESS

1. **Applicant Name:** Nicole Martin – Madden Moorhead & Stokes **Melissa**
Project Name: PSB23-029 – Preliminary Plat for Summit Place
Project Location: 59.88 acres located at N Summit Ave
Project Description: 300 Townhomes
2. **Applicant Name:** Yedlin & Co LLC **Kendall**
Project Name: PSB23-030 – Preliminary Plat for The Canopy At Blue Lake
Project Location: 4.874 acres located at E Wisconsin and east of Miller Rd
Project Description: 12 Single Family Lots
3. **Applicant Name:** LAM Development LLC **Belinda**
Project Name: SP23-031 – Class II Site Plan for 425 South
Project Location: 2.078 acres located at 425 S Woodland Blvd
Project Description: 15,174 SF of retail and office

E. OTHER BUSINESS

F. ADJOURNMENT

OLD BUSINESS

1



CITY OF DELAND
TECHNICAL REVIEW COMMITTEE MEETING
MEETING MINUTES
THURSDAY, FEBRUARY 16, 2023 -1:30 P.M.
CITY HALL

OPENING OF MEETING:

Call to Order:

1:30 pm

Members Present:

Carol Kuhn, Chairperson

Belinda Williams Collins

Melissa Winsett

Debi Glick

Larry Hites

Mariellen Calabro

Ray Bahrami

Tuan Huynh

Scott Zender

Rick Werbiskis

OLD BUSINESS:

1. Approval of the minutes of the TRC Meeting Minutes from January 19, 2023

*Mariellen Calabro moved to approve the minutes with the correction of the meeting date,
Scott Zender seconded the motion.*

The TRC Committee voted unanimously in favor of motion.

2. **Applicant Name:** Robert Blackberry – BC DeLand LLC
Project Name: SP22-215 – Class II Site Plan for Tire Service Center
Project Location 1.16 acres located at 144 Fenway Dr
Project Description: 6,765 square foot service center

Applicants Present:

None Present

Applicant was not present, motion to continue. Revised plans to be submitted by February 24, 2023 for the March TRC meeting.

*Mariellen Calabro moved to continue the application to the March 16, 2023 TRC meeting, at the January 19, 2023 TRC meeting,
Tuan Huynh seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

NEW BUSINESS:

1. **Applicant Name:** Daniel Micohen – CPH
Project Name: SP23-011 – Class II Site Plan for Walmart
Project Location: 23.98 acres located at 1699 N Woodland Blvd
Project Description: 5,128 SF addition

Applicants Present:

Daniel Micohen – CPH
Larry Wray – CPH

Applicant will address all comments as discussed with staff at TRC. Resubmittal must be received by the morning of February 27, 2023 in order to be placed on the March TRC agenda.

*Mariellen Calabro moved to continue the application to the March 16, 2023 TRC meeting, at the January 19, 2023 TRC meeting,
Scott Zender seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

OTHER BUSINESS:

None.

ADJOURNMENT:

2:30 pm

OLD BUSINESS

2



City of DeLand
TRC
SP22-215
MARCH 16, 2023



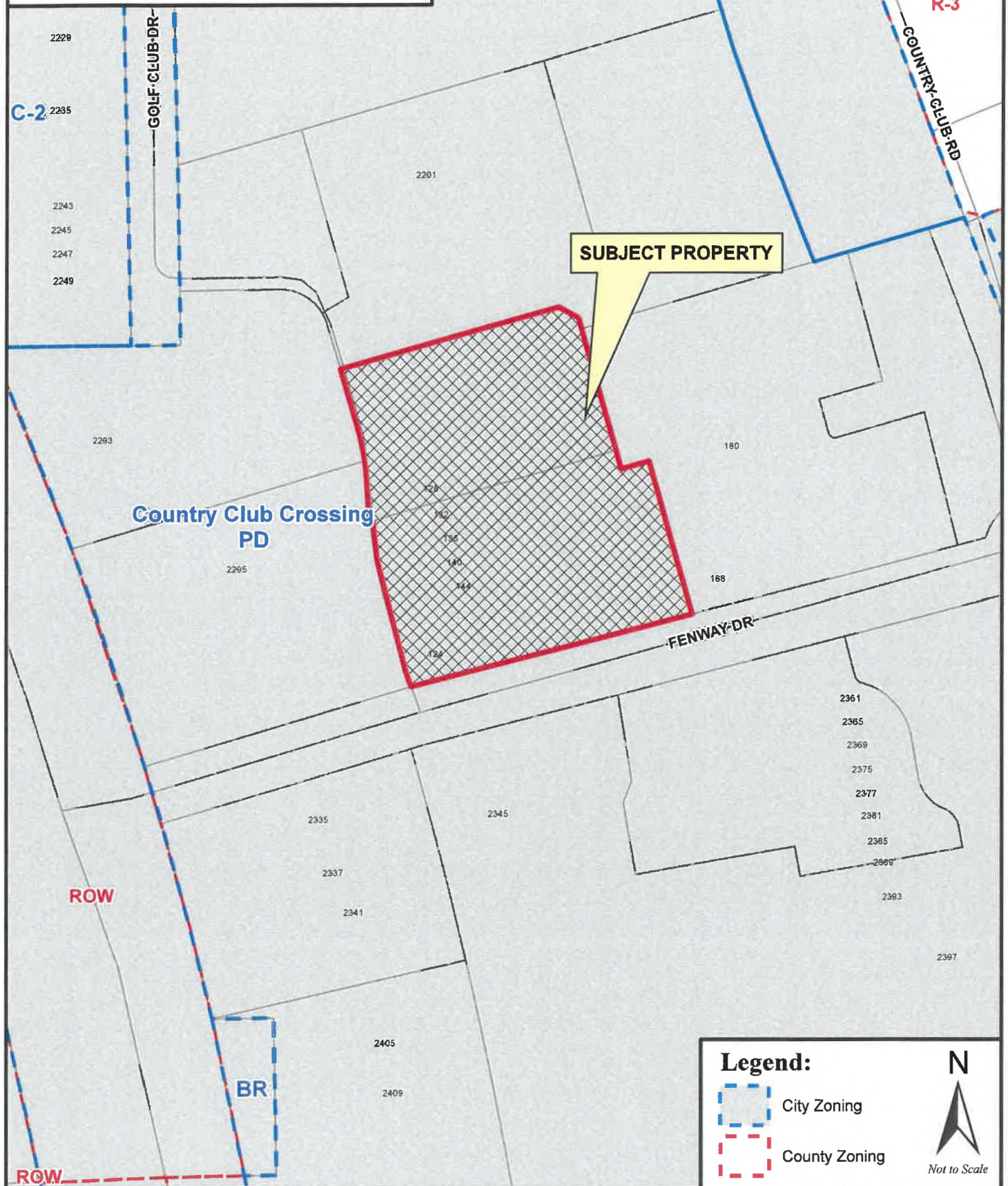
Legend:

-  City Zoning
-  County Zoning





City of DeLand
TRC
SP22-215
MARCH 16, 2023



Issues for record SP22-215**Job Address: 144 FENWAY DR, DELAND FL 32724****Job Description: Development of a tire service center and accompanying onsite infrastructure**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Agriform fertilizer tablets				
		The City does not recommend fertilizer at planting unless a soil test has indicated a deficiency.	L 200	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Barricade Detail				
		An updated version of the tree barricade detail is available. I will add it to the documents section.	L 100	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	QV and UA Specifications				
		Revise specifications to 8' ht., 4' spread, 45 gallon container, and 3" caliper for 2" DBH credit per tree. With these changes, your plan would provide 34" DBH replacement.	L 100	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Not Accepted	Tree Protection Detail				
		Replace Tree Protection Detail with City Tree Barricade Detail.				
		Last comment from reviewer: An updated Tree Barricade Detail is available. I will include it in the documents section.	C-901	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Not Accepted	Last response: Per comment Tree Protection Detail was replaced with City Tree Barricade Detail. Please refer to sheet C-901.				
		Tree legend				
		Add palm trees to tree legend.				
Forestry	Not Accepted	Last comment from reviewer: Palms still have Xs	C-201	Mariellen Calabro	Mariellen Calabro	Yes
		Last response: Per comment palm trees were added to the tree legend. Please refer to sheet C-201.				
Forestry	Not Accepted	Insufficient Tree Information Provided	C-101	Mariellen Calabro	Mariellen Calabro	Yes
		Please provide tree survey, landscape plan, tree worksheets, tree barricade detail, and irrigation plan. If any Tree Protection Area is on this parcel, please show it on the plan. Sufficient landscaping must be provided per the Country Club Corners PD and mitigation plan.				

