

TRC AGENDA



**CITY OF DELAND
THURSDAY AUGUST 18, 2022 AT 1:30 P.M.
CITY OF DELAND TRC MEETING ROOM
DELAND, FLORIDA**

A. CALL TO ORDER

B. ROLL CALL

C. OLD BUSINESS

1. **Review of July 21, 2022 TRC Meeting Minutes**
2. **Applicant Name:** Ryan Risse – Sullivan Goulette & Wilson
Project Name: SP22-037 – Class II Site Plan for Storage Facility
Project Location: 2.564 acres located at 1015 S Woodland Blvd
Project Description: 3 story climate controlled self-storage facility
3. **Applicant Name:** Nicole Martin – Madden Moorhead & Stokes LLC
Project Name: SP22-124 – Class IV Site Plan for DeLand Commons
Project Location: 5.36 acres located at 225 S Woodland Blvd
Project Description: Mix Use -Multi-family

D. NEW BUSINESS

1. **Applicant Name:** Chris Wrenn – Pulte Homes
Project Name: SP22-125 – Class II Site Plan for Canopy Terrace
Project Location: .287 located at 3021 Green Park Dr.
Project Description: Temporary Sales Trailer
2. **Applicant Name:** Jonathon Tempel – Geyer Morris
Project Name: SP22-131 – Class II Site Plan for 7 Brew
Project Location: .77 acres located on S Woodland 200' south of Orange Camp Rd.
Project Description: 480 sf drive thru coffee shop
3. **Applicant Name:** Nicole Martin – Madden Moorhead & Stokes
Project Name: CP22-132 – Concept Plan for Summit Place
Project Location: 59.88 acres located on the east side of 44 and Kepler Rd
Project Description: 304 Townhomes
4. **Applicant Name:** Leigh Paul – Brixmor Property Group
Project Name: SP22-136 – Class II Site Plan for Chipotle
Project Location: .803 acres located at 101 E International Speedway Blvd
Project Description: 2332 sf restaurant

5. **Applicant Name:** Sean Fortier – KCG
Project Name: PSB22-138 – Preliminary Plat for Trinity Gardens
Project Location 183.93 acres located at the NE corner of Blue Lake and Beresford Ave
Project Description: 543 Single Family Lots
6. **Applicant Name:** Carolyn Haslam – Volusia Initiative for Church and Community
Project Name: Z22-139 – PD Rezoning for Aquarius Landing
Project Location 2.65 acres located at 1365 Aquarius Ave
Project Description: 47 Multi-Family Units
7. **Applicant Name:** Slava Yedlin – Yedlin & Co, LLC
Project Name: Z22-143 – PD Rezoning for The Canopy at Blue Lake
Project Location 4.87 acres located at NE corner of Wisconsin Ave and Miller Rd
Project Description: 12 Single Family Lots

E. OTHER BUSINESS

1. *None*

F. ADJOURNMENT

OLD BUSINESS

1



CITY OF DELAND
TECHNICAL REVIEW COMMITTEE MEETING
MEETING MINUTES
THURSDAY, JULY 21, 2022 -1:30 P.M.
CITY HALL

OPENING OF MEETING:

Call to Order:

1:30 pm

Members Present:

Mike Holmes, Chairperson

Carol Kuhn

Debi Glick

Belinda Williams Collins

Kendall Story

Danevsky Joseph

Sam Nelson

Mariellen Calabro

Ray Bahrami

Tuan Huynh

Scott Zender

Bobby Wu

Jamie Lundsford

OLD BUSINESS:

1. Approval of the minutes of the TRC Meeting Minutes from June 16, 2022

Mariellen Calabro moved to approve the minutes,

Ray Bahrami seconded the motion.

The TRC Committee voted unanimously in favor of motion.

2. **Applicant Name:** Ely Jean-Philipp – Florida Mechanical Solutions
Project Name: SP21-245 – Class II Site Plan for Commercial Building
Project Location: .55 acres located at 333 N Adelle Ave
Project Description: 9000 sf commercial building

Applicants Present:

Jean-Phillip Ely – Owner

Michael Kerns – Engineer

Applicant will address all comments and resubmit for review including increasing the TPA as discussed at the meeting.

*Mariellen Calabro moved to conditionally approve the application subject to increasing the TPA by including the area around the pond and in front of the building,
Jim Ailes seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

NEW BUSINESS:

1. **Applicant Name:** Christina Doidic – Advent Health
Project Name: SP22-093 – Class II Site Plan for Primary Care Clinic
Project Location: .87 acres located at 128 Fenway Dr
Project Description: 6,000 SF Medical Clinic

Applicants Present:

No applicants were present.

Applicant did not attend the meeting but will address all comments and resubmit for review.

*Mariellen Calabro moved to conditionally approve the application,
Tuan Huynh seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

2. **Applicant Name:** Pete Glover
Project Name: MS22-105 – Minor Subdivision
Project Location: 4.38 acres located at on E. Taylor Rd
Project Description: Create 3 lots

Applicants Present:

Pete Glover – Consultant
Dvonne Hernandez - Owner

Applicant will address all comments and resubmit for review.

*Kendall Story moved to conditionally approve the application,
Scott Zender seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

3. **Applicant Name:** Nicole Martin – Madden Moorhead & Stokes LLC
Project Name: SP22-124 – Class IV Site Plan for DeLand Commons
Project Location: 5.36 acres located at 225 S Woodland Blvd
Project Description: Mix Use -Multi-family

Applicants Present:

Nika Hosseini – Cobb Cole

William Zeh -MMS

Mark Gather – Atlantic Housing

David Stokes - MMS

Applicant will need to address all comments and resubmit by August 2, 2022 in order to be placed on the August 18, 2022 TRC meeting agenda

Jim Ailes moved to continue the application to the August 18, 2022 TRC meeting conditioned upon receiving the revised plans by August 2, 2022,

Scott Zender seconded the motion.

The TRC Committee voted unanimously in favor of motion.

4. **Applicant Name:** Tyler Williams – Dream Finders Homes, LLC
Project Name: SP22-127 – Class II Site Plan for Model Center Parking
Project Location: .1377 acres located at 2033 Havasu Falls Dr
Project Description: Lakewood Park Model Center – Dream Finders Homes

Applicants Present:

No applicants were present.

Applicant did not attend the meeting but will address all comments and resubmit for review.

Tuan Huynh moved to conditionally approve the application,

Mariellen Calabro seconded the motion.

The TRC Committee voted unanimously in favor of motion.

OTHER BUSINESS:

None.

ADJOURNMENT:

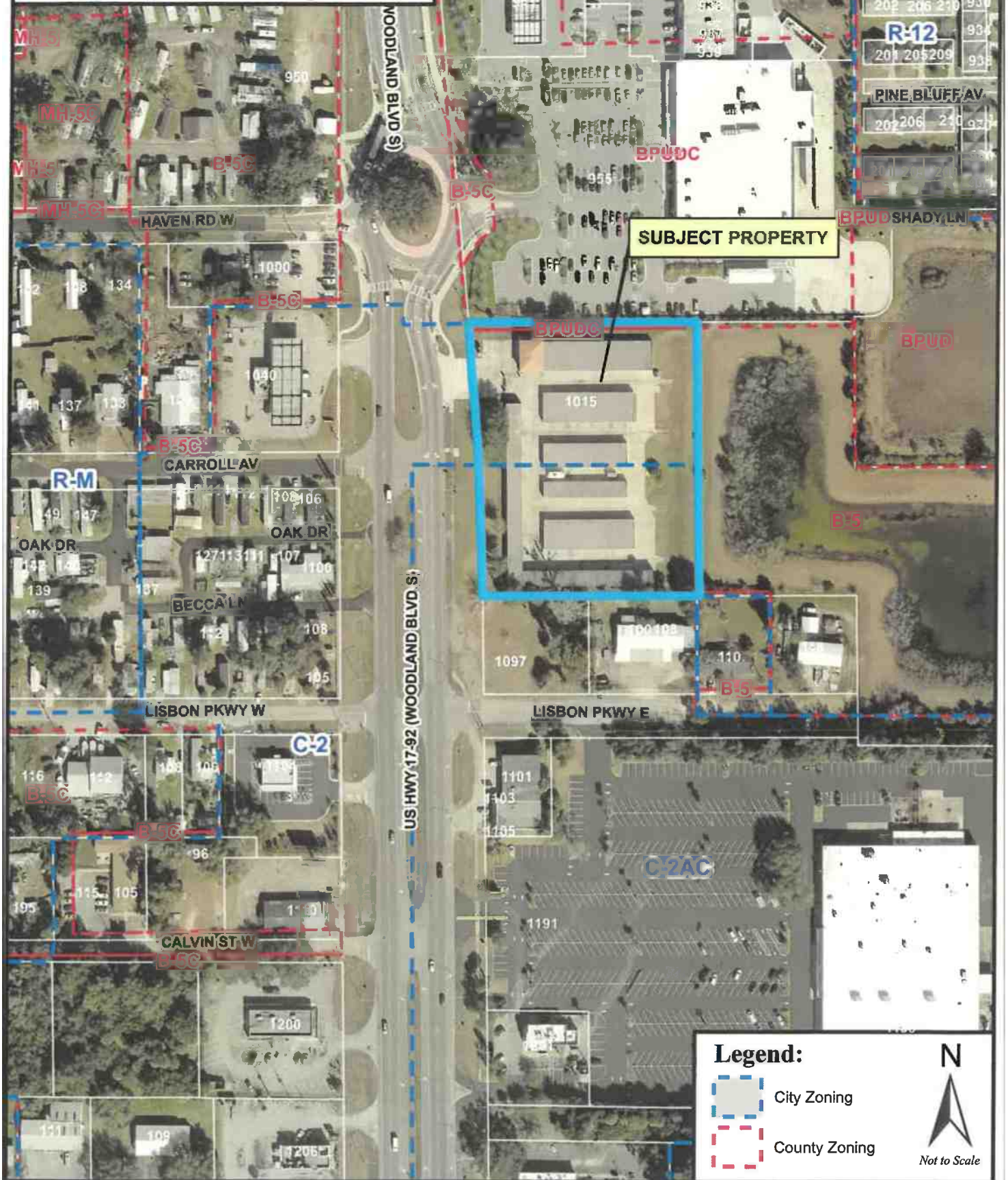
3:30 pm

OLD BUSINESS

2

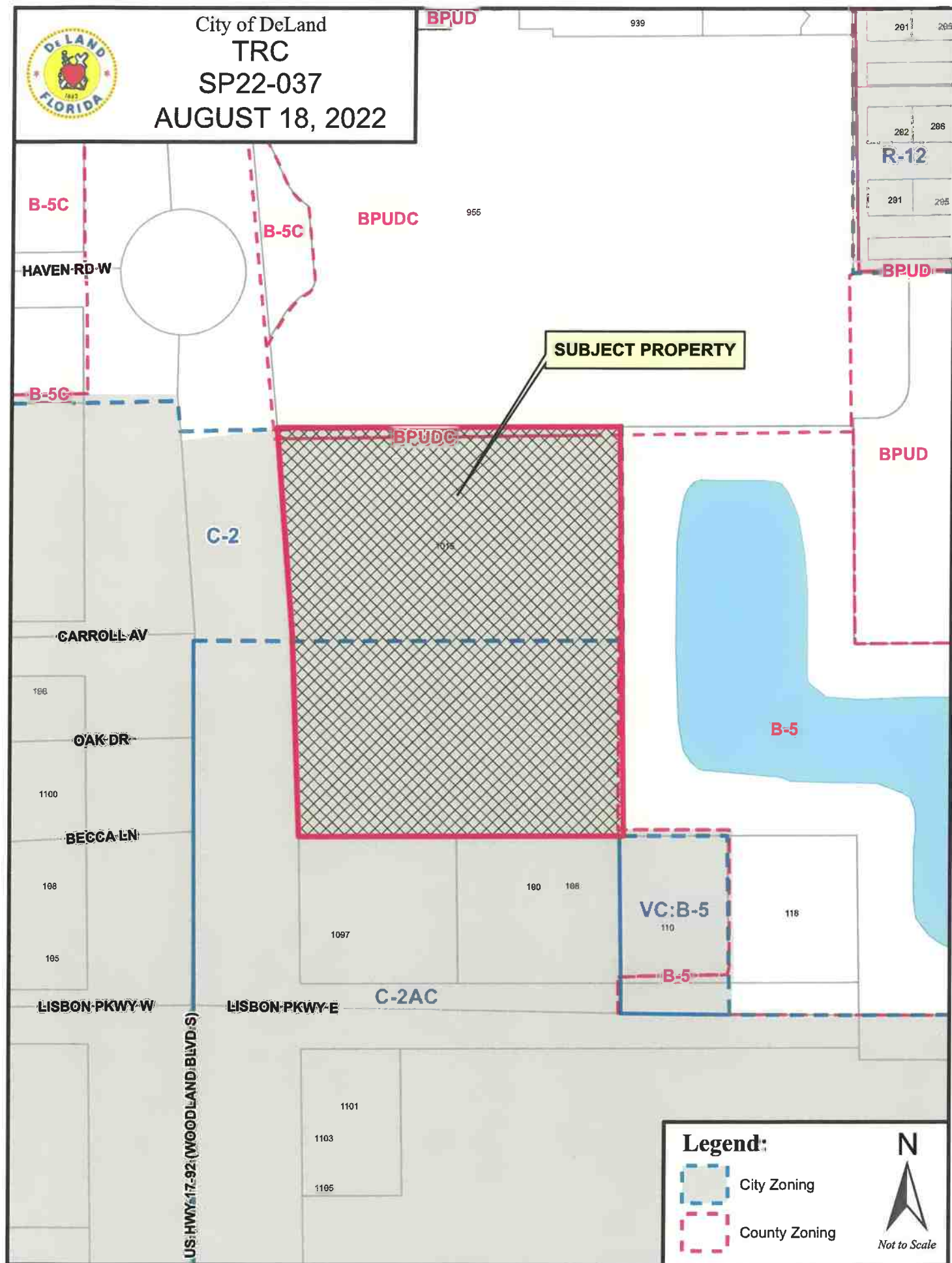


City of DeLand
TRC
SP22-037
AUGUST 18, 2022





City of DeLand
TRC
SP22-037
AUGUST 18, 2022



Legend:

-  City Zoning
-  County Zoning



Issues for record SP22-037
Job Address: 1015 S WOODLAND BLVD, DELAND FL 32720
Job Description: New 3-story, climate controlled, self-storage facility built behind existing self-storage units.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Not Accepted	Notes A 9 and 10	L0.51	Mariellen Calabro	Mariellen Calabro	Yes
		Any construction within the dripline of existing trees needs to be indicated on the plans, and any tree wells need to be identified on the plan.				
		Last comment from reviewer: Will there be any construction in these areas? Last response: NOTED ~KH				
Forestry	Not Accepted	Tree Species ID	L0.50	Mariellen Calabro	Mariellen Calabro	Yes
		Please identify oaks by species. Last response: Species to be verified in future submittal. Arborist being retained.				
Forestry	Not Accepted	Tree Removal/Replacement	L0.50	Mariellen Calabro	Mariellen Calabro	Yes
		It appears that you will be removing four 18" DBH palms. If this is the case, your replacement requirement would be 24" DBH. As our code requires palm tree replacement inches to be divided by 3, your replacement inches provided would be 43" DBH, which would provide sufficient replacement. Please update your mitigation calculations on this page.				
		Last comment from reviewer: Your Landscape Plan provides 120" DBH now. You will need to add additional trees to get to minimum coverage, 128". Please update your landscape plan, and add back at least 128" DBH. Because our Code allows for tree for tree replacement for palms. If only palms are removed, the easier way to resolve this comment would be to change it to "Number of Palms Removed = 4 Number of Palms Replaced = 4" Last response: THE CALCULATIONS HAVE BEEN UPDATED. ~KH				
Forestry	Not Accepted	Fertilizer at Planting	L1.50	Mariellen Calabro	Mariellen Calabro	Yes
		Adding slow release fertilizer of any type at planting has not been associated with improved or reduced survival. While application of slow release fertilizer is not likely to hurt the plant provided it is applied according to the directions on the product, adding soluble fertilizer to a newly installed plant could burn roots if too much is applied. Since survival will not be improved, growth increases are unlikely (except in very poor soils), and the potential for fertilizer burn is real, it might be best to make the first fertilizer application at least a few months to a year after planting. When fertilizer is applied, it should be spread on top of the root ball and backfill soil or on top of the mulch. There is no need to mix it with the backfill soil or place it at the bottom of the planting hole since most roots end up close to the soil surface in urban and suburban landscapes.				
		Last comment from reviewer: Please remove fertilizer tablets from plans. Last response: ACKNOWLEDGED ~KH				

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Not Accepted	Minimum Coverage	L1.00	Mariellen Calabro	Mariellen Calabro	Yes
		Minimum Coverage requirements have not been met on this site. You will be preserving 140" DBH, and your minimum requirement is 268" DBH. You need to add 128" DBH to your plan. You have proposed adding palm trees, but only 25% of palms can be counted towards this requirement. We recommend adding additional non-palm canopy trees to the project. It appears that you have room on the west side of your property for additional plantings.				
		Last comment from reviewer: Your revised plan will only add 120" DBH. Please add an additional 8" DBH to meet minimum coverage. It can be a palm or other canopy trees. Last response: ADDITIONAL TREES HAVE BEEN ADDED TO MEET THE CANOPY COVERAGE REQUIREMENT. ~KH				
Forestry	Not Accepted	Species ID and DBH	L1.00	Mariellen Calabro	Mariellen Calabro	Yes
		Please add species ID and DBH to existing trees on the property. Last response: DATA HAS BEEN ADDED TO L1.00. ~KH				
Planning	Not Accepted	Landscaping	L1.00	Belinda Collins	Belinda Collins	Yes
		Additional landscaping has been placed at the rear of the property. Preference would be for additional planting materials to be placed at the front of the property where they are visible to the general public.				
		Last comment from reviewer: It is an acceptable practice to place landscape materials (including more trees) within the tree protection area. Last response: DUE TO PRESENCE OF REQUIRED TREE PROTECTION AREA LANDSCAPE NEEDS TO BE PROVIDED MORE ADJACENT TO THE WORK AREA. ~KH				
Fire	Not Accepted	Fire Flow analysis	C-2	Fred Link	Terry Griffiths	Yes
		Show required fire flow and how it will be met.				
		Last comment from reviewer: Need to provide fire flows Last response: Fire hydrant shown on C-3 within 400 ft.				
Fire	Not Accepted	Access	C-2	Fred Link	Fred Link	Yes
		Must meet the requirements for height/weight/slope and turning radius. Must show on plans.				
		Last comment from reviewer: Drive test will be performed. Drive test of site was done and apparatus can make the circuit. Concern with dip on entry-very close to bottom of tail board. Last response: Apparatus passes near but not over parking spaces, please see civil sheet C-2. ~Graef				