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Last comment from reviewer: A 1.16 acres site requires 121" DBH to meet minimum coverage requirements. The mitigation plan for Country Club Corners requires 416" DBH of canopy trees and 22 palm trees for Lot 6 mitigation. Last response: Please see revised sheet L-100.				
Planning	Draft	LRV Show the LRV information on the elevations page.	C-101	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Elevations It appears that the elevations are incorrectly labeled: North and South should be switched.	C-101	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Signage Label all signage as illustrative and add the following note: "Signage is shown for illustrative purposes only; a separate sign permit is required".	C-301	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Building equipment All rooftop building mechanical equipment must be screened from pedestrian areas and from public view. Show equipment as dashed lines behind the screen wall.	C-301	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Sign details Provide details on the monument sign and verify if there will be any additional building signage.	C-301	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Garage doors facing r.o.w. The Community Design Standards state that "Vertical lift and overhead garage type doors should not be located on principal facades abutting public rights-of-way." There are bays along Fenway - the main entry road into the shopping center which is a public right-of-way.	C-301	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Easement agreement Verify the use of an easement agreement with the adjacent hotel for the use of the driveway for access to the hotel.	C-301	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Foot candle allowance	C-101	Belinda Collins	Belinda Collins	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		The maximum foot candle allowance around the property perimeter is 0.5. There are several locations on the plan that exceed this limit (see photometric plan).				
		Parking spaces				
Planning	Draft	Parking requirements for an auto service station and auto repair are "2 spaces plus 2 for each bay" $2 + (2 \times 8) = 18$, however, 33 parking spaces have been provided. Explain the rationale for the additional 15 spaces.	C-301	Belinda Collins	Belinda Collins	Yes
		Elevations				
		The following comments were received from the city architect; 1. Colors are to identify the Light Reflectance Values (LRV) of each color. 2. Site plan shows 8 vehicle base with equal sized volumes on either side. Elevations show 12 bays with unequal volumes on either side. The correct layout must be provided.				
Planning	Not Accepted			Danevsky Joseph	Belinda Collins	Yes
		Last comment from reviewer: Show the LRV information on the elevations page.				
		Last response: 1. The LVR values of Colors specified on the Exterior Finish Schedule: • Alabaster – LVR 85.08 • Teal – LVR 16.7 • Color to Match Southport brick- LVR 41.31(Benjamin Moore Baja Dunes) 2. The provided layout is correct. The additional overhead doors at the Tire Storage are fixed.				

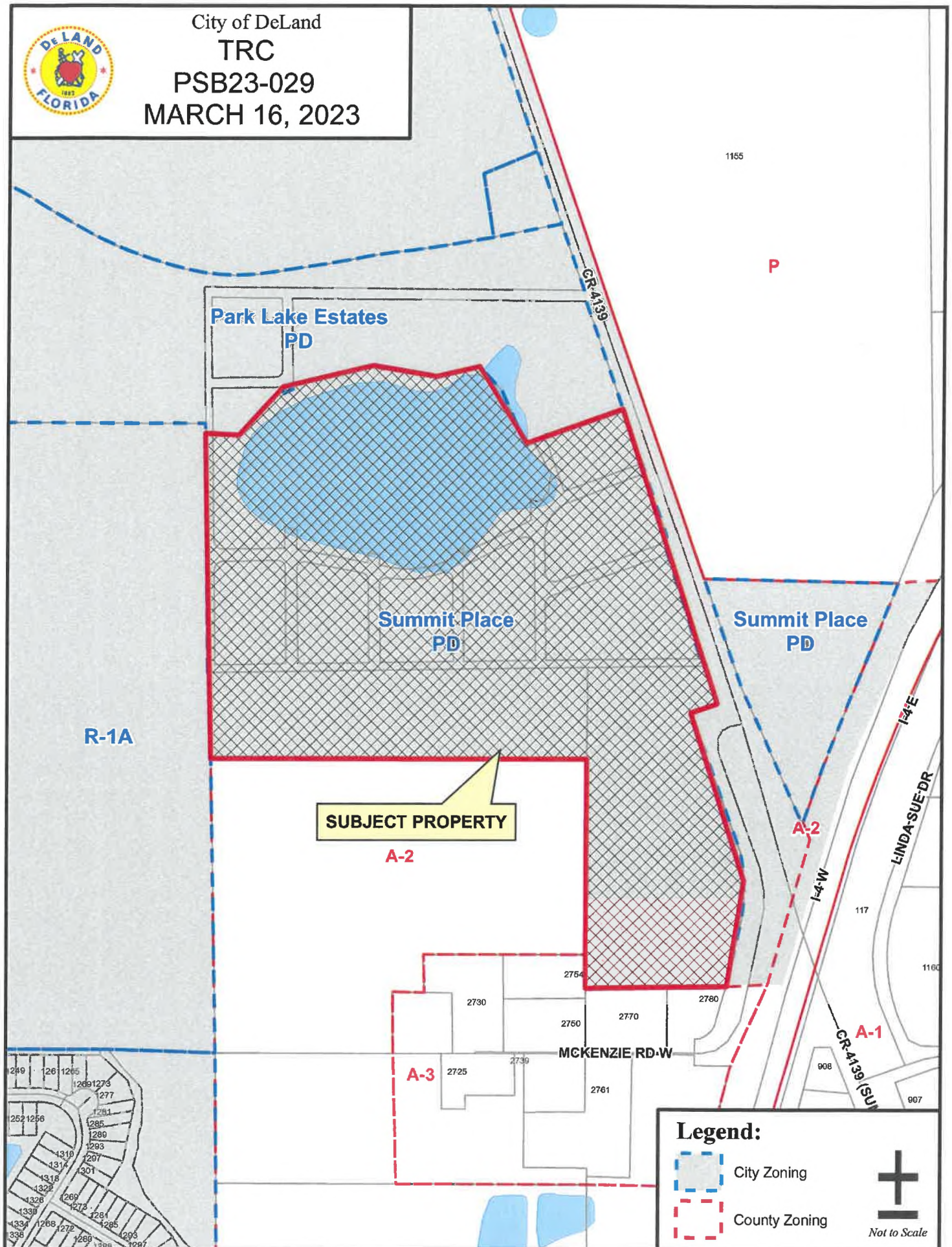
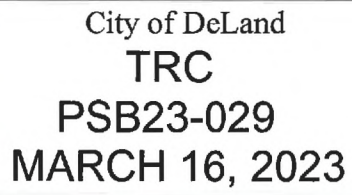
NEW BUSINESS