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Fire	Not Accepted	Fire Hydrant(s)	C-2	Fred Link	Terry Griffiths	Yes
		Show all fire hydrant locations within 1000ft of the project.				
		Last comment from reviewer: See Utilities Comments reference looped system with 2 additional hydrants. Last response: Fire hydrant shown on Civil Sheet C-2 and C-3 within 400 ft. ~Graef				
Fire	Not Accepted	Utilities	G0-00	Fred Link	Fred Link	Yes
		No fire line shown or FDC location for the project.				
		Last comment from reviewer: Until hydrant issue is approved, FDC approval will stay open. Last response: FDC and backflow shown, see civil sheet C-3. ~Graef				
Utilities	Not Accepted	Fire Hydrants	C-3	Jim Ailes	Jim Ailes	Yes
		Utilities feels that a 6" fire loop should be installed with a hydrant at the north and south end of the building at a minimum.				
		Last comment from reviewer: Loop may not be required but additional hydrant is still requested by Fire Department. Last response: The existing fire hydrant located near the gate to the property is within the 400' walking distance allowed by FFPC. 18.5.3(1). Please provide code section requiring fire loop and multiple hydrants per building cited for this issue. ~SGW				
Utilities	Not Accepted	Utility Details	C-7	Jim Ailes	Jim Ailes	Yes
		Utility Details need to be added to this plan set for construction of fire loop and hydrants.				
		Last comment from reviewer: Fire Department is still requiring an additional hydrant so water details need to be included. Last response: Please provide code section requiring fire loop and multiple hydrants per building cited for this issue. ~SGW				
Forestry	Not Accepted	Tree Survey	L0.100	Mariellen Calabro	Mariellen Calabro	Yes
		Please indicate the species and diameter of all trees to be removed and preserved on site.				
		Last comment from reviewer: Add tree species and diameter Last response: Sheet Title changed, Tree Removal Plan removed from sheet. See L0.50 Tree Mitigation Plan ~SGW				