1



City of DeLand
TRC
PSB23-029
MARCH 16, 2023





Issues for record PSB23-029**Job Address: 0 E SR 44, Deland FL 32724****Job Description: 300 townhome unit development**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Grading Behind Lots						
Engineering	Draft	1. Provide additional grading at the rear open space area behind the lots. Show a define swale centerline grade and slope it toward the inlets. This will direct the drainage away from the rear yard lots and toward the center of the open space areas.	C402	Tuan Huynh	Tuan Huynh	Yes
Structure and Pipe Skew Angle						
Engineering	Draft	1. For storm structures #21, #26, and #43, please check FDOT Storm Drain Handbook (2014), Table 4-3 for the maximum skew angle into structure and Table 4-6 for the recommended minimum angle separation for multiple pipes into structure.	C302	Tuan Huynh	Tuan Huynh	Yes
Grading Notes						
Engineering	Draft	1. Please add following text to Grading Notes on sheet C401 to C403, "Max. grade transition slope and swale side slope is 4:1 (H:V)". 2. Please add following text to Grading Notes on sheet C401 to C403, "Min. gutter slope is 0.24%".	C401	Tuan Huynh	Tuan Huynh	Yes
Stormwater Pond Data						
Engineering	Draft	1. For Pond SMA-1 and SMA-2, please show the top and bottom elevations, NWL, and DHW.	C401	Tuan Huynh	Tuan Huynh	Yes
HC Space Grades						
Engineering	Draft	1. Please show additional spot grades around handicap space to ensure ADA compliance. Slopes cannot exceed 2% in all direction including the landing area.	C401	Tuan Huynh	Tuan Huynh	Yes
Heavy-Duty Pavement						
Engineering	Draft	1. Please show heavy-duty pavement for the main entrance road to this development. Heavy duty pavement section shall be min. 8" thick crushed concrete or 8" limerock base. Please show heavy-duty pavement limits on the plan sheets and add to typical section detail sheet C911.	C911	Tuan Huynh	Tuan Huynh	Yes
Typical Roadway Section						
Engineering	Draft	1. City pavement requirement is 2-inch asphalt lift for SP-9.5 to be completed in two lifts. Please add following note specifications on the plan, "1st asphalt lift to be completed at	C911	Tuan Huynh	Tuan Huynh	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		the final inspection of the roadway infrastructure and 2nd lift to be completed when 95% of the subdivision homes are built or as determined by the City Engineer or designee".				
Engineering	Draft	Control Structures CS-01 and CS-02 1. Post ICPR input shows a Weir Component #3 but it is missing on the plan details. Please show for constructability and to match ICPR input data.	C911	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Additional Drainage Inlets 1. Please check between stations 64+40 and 71+00 whether additional drainage inlets are needed to intercept the basin area runoff (Q) for 10yr-24hr storm event. There is almost 700 feet distance along the street without an inlet.	C303	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Drainage Easements 1. Please label drainage easement widths on sheets C301, C302, and C303 for the proposed storm sewers between the lots.	C302	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	General Drainage Patterns 1. Please show on plan sheets C301, C302, and C303 the stationing grade break (high-point) with flow arrows to see the general drainage patterns.	C301	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Maximum Pipe Length 1. Please check sheets C301, C302, and C303 pipe lengths to ensure it does not exceed maximum allowable per latest FDOT Drainage Manual, Section 3.10.1.	C301	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Pipe sizes and slopes 1. Please show storm pipe sizes and slopes on the plan sheets C301, C302, and C303. This is needed to check velocities requirements. Allowable velocity is based on latest FDOT Drainage Manual, Section 3.6.1, and should be between 2.5 to 15.0 feet per second (Manning's full flow).	C301	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	General Comments 1. Development is adjacent to County Road (CR) 4139. Volusia County Use Permit is required. 2. Please show FEMA Flood Zone A line on all plan view sheets using a darker line weight for clarity. Per stormwater report stating that project has no floodplain impacts, provide box text on the Plan Sheets stating, "Proposed site improvements shall not encroach onto FEMA Flood Zone A limits through grading and/or fill".		Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Drainage Calculations 1. Soils Map: please provide the soil ID and its percentage within the project limits.		Tuan Huynh	Tuan Huynh	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		2. Pre-Development Basin Map: show the project area limits using a color line type for clarity. 3. Pre-Development Basin Map: show the time of concentration path using color line type for clarity. 4. Pre-Development Basin Map: Label Tatum Lake on pre and post basin maps. 5. Pre-Development Hydrology: Basin FP-17A, please use exact curve number = 63.39 and not rounded number 63.0. Since the pre versus post discharges are very close in value it is best to use more precise CN values. Please do for all Pre and Post Basins for hydrology calculations and ICPR input. 6. Hydrology and ICPR Input: Hydrology FP-17A stage-storage spreadsheet top stage ends at 67.00, but ICPR node input continues to elevation 69.00. Hydrology and ICPR input data should match for consistency. 7. ICPR Input: Node FP-17B stage elevation should be input in ascending order to match other nodes input. 8. Hydrology and ICPR Input: Hydrology OFF-3 stage-storage data could not be found in the ICPR node input. 9. Hydrology and ICPR Input: Hydrology DP-2 stage-storage spreadsheet top stage ends at 76.00, but ICPR node input continues to elevation 77.00. Hydrology and ICPR input data should match for consistency. 10. Pre ICPR Node Min/Max Report: Please highlight or box the 25yr-24hr storm maximum total inflow result (116.77 cfs) for node FP-17A to support Pre versus Post discharge summary table in Appendix A. 11. ICPR Input: Please use same name ID for drop structure CS-SMA1 to match the plans, and drainage report to avoid confusion. For example, in ICPR model it is called CS-SMA1 but plan sheet C911 and drainage report narrative it is called CS-01. Do likewise for CS-SMA2, which is called CS-02 on the plans and drainage report narrative.				
Engineering	Draft	Site Data 1. Phase 1 and 2 total units is 300, but plan shows 304.	C100	Tuan Huynh	Tuan Huynh	Yes
Fire	Draft	FDC/Sprinkler System Provide details on the type of sprinkler system being installed as well as the location and size of the FDC. Only show for one building as an example.	C203	Jamie Lunsford	Jamie Lunsford	Yes
Fire	Draft	Fire Hydrant Additional fire hydrant needed within the loop. See area marked.	C203	Jamie Lunsford	Jamie Lunsford	Yes
Fire	Draft	Fire Hydrant Additional fire hydrant needed at the entrance to the subdivision.	C201	Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	Irrigation Plan	C001	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Please provide an irrigation plan for the project consistent with the requirements of your PD and the Lake Winnemissett Gateway Corridor Plan.				
Forestry	Draft	Median and entrance feature trees Who will maintain the trees at the entrance and in the median?	L2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	6' Wall If the proposed 6' wall is located within the Tree Protection Area, the portion where it is located will need to be removed from TPA.	H3	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	6' Wall If the proposed 6' wall is located within the Tree Protection Area, the portion where it is located will need to be removed from TPA.	H2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Protection Areas Show Tree Protection Areas on the plat.	PLAT 1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Multitrunk tree planting detail Multi trunk trees should be planted on native soil as shown on the other graphics.	L10	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Typical Landscape Note 1 In line one, change CALIPER to DBH.	L9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	MYR CER For 2" DBH credit, increase container size to 45-gallon, height to 8', and spread to 3.5'.	L9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	LAG LAV For 2" DBH credit, increase container size to 45 gallon and change spread to 3.5'	L9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	CON SER This is a Zone 10B to 11 species. You can plant it, but we can't count it towards your replacement requirements. If you substitute a similar species, for 2" DBH credit, change container size to 45-gallon, height to 8' and spread to 3.5'.	L9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Understory Trees Change CAL to DBH on the table header.	L9	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	TAX DIS For 2.5" DBH credit, increase container size to 65 gallon and reduce the height to 9' and spread to 2.5'.	L9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	TAB CHR This species is not on our list of approved species. You can plant it, but we can't count it towards your replacement requirements. If you substitute another similar species, for 2" DBH credit, increase container size to 45 gallon and reduce the height to 8' and the spread to 3.5'.	L9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	QUE VI3 Increase container size to 100 gallon and reduce height to 10' and increase spread to 6'.	L9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	QUE VI2 Increase container size to 45 gallon and reduce height to 8'	L9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	QUE VI4 Add 8' spread.	L9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	PIN DEN Increase container size to 45 gallon and reduce height to 8'.	L9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	MAG BLA For 5" DBH credit change height to 17' and add 10' spread.	L9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	LIQ STY For 2.5" DBH credit, change container to 65 gallon and change height to 9' with a 5' spread.	L9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Container sizes Many of the container sizes specified do not match the caliper required to receive the DBH credit shown. Any changes made on this sheet will also need to be made on Sheets L1 to L8.	L9	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Mitigation Cost The current rate of contribution for the Tree Replacement Reserve Account is \$75 per	TREE REPLACEMENT CALCULATI	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		inch not planted. This would increase your contribution to \$544,125, assuming 1,255" DBH of replacement are provided.	ONS 02 17 2023a.pdf			
Forestry	Draft	Oak trees Identify trees 70006 and 70126 by species.	TREE REPLACEMENT CALCULATIONS 02 17 2023a.pdf	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Thank you! Thank you for providing this data in such an organized manner.	TREE REPLACEMENT CALCULATIONS 02 17 2023a.pdf	Mariellen Calabro	Mariellen Calabro	No
Forestry	Draft	Acres of site Update to include entire site minus the pond.	TREE REPORTS 02 17 2023.pdf	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Math error 3 x 38.76 = 116.28 This will change when you update your project area number. 3 x 46.33 = 139. So, your site will not meet specimen tree preservation requirements.	TREE REPORTS 02 17 2023.pdf	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Worksheets Please update tree worksheets based on the total project area minus the lake. Wetlands and proposed retention ponds cannot be excluded from the calculations.	TREE REPORTS 02 17 2023.pdf	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic Tree The Lake Winnemissett Gateway Corridor plan policy fl4.3.3w requires protection of original clusters of historic trees as designated in the Twelve Oaks and Royal Oaks PDs and the protection of any other historic trees located in the Lake Winnemissett Gateway Corridor. Can the highlighted building be removed or modified to save the two-trunked historic tree at this location.	L0	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Coverage Area Minimum Tree Coverage needs to be recalculated based on the entire project area minus the lake.	L1	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Tree Protection Area						
Forestry	Draft	Tree Protection Area is calculated based on the entire project area. You can remove the area of the lake from the calculations, but wetlands and proposed stormwater ponds cannot be removed from calculations.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Natural Tree Save Area						
Forestry	Draft	Please label this as Tree Protection Area if this is its intended use.	C100	Mariellen Calabro	Mariellen Calabro	Yes
Historic Tree						
Forestry	Draft	Can measures be taken to preserve the historic tree on your property? If not, you will need to schedule a review of the project by the Tree Advisory Committee. Commision approval would be required for removal. For removal to be approved, you would need to demonstrate that the tree is in deteriorated condition or that there is no way to avoid the tree in developing the project. Is a pocket park or creative construction measure an option at this location?	T3	Mariellen Calabro	Mariellen Calabro	Yes
Tree Protection Fencing - Typical						
Forestry	Draft	Should this be pointing toward the blue line or the brown line? If the shaded areas are to be protected, it looks like your fencing may be in the wrong location.	T2	Mariellen Calabro	Mariellen Calabro	Yes
OAK 24/10						
Forestry	Draft	We recommend that you schedule a field meeting with Chris Jackson. This tree is close to historic size if it is a Live Oak.	T2	Mariellen Calabro	Mariellen Calabro	Yes
Tree Barricade Detail						
Forestry	Draft	Replace with 2023 Tree Barricade Detail.	T2	Mariellen Calabro	Mariellen Calabro	Yes
Deteriorated Laurel Oak						
Forestry	Draft	Reduced replacement for deteriorated laurel oaks requires an arborist report if it is not included in your PD.	T1	Mariellen Calabro	Mariellen Calabro	Yes
Tree Barricade Detail						
Forestry	Draft	Please update with 2023 version.	T1	Mariellen Calabro	Mariellen Calabro	Yes
Information						
Planning	Draft	Please include the utility provider information on the plan.	C201	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Landscape Buffers	L0	Melissa Winsett	Melissa Winsett	Yes
		Please provide the following information for each buffer (table format is preferred). Note: The plan provides some of this information, but not the total needed for clarification:				
		1. Buffer Type & Location				
		2. Required Buffer Width & Proposed Buffer Width				
		3. Length of each buffer & calculations per 100-Linear ft.				
		4. Required Canopy dbh & Height & Proposed Canopy dbh & Height				
		5. Required number of canopy & Proposed number of canopy				
Planning	Draft	6. Required number of understory & Proposed number of understory	L0	Melissa Winsett	Melissa Winsett	Yes
		7. Required number of shrubs & Proposed number of shrubs				
Planning	Draft	Buffer	L0	Melissa Winsett	Melissa Winsett	Yes
		The Emerging Gateway Overlay requires a minimum 40-ft buffer. The proposed plan does not reflect 40-feet in all locations.				
Planning	Draft	Tree Coverage Calculations	L1	Melissa Winsett	Melissa Winsett	Yes
		The plan reflects a lot size of 38.76 acres; a survey wasn't provided to document the lot's acreage. However, the plat application included parcel ID 7024-00-00-010, which the property appraiser's office shows as having a total of 19.24 acres. The site plan is partially on parcel ID 7024-00-00-0020, which the property appraiser's office shows as having a total of 47.22 acres. Please correct this confusion.				
Planning	Draft	Outbound lane	C601	Melissa Winsett	Melissa Winsett	Yes
		Depending on the results of the TIA, both right and left outbound lanes may be required.				
Planning	Draft	Statement	C401	Melissa Winsett	Melissa Winsett	Yes
		Please add a statement describing the proposed sedimentation control plan techniques.				
Planning	Draft	Advisory Comments	PLAT 1	Melissa Winsett	Carol Kuhn	No
		1) Subdivision Entryways need to meet the requirements in section 33-92.02(c). 2) Certificate of Title: A Certificate of Title is required for all subdivision plats (see section 33-146.04(b)). 3) Include the following note for signage: "Signage is shown for illustrative purposes only; a separate sign permit is required."				

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Historic Tree Preservation						
Planning	Draft	LWGC policy I4.3.3w requires the original clusters of historic trees to be protected. Since the site only has one historic tree, it must be preserved. Please remove the building shown over the respective tree.	PLAT 1	Melissa Winsett	Melissa Winsett	Yes
Building Setbacks						
Planning	Draft	The R-16 zoning classification requires a minimum front setback of 30-feet and rear setback of 40-feet.	PLAT 1	Melissa Winsett	Melissa Winsett	Yes
Building Spacing						
Planning	Draft	Revise building spacing to meet page 9 of the development agreement. The minimum spacing is 25-ft.	PLAT 1	Melissa Winsett	Melissa Winsett	Yes
Restrictions and covenants						
Planning	Draft	Please provide all deed Restrictions and covenants.	PLAT 1	Melissa Winsett	Melissa Winsett	Yes
Minimum lot width and area						
Planning	Draft	Per the R-16 zoning requirements, the minimum lot width for "instances where the two-family is being subdivided for individual ownership; each unit in the two-family shall have a minimum lot width of 37.5 feet." Additionally, the minimum lot area of the same is 3,750 square feet. Some of the lots depict 20-foot widths.	PLAT 1	Melissa Winsett	Carol Kuhn	Yes
Significant Policy-Related Comments						
Planning	Draft	Please see and respond to the attached table containing Lake Winnemissett Gateway Corridor (LWGC) local plan and Summit Place PD-related policy issues pertaining to the proposed preliminary plat. Note: Because of the significant policy-related issues impacting the proposed preliminary plat application, plat/plan comments related to this application may be limited or written specific only to the application submitted.	PLAT 1	Melissa Winsett	Melissa Winsett	Yes
Missing Application Information						
Planning	Draft	1. Transportation Impact Analysis (TIA): A TIA is required with all preliminary plat applications. The applicant submitted a TIA methodology, which is not a TIA. Without the TIA, staff does not have the data and analysis needed to review the project and complete a staff report. 2. Lack of Accurate Property and Survey Information: The plan reflects the site as having 59.86 acres including the Project Area, Lake Area, Wetland Area, and Upland Area. The PD shows "Parcel 3 (aka Parcel D)" as having 60.10 acres. This conflicts with the landscape plan, which shows 38.76 acres. A survey wasn't provided to document the parcel IDs, lots, acreages, etc. of which the project is using. Further complicating the review, the plat application states that the project is located on parcel ID 7024-00-00-010,	C100	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		which the property appraiser's office shows as having a total of 19.24 acres. Per the submitted plans, the site plan appears to be partially on parcel ID 7024-00-00-0020, which the property appraiser's office shows as having a total of 47.22 acres. Please correct this confusion. Also, please include a cover page, which is required, that shows all properties and the project's boundary within those properties. Note: Because gross acreage is uncertain, the maximum density of 16 units, among other requirements, are unable to be confirmed. 3. Cover Sheet: Please include the following in the cover sheet: All parcel IDs, Statement of intended use, Location and vicinity maps that are to scale, Metes and bounds legal description to the cover sheet, Owner name, address and phone number, All design professionals' information. Also include a vicinity map with scale of 1-inch = 2000-ft. 4. Legal Description: Please provide the legal description including total acreage on a separate 8.5' x 11' sheet.				
Planning	Draft	TIA Methodology Comments 1. Policy fl4.6.2 of the Lake Winnemissett Gateway Corridor (LWGC) Plan (Local Plan) within the city's comprehensive plan states: "Once the total number of new, external, daily trips being generated from all new development with a Gateway land use designation exceeds 1,000 trips, an updated TIA per the River to Sea TPO Guidelines for a Transportation Impact Analysis must be prepared and submitted to the City for the entire the TIA must include the entire LWGC. After completion of the updated TIA, the Comprehensive Plan will be reviewed to determine if an amendment is appropriate to incorporate the results." Properties with LWGC land use designation include those within Summit Place PD and Gateway East PD. Due to the comprehensive policy, no development applications will be able to be approved until a TIA is completed for the LWGC Plan. As such, the proposed TIA methodology cannot be accepted since it does not include the other section of Summit Place PD and the entire Gateway East PD. 2. Conceptual Plan comments: The conceptual plan, as proposed, does not meet the requirements of the comprehensive plan and development agreement. Therefore, it will need to be revised. Please see the following: a. The conceptual plan must meet the requirements of the Lake Winnemissett Gateway Corridor (LWGC) local plan such as policy fl4.2.1w that requires interconnectivity to reduce multiple access points on the thoroughfare system and policy fl4.7w that requires bicycle and pedestrian access between the proposed school and residential community. Please refer to the policy-related comments on the proposed plat application for additional information. The conceptual plan needs to be based on a master plan for not only transportation but also environmentally sensitive areas, species protection areas, tree preservation areas, Lake Tatum and associated wetlands protection, etc. Prior to developing a conceptual plan, some master planning must be accomplished in the other areas so that the locations of developable area are understood. Otherwise, developable areas could mistakenly be located in areas needed for connected open areas for protected species habitat or tree preservation areas.	C100	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		b. Comprehensive plan location factors are to be used as the guide to locating uses. Please use these when developing a conceptual plan for TIA. 3. To assist the applicant's traffic engineer (TMC) on the future TIA methodology and TIA, the following are other comments on the Summit Place TIA methodology. These should not be mistaken for the city allowing a TIA methodology for the Summit Place townhome project: a. General: Will the project have gated access? b. Per the LWGC local plan policy fl4.6.1w, please add the following required segments: -Kepler Rd (US 92 to Minnesota Ave) -Beresford Ave (Blue Lake to Kepler Rd) -US 92 (Woodland Ave to Kepler Rd) -SR 44 (Voorhis Ave to Kepler Rd) -SR 44 (Summit Ave to I-4)(note: This is also required due to direct access) -Blue Lake Rd (Plymouth Ave to SR 44)				
Planning	Draft	Advisory/Protected Animals An FFWC permit is required prior to any development activity.	C100	Melissa Winsett	Melissa Winsett	No
Planning	Draft	Wetlands Please depict all wetlands on the plans. The jurisdictional wetland boundary as established by the St. Johns River Water Management District shall also be depicted on the site plan. A permit from FDEP is required for any disturbance.	C100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Species Survey The species survey, completed by Ecological Consulting Solutions, Inc. (September 27, 2021) was provided for parcel number 7024-00-00-0010, where the proposed development is located. However, parcel 7024-00-00-0020, located adjacent/north of the other parcel, is also shown in the project plan and is required for the plat of the entire Summit Place PD. Please revise the report to include both properties.	C100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	McKenzie Road McKenzie Road is a county local road, and a county use permit is required to obtain access/emergency access. Note: McKenzie Road is a road that could have potential to be extended to the west and intersect with Martin Luther King Jr. Blvd one day. Per the local plan, ways of removing site traffic from the thoroughfare roadway network are required.	C100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Summit Ave Driveway The proposed driveway on Summit Ave requires a county use permit and TIA. Please	C100	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		see TIA-related comments. Note: A right turn lane will be required by the county. Please include this on the revised plan. A left turn lane may also be required based on the results of the TIA.				
Planning	Draft	Phasing Clearly identify the phasing lines and include a phasing plan. C100 does not clearly depict such information.	C100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Site Data 1) The total units don't match the Phase 1- and 2-unit count. 2) Per the Multifamily setbacks in the R-16 zoning classification, the front setback is 30-feet and rear setback is 40-feet.	C100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Building Spacing Revise building spacing to meet page 9 of the development agreement. The minimum spacing is 25-ft.	C100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Historic Tree Preservation Per the local plan requirements, preserve the historic tree. The building must be moved.	C100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Open Space Exhibit Include an open space exhibit showing how the required open space percentage is being met.	C100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Street Names Reserve street names and addresses with Volusia County's mapping division.	C100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Impervious Surface Ratio table An Impervious Surface Ratio table needs to be provided that includes the building percentage, pavement/sidewalk/roadway percentage, and pervious/open space percentage. Include the code requirement and the project's proposed.	C100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Missing Items on Plan Future Land Use, Emerging Gateway Overlay, Zoning, Impervious Surface Ratio, Allowed Density & Proposed Density, Maintaining authority/owner of adjoining roads.	C100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Roadway Illustration For clarity, show the entire ROW of I-4 and Summit Avenue.	C100	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Summit Ave Trail				
Planning	Draft	Due to the multimodal requirements of the PD and local plan, include a 12-ft trail along Summit Avenue between parcel 7024-00-00-0010's southern boundary and the Beresford Avenue Extension. The trail cannot be mulch. Also, due to the suburban layout of the plan, which doesn't conform with the requirements of the local plan or development agreement, a minimum of two pedestrian cut-through locations to the trail on Summit Ave will be required.	C100	Melissa Winsett	Melissa Winsett	Yes
		Tract Table				
Planning	Draft	Include a Tract Table with the following columns: Tract, Size, Purpose, Ownership, Maintenance.	C100	Melissa Winsett	Melissa Winsett	Yes
		Required Lot Width				
Planning	Draft	Lots fronting a curve must be 50-feet in width at the street line.	C100	Melissa Winsett	Melissa Winsett	Yes
		Separate Tracts				
Planning	Draft	Separate lot/tracts are required for the pool and retention ponds.	C100	Melissa Winsett	Melissa Winsett	Yes
		Lighting				
Planning	Draft	In lieu of providing a photometric plan, please include a statement on the plan that states that all lighting will full cut-off and dark sky.	C100	Melissa Winsett	Melissa Winsett	Yes
		Pool Parking and Location				
Planning	Draft	Additional parking is required for the pool especially since it is not centrally located and easily accessible for pedestrians. During the redesign, please move the pool closer to the central area of the site.	C100	Melissa Winsett	Melissa Winsett	Yes
		HOA				
Planning	Draft	Please include HOA information on the plan.	C100	Melissa Winsett	Melissa Winsett	Yes
		Parking Requirements				
Planning	Draft	Provide parking calculations in the site data. Include the required parking and proposed. Per Section 33-91.03(f), Multifamily units require 0.5 visitor spaces and between 1 and 2 resident spaces per unit. Please check the code and revise the plan. Also include handicapped parking information.	C100	Melissa Winsett	Melissa Winsett	Yes
		Park Area				
Planning	Draft		C100	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Please include additional amenity features within the development, such as a dog park or playground, located central to the site.				
		Architectural Features				
Planning	Draft	Per 33-94.03(a)8, the city encourages accent towers, architectural art and sculpture, porches and other architectural features as a means of focusing attention on important areas. Please include this in the plan.	C100	Melissa Winsett	Melissa Winsett	Yes
		Site Design				
Planning	Draft	Page 9 of the development agreement requires building design, scale and details to be designed architecturally from both the pedestrian and vehicular points of view. Box and rectangular structures with blank walls are to not permitted. Additionally, multiple buildings on a single site shall provide for a variety of spacing between structures and monotonous repetition of identical structures shall be avoided.	C100	Melissa Winsett	Melissa Winsett	Yes
		Street Names and Addressing				
Planning	Draft	Street names and addressing must be provided as part of the preliminary plat review.	C100	Melissa Winsett	Melissa Winsett	Yes
		Misc. Requirements				
Planning	Draft	Please show group mailboxes and dumpster.	C100	Melissa Winsett	Melissa Winsett	Yes
		Sign Location				
Planning	Draft	Though shown on Hardscape Plan, please show the location of monument signs to be located at the driveways on the ODP. Include the following note: "All signage is shown for illustrative purposes only; a separate sign permit is required."	C100	Melissa Winsett	Carol Kuhn	Yes
		Survey				
Planning	Draft	The boundary, topographic, tree survey shows wetland area acreage of 17.148. The project area's wetland area only shows 3.54 acres. Please revise. Recalculate required areas as needed. Please show the entire site; include match sheets if needed.	C100	Melissa Winsett	Carol Kuhn	Yes
		Submitted Survey				
Planning	Draft	The application and plans only show the western section of parcel number 7024-00-00-0010 and the southern part of parcel 7024-00-00-0020. The plan needs to show the entire limits of both properties. A legend doesn't exist for the reviewer to understand the locations of items on the sheets. One of the sheets needs to include all areas.	C100	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Additionally, a survey is needed for both properties that is two years old or less. The survey will require a Certificate of Accuracy.				
Planning	Draft	Pedestrian Connectivity Per the connectivity requirements in the development agreement, provide a pedestrian connection to the school site on the south side.	C100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Legend Add the following: Dashed line, solid line, FEMA flood zone (dotted pattern)	C100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Overall environmental preservation reflection in the plans The Summit Place development agreement (pages 10-11) specifies the protection of the historic bald cypress stand and associated wetlands and ecosystems surrounding Tatum Lake as a high priority. The 25-ft buffer, which is a minimum requirement, does not meet the development agreement's specification. As such, the flood plain delineation needs to be enhanced to show more detail. The plan does not depict existing wooded areas nor does it show clustering to promote open space/enhanced preservation as described in the local plan and development agreement. Please revise the plans and consider adding a plan sheet to reflect the respective important environmental details.	C100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Environmental Issues Associated with the layout Per page 8 of the development agreement, existing topographical and site features shall be respected and when they are modified they must improve the overall site appearance. Additionally, 15% tree preservation areas, historic tree preservation and wetlands and ecosystem preservation for areas surrounding Tatum Lake are required. The layout fails to demonstrate that the development agreement requirements are being met.	C100	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Architecture - Community Design Standards Please revise the site plan to meet the requirements listed in the Community Design Standards (Section 33-94). The elevations do not appear to comply with the City's Community Design Standards. Please revise the elevations to meet these standards. The resubmittal should describe how these standards are being met.	C100	Melissa Winsett	Carol Kuhn	Yes
Planning	Draft	Historic Tree Preservation LWGC policy I4.3.3w requires the original clusters of historic trees to be protected. Since the site only has one historic tree, it must be preserved. Please remove the building shown over the respective tree.	T3	Melissa Winsett	Melissa Winsett	Yes
Planning	Draft	Development Agreement Requirements	T1	Melissa Winsett	Melissa Winsett	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		The Summit Place development agreement (pages 10-11) specifies the protection of the historic bald cypress stand and associated wetlands and ecosystems surrounding Tatum Lake as a high priority. The 25-ft buffer, which is a minimum requirement, does not meet the development agreement's specification.				
		General Notes				
Planning	Draft	Related to all architectural sheets, please correct the General Notes, #1 to include consistency not only with the building code but also the development agreement, the Lake Winnemissett Gateway Corridor local plan, and the City's Community Design Standards.	CS PEARSON_4 -UNIT	Melissa Winsett	Carol Kuhn	Yes
		Project Title				
Planning	Draft	Related to all architectural sheets, please correct the project's title to be consistent with the name of the application, which is Summit Place.	CS PEARSON_4 -UNIT	Melissa Winsett	Melissa Winsett	Yes
		Required items				
Planning	Draft	Please provide color swatches, any exterior building signage, and material and texture indications. Include any fences and walls, site furnishings, specified pedestrian access paving, etc. Architectural building elevations must be in color per the Community Design Standards. Section 33-94.	CS PEARSON_4 -UNIT	Melissa Winsett	Melissa Winsett	Yes
		Comment from City Architect (3-8-23)				
Planning	Draft	Per the PD requirements, which are also taken from the design standards (94.03 (a)5), the massing of all the buildings is very monotonous. Something should be done to vary the massing of the long straight rows of the same building.	CS PEARSON_4 -UNIT	Melissa Winsett	Melissa Winsett	Yes
		Building Design and Architecture				
Planning	Draft	Page 9 of the development agreement requires building design, scale and details to be designed architecturally from both the pedestrian and vehicular points of view. Box and rectangular structures with blank walls are to not permitted. Additionally, multiple buildings on a single site shall provide for a variety of spacing between structures and monotonous repetition of identical structures shall be avoided. The proposed architecture lacks varied building design and is monotonous. The buildings are flat and unarticulated, lacking varied materials and wall planes. Consider porches on some of the units.	CS PEARSON_4 -UNIT	Melissa Winsett	Melissa Winsett	Yes
		Locate ball				
Utilities	Draft	Add spec sheet for locate balls.	C900	Jim Ailes	Jim Ailes	Yes
		Valves				
Utilities	Draft	Place valves a maximum distance of every 1,000 ft.	C610	Jim Ailes	Jim Ailes	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Utilities	Draft	Reclaim Extend reclaim line stub out past the proposed force main.	C610	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Proposed Open Cuts Volusia County will not allow this and they will need to be directional drilled.	C610	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Reclaim Line Increase reclaim line to 12" to entrance.	C610	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Sewer FM Install valves every 1,000 ft max.	C609	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Reclaim Line Increase line size to 12" and install valves.	C609	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Reclaim Volusia County will require a directional drill instead of open cut. A proposed 12" stub out is show to be installed per Beresford Ave Extension by Crestwind.	C609	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Note #3 Needs to say Kepler or MLK. Line has been installed from Blue Lake already.	C203	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Reclaim lines Lines and services need to be shown.	C203	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Water Main Extend 8" water main to McKenzie Rd and connect to 12" water main to loop.	C203	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Water Main Complete 12" water main from main entrance to the second driveway.	C203	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Reclaim Extension Kepler or MLK would be the current requirement.	C202	Jim Ailes	Jim Ailes	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Utilities	Draft	Missing sewer service	C202	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Reclaim Master Meter If the reclaim is master metered by entrance, the system will be privately owned and maintained. Why was this option chosen?	C201	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Valves Need valves installed every 1,000 feet as a minimum on offsite water, sewer fm, and reclaim lines.	C201	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Water Stub Out Increase stub out to 12" line size and extend down to the other entrance for better looping.	C201	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Offsite Reuse Line Line is shown as a 6" and needs increased to a 12" line size.	C201	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Offsite Water Main Offsite water main is shown as a 8" and needs to be increased to a 12" size.	C201	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Additional Reclaim Note Reclaim locate balls need installed on both the mains and service whips. 10 GA locate wire is required to be used as well.	C003	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Water Note Locate balls need installed per city spec on water mains and services. 10 GA locate wire is required as well.	C003	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Additional Notes All lines need to be televised and thumb drive provided to the city for review and acceptance. Locate balls need to be installed on sewer laterals. All sewer main need to be air tested.	C003	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	USA A Utility Service Agreement will be required for this project.	C001	Jim Ailes	Jim Ailes	Yes

NEW BUSINESS

2



City of DeLand
TRC
PSB23-030
MARCH 16, 2023



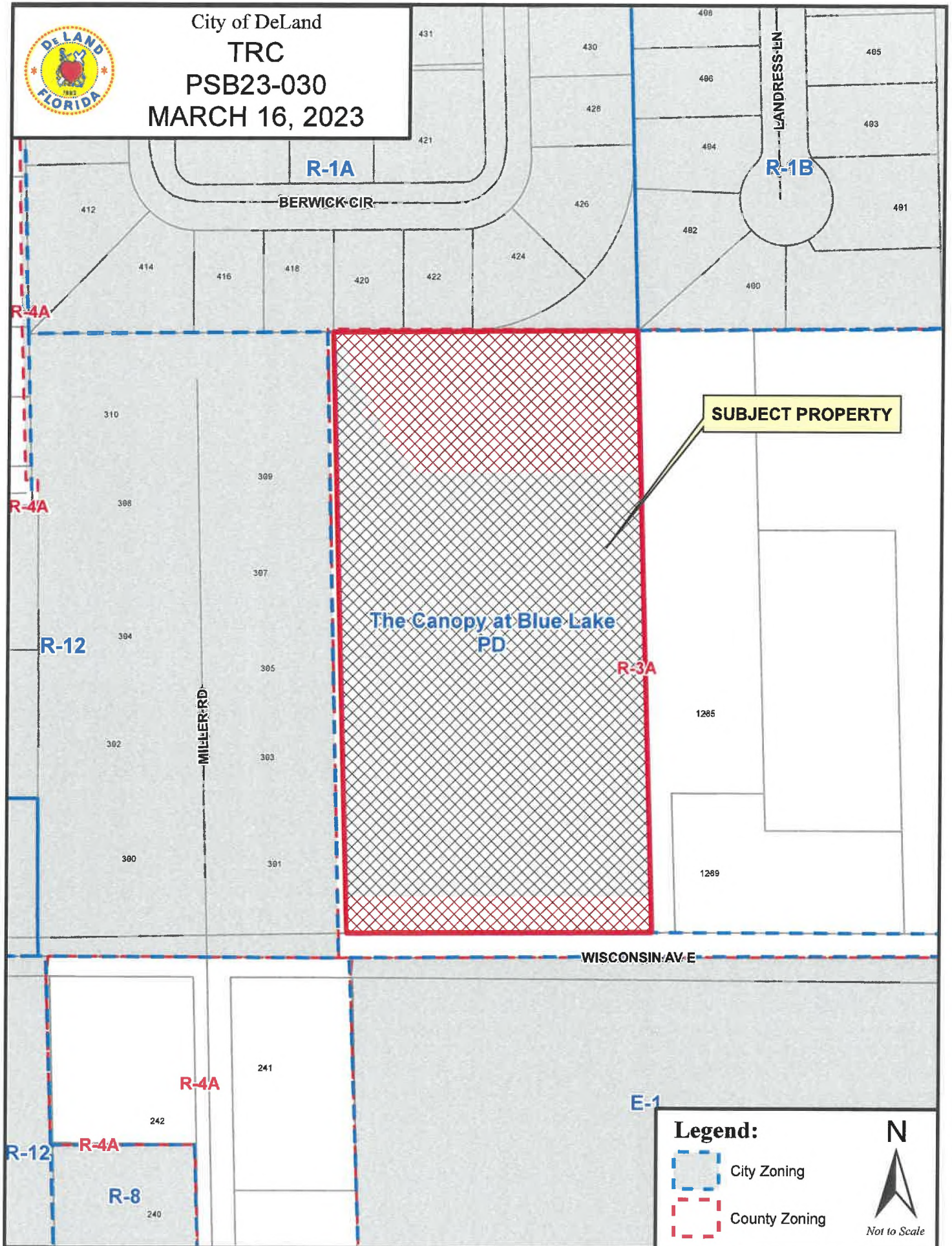
Legend:

-  City Zoning
-  County Zoning





City of DeLand
TRC
PSB23-030
MARCH 16, 2023



Issues for record PSB23-030**Job Address: 1 E Wisconsin AV, Deland Florida 32724****Job Description: Propose a 12-unit Single Family home residential subdivision on an existing undeveloped 4.87-acre site to be known as "The Canopy at Blue Lake".**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Upsize Storm Pipe 1. Please upsize storm pipe from inlet I-08 to I-04 to 18" diameter pipe.	11	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Pond Limits Sod 1. Is the bottom of pond to be sodded? Please note clearly on the plan.	10	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Minimum Free-Board 1. Pond must provide at least 1-foot of free board above the 25yr-24hr storm peak stage.	10	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Bubble Up Structure 1. Around bubble-up structure, please provide 4" thick concrete in lieu of rip rap bag. This provides better erosion protection and less maintenance long-term. 2. Bubble up structure detail shows 18" inflow pipe. But the plan view sheet shows 24" pipe into the pond.	10	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Turn off Tree Protection and Silt Fence information 1. Please turn off the silt fence and tree protection information on this sheet for clarity.	9	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Detectable Warning Mats and ADA accessibility 1. Show detectable warning mats at the sidewalk ramps prior to the crosswalks and note per FDOT Standard Plans Index 522-002. 2. Provide one additional sidewalk crossing with ramps near the cul-de-sac for internal ADA accessibility.	8	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	General Comments 1. Development is adjacent to Volusia County maintained roads along Wisconsin Ave. County Use Permit is required. 2. Please provide a copy of the approved SJRWMD permit upon issuance. This is required before scheduling the pre-construction meeting.		Tuan Huynh	Tuan Huynh	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Drainage Calculations 1. Report Narrative, mention who is responsible for the maintenance of the stormwater pond and drainage system after construction and provide the entity or HOA name. 2. Post ICPR Input - Weir Link: Emergency overflow bottom width is 50 feet in ICPR but is shown as 75 feet on the Pond Plan sheet 10. Please revise ICPR calculation and plans to match. 3. The 100yr-24hr storm must be routed through the pond. The lot minimum finished floor elevation (FFE) must be 1-foot above the 100-year storm peak stage.		Tuan Huynh	Tuan Huynh	Yes
Forestry	Draft	Additional Tree Data Needed Additional tree species data is needed to provide a complete review of this project.	1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Barricade Detail Replace with 2023 version of Tree Barricade Detail	7	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic Trees You may have historic trees on the property. Identify oaks by species to determine whether they are protected, specimen, or historic.	6	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Oaks and Pines Identify oaks and pines by species.	6	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Unlabeled Line What does the unlabeled line indicate?	6	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Barricade Add tree barricade around all trees to remain.	6	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Emory Oak Emory Oak is a west coast species. Replace label with correct species.	6	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	DAM Please indicate on the legend what DAM indicates.	6	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Site Data If the project area is 212,320 sf, the minimum coverage requirement would be 510" DBH.	5	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Without additional information, I cannot determine whether minimum coverage requirements have been met.				
Forestry	Draft	Irrigation Plan Provide Irrigation Plan.	1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Root ball placement The bottom of the root ball should be on existing or recompact soil on the Staking Details.	L2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Worksheets Please include tree replacement, specimen tree, tree protection area and minimum tree coverage worksheets with next submission.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Irrigation Plan Please provide irrigation plan for the project.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Area to Remain Natural If this area is Tree Protection Area, please label it as such.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Front Yard Trees Provide specifications and species for front yard trees if they have not already been included in the Plant Schedule.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Camphor Fix spelling of camphor in the tree legend. Camphor cannot be used toward minimum coverage requirements. Removal of camphor does not require replacement.	6	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Existing Tree Legend This legend should match what is shown on Sheet 6.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Repalcement Provided If you replace the River Birch with another species, your plan would provide 144" DBH in canopy trees and 46" DBH in understory trees for a total of 190" DBH. Without additional information, I cannot determine whether sufficient replacement has been provided.	L1	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Plant Schedule Specifications Add height, spread, and container size to specifications per Florida Grades and Standards requirements.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	River Birch River Birch is not on the list of approved species. You can plant it, but it cannot be used towards tree replacement requirements.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Barricade Tree barricade needs to be placed around all trees to be preserved. As an alternative to barricading each tree, you can run the tree barricade along the silt fence.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic trees What are the species of the 78 and 24 inch oak trees? They may be large enough to be historic depending on species.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Emory Oak Emory Oak is a west coast species. Please provide correct identification.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	DAM What does DAM indicate on the survey. Please add it to the legend.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Oaks and Pines Identify oaks and pines by species.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Trees Removed and Preserved Provide a spreadsheet showing trees to be removed and preserved.	L1	Mariellen Calabro	Mariellen Calabro	Yes
Planning	Draft	title opinion Please note, the final plat requires a current Title Opinion	P2	Kendall Story	Kendall Story	No
Planning	Draft	certification The Certificate of approval should be from the city commission, not county council.	P2	Kendall Story	Kendall Story	Yes
Planning	Draft	dedication	P2	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Change the Surveyor Dedication from "County" to City				
		ROW widths				
Planning	Draft	Provide the ROW widths for Blue Lake & Wisconsin	P2	Kendall Story	Kendall Story	Yes
		tract labels				
Planning	Draft	The plat labels "Tract B" four times, but no Tract C, D, E.	P2	Kendall Story	Kendall Story	Yes
		tracts				
Planning	Draft	Each tract should have closed lines, just like a parcel would. These tracts are open ended and we cannot tell where which one ends and the other one begins.	P2	Kendall Story	Kendall Story	Yes
		table				
Planning	Draft	Include a tract table to include the following: Tract A,B,C, etc. Size Purpose Ownership Maintenance	P2	Kendall Story	Kendall Story	Yes
		reserve street names				
Planning	Draft	Be sure to reserve street names and addresses with the county's Mapping Division; street names and addresses must be approved before final plat		Kendall Story	Kendall Story	No
		use permit				
Planning	Draft	FYI – a use permit from county needed for ROW connection		Kendall Story	Kendall Story	No
		revisions to be clouded				
Planning	Draft	Be sure to cloud all revisions		Kendall Story	Kendall Story	Yes
		north buffer				
Planning	Draft	The North buffer is the correct Type(B) and width on the plan, but add a note that the PD requires the density of this north buffer to follow the Type C planting standards. The number of plantings provided is satisfactory.	L1	Kendall Story	Kendall Story	Yes
		south buffer				
Planning	Draft		L1	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		South buffer (328 LF) Type D (30') requires: 7.6c/100 LF 7.6c x 3.28 = 25; not 23 4.5us/100 LF 4.5x3.28 = 15; not 12 33 shrubs/100 LF 33 shrubs x 3.28 = 108; not 100				
Planning	Draft	west buffer West buffer (646 LF) Type C (20') requires: 4.8 c/100 LF; not 4. 4.8x6.46 = 31; not 26 2.4 us/100 LF; not 1.2 2.4x6.46 = 16; not 8; 24 shrubs/100 LF; not 12 24x6.46 = 155; not 78	L1	Kendall Story	Kendall Story	Yes
Planning	Draft	canopy trees per lot Each lot must provide 1 canopy tree/2,500 sq. ft. of property.	L1	Kendall Story	Kendall Story	Yes
Planning	Draft	irrigation Is this an irrigation line? See arrow	L1	Kendall Story	Kendall Story	Yes
Planning	Draft	tpa Show the TPA location and size	L1	Kendall Story	Kendall Story	Yes
Planning	Draft	site lighting Will there be any on street lighting? What about around the mail kiosk and common area? Bicycle parking? If any site lighting is proposed, please include a photometric plan that includes the lighting for the common areas.	8	Kendall Story	Kendall Story	Yes
Planning	Draft	sidewalks Label and dimension all proposed sidewalks and their widths; pedestrian paths, bicycle paths	8	Kendall Story	Kendall Story	Yes
Planning	Draft	adjacent subs Show the names and locations of any adjacent subdivisions.	8	Kendall Story	Kendall Story	Yes
Planning	Draft	driveways	8	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Include the location, width and length of proposed driveways – per PD, the driveways must be sized to accommodate two full size cars.				
Planning	Draft	density Demonstrate how the residential density standard is being met. This can be part of a site data table.	8	Kendall Story	Kendall Story	Yes
Planning	Draft	walls Include the location, height, type of any subdivision walls/fences and include the elevations for the top of wall and bottom of wall at 5-foot intervals.	8	Kendall Story	Kendall Story	Yes
Planning	Draft	signs Add the location of monument sign(s) proposed and add the following note: "signage is shown for illustrative purposes only; separate sign permit is required".	8	Kendall Story	Kendall Story	Yes
Planning	Draft	subdivision plan Provide a subdivision plan, similar to the approved PD concept plan, in which all dimensional standards and site data are listed in a table and reflected in the drawing. Add the FLU, zoning also.	8	Kendall Story	Kendall Story	Yes
Planning	Draft	unknown lines Unsure of what some of the lines are for. I've added clouding around a few examples.	8	Kendall Story	Kendall Story	Yes
Planning	Draft	property lines when creating the subdivision plan, the individual lot lines and development boundary line need to be boldened to make boundaries clear. Looking at it right now, the dimensional arrows and lot lines and easements all blend together. The dimensional lines are weighted the same as the property lines, creating the issue.	8	Kendall Story	Kendall Story	Yes
Planning	Draft	site data add the dimensional requirements and site data to your subdivision page, once one is created.	5	Kendall Story	Kendall Story	Yes
Utilities	Draft	Sanitary Sewer A note needs added that the system needs televised and a thumb drive provided to the city to confirm acceptance of the system. In addition the system needs to be air tested.	13	Jim Ailes	Jim Ailes	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Utilities	Draft	Reclaim Lines Reclaim system needs extended to this project and lines installed and meters shown next to sewer connections.	12	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Meters Why do you show double meters at the lot line. Irrigation only meters are not allowed if that is the reason.	12	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Reclaim Line Extension A 10" reclaim in on the east side of Hill Ave or 12" reclaim line is on the east side of Blue Lake Ave. Either way is approximately 1,000 ft and needs extended to the project site with a minimum 6" diameter pipe.	5	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	City Details Need to have updated details that are dated 11/7/2022 these details are old.	18	Scott Zender	Scott Zender	Yes
Utilities	Draft	City Details Need to have updated details that are dated 11/7/2022 these details are old.	17	Scott Zender	Scott Zender	Yes
Utilities	Draft	City Details Need to have updated details that are dated 11/7/2022 these details are old.	16	Scott Zender	Scott Zender	Yes
Utilities	Draft	City Details Need to have updated details that are dated 11/7/2022 these details are old.	15	Scott Zender	Scott Zender	Yes
Utilities	Draft	Utility Layout Water should be on the opposite side of property away for the sewer. Why do you have two water services per lot should only be one?	12	Scott Zender	Scott Zender	Yes
Utilities	Draft	Main Tapping Reclaim Water Main Construction Notes 21. The city will not tap any mains this will be the developer's responsibility.	5	Scott Zender	Scott Zender	Yes
Utilities	Draft	Curb Marking Reclaimed Water Construction Notes	5	Scott Zender	Scott Zender	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		18. All services will be marked with a R all valves will be marked with a V and Painted Purple not a X. Reverse side tap will be marked the same as a valve.				
Utilities	Draft	Phone Number Reclaimed Water Construction Notes 1. Please correct phone number it should be (386) 626-7192	5	Scott Zender	Scott Zender	Yes
Utilities	Draft	Sanity Gravity Sewer and Force Main Construction Notes 23. Sewer Lateral will be marked with a S painted green and not a V, also no metal tags	4	Scott Zender	Scott Zender	Yes
Utilities	Draft	Sanity Gravity Sewer and Force Main Construction Notes 20. The City will require that the gravity sewer be air tested	4	Scott Zender	Scott Zender	Yes
Utilities	Draft	FDEP Water Notes FDEP Water Notes 12. remove asbestos-cement pipe, the City does not allow this type of pipe	4	Scott Zender	Scott Zender	Yes
Utilities	Draft	Tapping of Water Mains Potable Water Construction Notes 22. All tapping of the mains will be done by the developer and NOT the City	4	Scott Zender	Scott Zender	Yes
Utilities	Draft	Marking of Water Service and Valves Potable Construction Notes 20. Water service will be marked with a W and painted blue not a ^ 21. Valves will be marked with a V painted blue not a X and reverse side tapping valves just need to be marked with a V painted blue not an X with a arrow No metal tags	4	Scott Zender	Scott Zender	Yes
Utilities	Draft	Water Service Secured The service whip is a minimum of 36" above the ground would recommend that under Potable Water Construction Notes number 7, that the service line be secured at a minimum of 24" above ground	4	Scott Zender	Scott Zender	Yes

Conditions and notes for record PSB23-030
Job Address: 1 E Wisconsin AV, Deland Florida 32724
Job Description: Propose a 12-unit Single Family home residential subdivision on an existing undeveloped 4.87-acre site to be known as "The Canopy at Blue Lake".

Discipline	Status	Type	Details	Attached To	Created By
Utilities	Draft	Condition	Phone Number Sanitary Gravity Sewers and Force Main 1. Please change phone number to (386) 626-7192	4	Scott Zender
Utilities	Draft	Condition	Phone Number Potable Water Construction Notes 1. Please change phone number to (386) 626-7192	4	Scott Zender

NEW BUSINESS

3



City of DeLand
TRC
SP23-031
MARCH 16, 2023



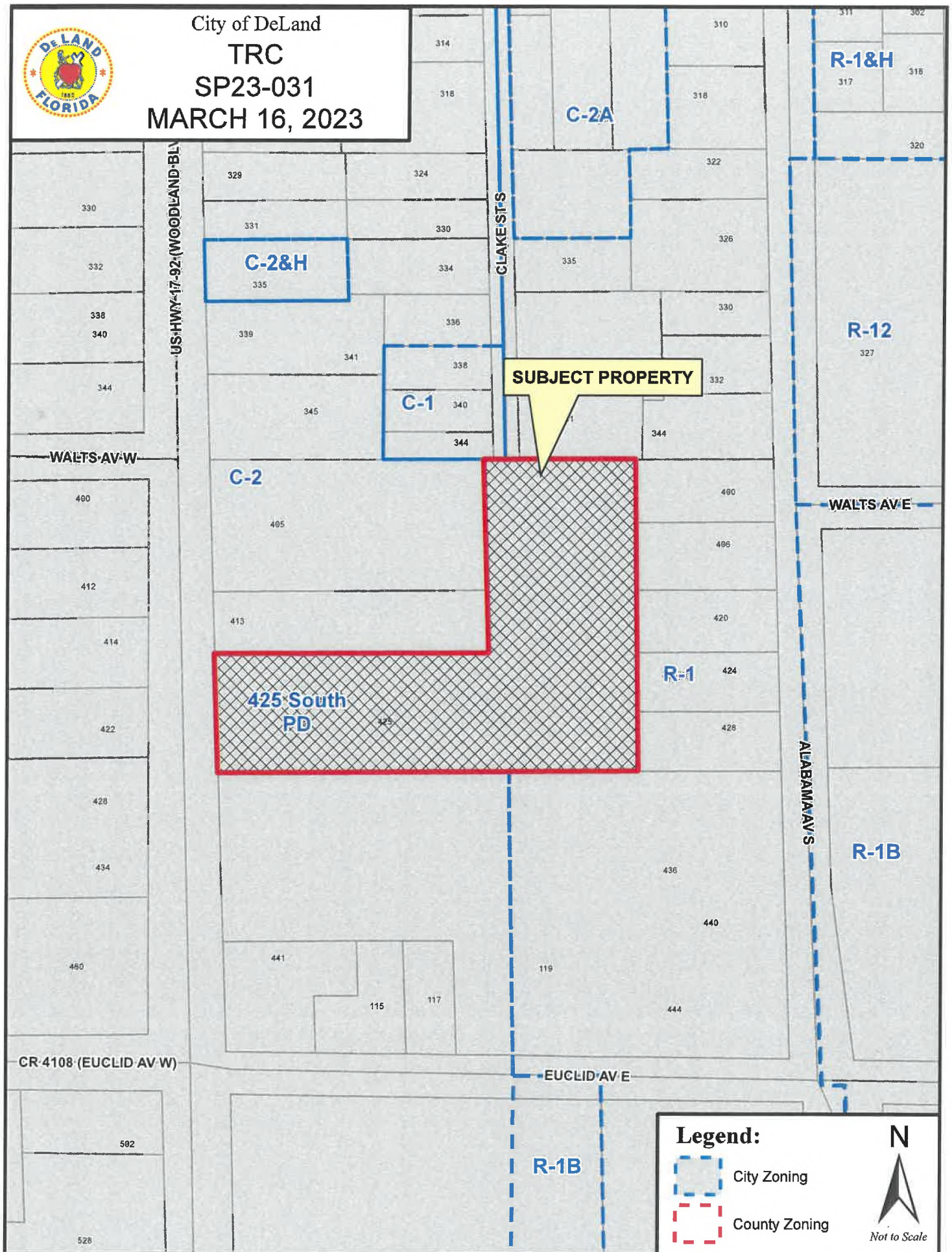
Legend:

- City Zoning
- County Zoning





City of DeLand
TRC
SP23-031
MARCH 16, 2023



Issues for record SP23-031**Job Address: 425 S WOODLAND BLVD, DELAND FL 32720****Job Description: This project will construct a new office/retail building with associated parking and other required site improvements. In addition an maintenance structure will be constructed in the rear of the property.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Section A - Driveway Slopes						
Engineering	Draft	1. Driveway Section A, please refer to FY 2017-18 FDOT Plans Index 515 (sheet 7 of 7) for Turnouts and Driveways. Index requires length (L) for smooth transitioning if driveway slopes exceed 6%. Also, refer to FDOT Driveway Information Guide, Section 4.2, which states maximum algebraic difference of 12% to prevent vehicles bottom-out at driveway location. The algebraic slope difference is measured between the existing street (Woodland Blvd) cross-slope and proposed driveway slope.	06	Tuan Huynh	Tuan Huynh	Yes
Grading Plan and Slopes						
Engineering	Draft	1. At the handicap space landing area, there is a steep slope change from landing area (EL. 49.97) to adjacent sidewalk grade (EL. 50.92) over a short distance. The slope exceeds ADA max. allowable cross-slope of 2%. Please note that ADA requires cross-slope to be less than 2% and running slope (longitudinal slope) to be less than 5%. 2. Provide a note for the sidewalk adjacent to handicap spaces that the cross-slopes shall not exceed 2%. Show back of sidewalk spot grades to confirm this. 3. On north side of property line just east of the handicap spaces, the back of sidewalk grade drops from EL 49.00 to 46.00. Will the runoff discharge onto the adjacent property? Please note that runoff from this site must be collected and treated on-site and cannot discharge onto adjacent property. 4. Structure S-4, please check require clearance between the 12" storm pipe to top of structure per FDOT Storm Drain Handbook (2014), Table 4-4. There is concerned that the top of pipe (outside diameter) may encroach into the structure top slab. Also, storm pipe must have min. 1-foot of cover. 5. From Structure S-10 to S-11, proposed 8" storm pipe at 0.011% slope produces a velocity of less than 1.0 feet per sec (full-flow). Please adjust pipe invert to meet min. pipe velocity of 2.5 feet per sec to prevent sediment build-up.	05	Tuan Huynh	Tuan Huynh	Yes
General Comments						
Engineering	Draft	1. This development is adjacent to Woodland Blvd.; therefore, FDOT Permit is required. 2. Please provide a copy of the approved SJRWMD permit upon issuance. This is required before scheduling the pre-construction meeting.		Tuan Huynh	Tuan Huynh	Yes
Fire	Draft	Building Use		Jamie Lunsford	Jamie Lunsford	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Provide details on the use of the building. Fire sprinkler system may be required.				
		Fire Hydrant				
Fire	Draft	An additional Fire Hydrant will be required at the entrance to the driveway. (red circle) The distance between the existing hydrant and the private hydrant exceeds the requirement of 500ft.	07	Jamie Lunsford	Jamie Lunsford	Yes
		Additional Tree Data Needed				
Forestry	Draft	Additional tree species data is needed to determine whether your project will result in historic tree impacts.	01	Mariellen Calabro	Mariellen Calabro	Yes
		Replacement Provided				
Forestry	Draft	With the suggested revisions, you plan would provide 492" DBH. This would meet minimum coverage requirements, but without more data, I cannot determine whether sufficient tree replacement has been provided.	10	Mariellen Calabro	Mariellen Calabro	Yes
		Crape Myrtle and Holly specifications				
Forestry	Draft	Increase container size to 100 gallon. 45-gallon trees would only receive 2" DBH credit.	10	Mariellen Calabro	Mariellen Calabro	Yes
		Cedar specifications				
Forestry	Draft	Increase root ball to 44" and revise spread to 4.5' to match Grades and Standards.	10	Mariellen Calabro	Mariellen Calabro	Yes
		Magnolia and Live Oak specifications				
Forestry	Draft	Increase root ball to 44" and spread to 8'.	10	Mariellen Calabro	Mariellen Calabro	Yes
		Landscape Note 13				
Forestry	Draft	Any substitutions must be approved by the City Forester.	10	Mariellen Calabro	Mariellen Calabro	Yes
		Inches remaining and removed				
Forestry	Draft	It appears that 60" DBH of trees will remain, and 765" DBH will be removed. Without more information on species, I cannot determine replacement requirements.	09	Mariellen Calabro	Mariellen Calabro	Yes
		Trees to be Planted				
Forestry	Draft	The trees proposed to be planted need to be increased in size to provide the amount of replacement shown on this page.	09	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Cedar Change Easter Red Cedar to Eastern Red Cedar.	09	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic Trees There may be several historic trees depending on the species of oak trees on site. Identify oaks by species. Live Oaks that are 10" DBH or larger would be considered specimen. Live Oaks larger than 24" DBH would be considered historic. Removal of historic trees requires review by the Tree Advisory Committee and approval by the City Commission. Historic trees need to be identified on the plan and 1.5 times the dripline needs to be shown on the plan.	09	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Removal Index Round up trees that are 0.5 per city code.	09	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Existing Trees/Tree Protection Note 3 Change caliper to DBH	09	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Barricade Detail Provide updated 2023 Tree Barricade Detail.	09	Mariellen Calabro	Mariellen Calabro	Yes
Planning	Draft	Name of PD Correct the zoning designation to state the full name of the PD - 425 South PD	01	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Trip generation Provide information about anticipated daily traffic to be generated for the site.	01	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Signage Provide details on signage and verify if building signage will be provided.	17	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Maintenance bldg. Provide an elevation of the maintenance bldg. and indicate building colors, materials etc.	A2.100	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Landscape design Please refer to Sec. 33-92.03 of the regulations regarding landscape design (and	10	Belinda Collins	Belinda Collins	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		materials). The landscape plan is to be prepared by a registered landscape architect to ensure the intent of this section is adequately satisfied.				
		Irrigation Source				
Utilities	Draft	Where will the irrigation water come from? Location of a well or potable connection on customer side is not shown. Reclaim water is being used at the Inter Model Site to the south. It is being fed off of Alabama.	11	Jim Ailes	Jim Ailes	Yes
		USA				
Utilities	Draft	a Utility Service Agreement will be required for this project.	07	Jim Ailes	Jim Ailes	Yes
		Sewer Connection				
Utilities	Draft	The clay pipe cannot be wet tapped. Please connect to existing stubout and install a cleanout at ROW.	07	Jim Ailes	Jim Ailes	Yes

Conditions and notes for record SP23-031**Job Address: 425 S WOODLAND BLVD, DELAND FL 32720****Job Description: This project will construct a new office/retail building with associated parking and other required site improvements. In addition an maintenance structure will be constructed in the rear of the property.**

Discipline	Status	Type	Details	Attached To	Created By
Fire	Draft	Condition	Private Hydrants The backflow, underground and private hydrant work will need a separate fire permit.		Jamie Lunsford
Utilities	Draft	Condition	City Details These details are not the most up to date details. The new details are dated 11/7/2022	16	Scott Zender