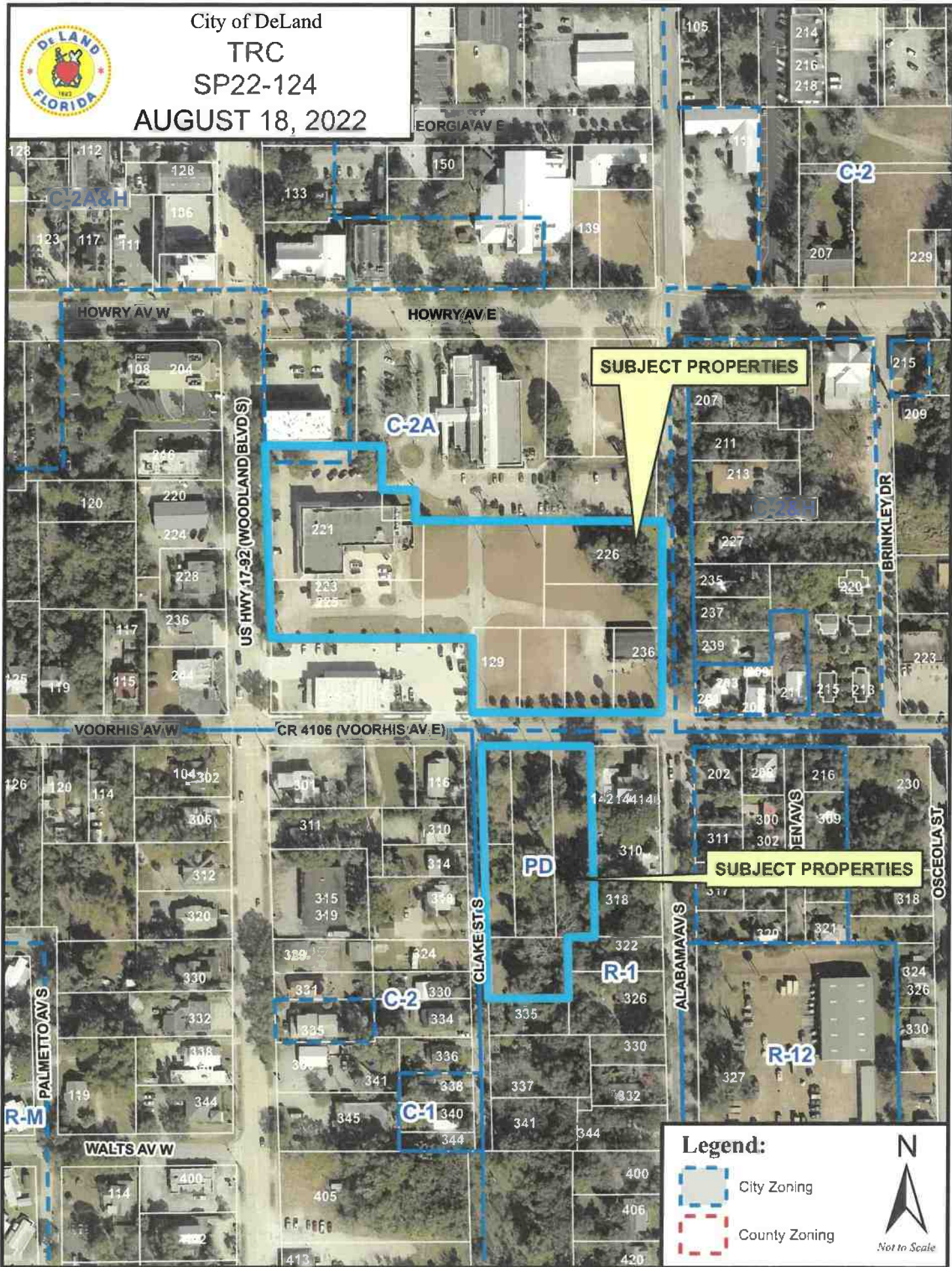
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Drainage Calculations 1. Please note post-development impervious coverage will increase due to the new building and pavement areas being constructed over the existing dry pond (open space grass). Curve number (CN) will increase from pre-development. Therefore, Stormtech chambers must be sized not only for the dry pond volume being displaced (11,000 CF) but for the increase in runoff volume due to pre to post CN values. Please use 25yr-24hr storm event, since site is over 1.0 acre. 2. Please provide the existing dry pond stage/storage calculations to confirm the pond volume being displaced is 11,000 CF. 3. Please provide recovery calculations to ensure Stormtech chamber will recover the treatment volume. Refer to SJRWMD Permit Information Manual, Part V, Section 7.0 Exfiltration Trench Criteria for requirements.				
Engineering	Not Accepted	Last comment from reviewer: Repeat TRC Comments below. Engineer responses and re-submittal documents did not address previous comments: 1. Please note post-development impervious coverage will increase due to the new building and pavement areas being constructed over the existing dry pond (open space grass). Curve number (CN) will increase from pre-development. Therefore, Stormtech chambers must be sized not only for the dry pond volume being displaced (11,000 CF) but for the increase in runoff volume due to pre to post CN values. Please use 25yr-24hr storm event, since site is over 1.0 acre. 2. Please provide the existing dry pond stage/storage calculations to confirm the pond volume being displaced is 11,000 CF. 3. Please provide recovery calculations to ensure Stormtech chamber will recover the treatment volume. Refer to SJRWMD Permit Information Manual, Part V, Section 7.0 Exfiltration Trench Criteria for requirements. Last response: 1. The building is designed so that there is minimal soil storage impact and will determine storm events with this new chamber volume. StormTech Chambers Cumulative storage volumes attached. ~Graef 2. Geotech report attached. ~Graef		Tuan Huynh	Tuan Huynh	Yes
		Stormtech Chambers 1. Please provide Stormtech Chamber Typical Section with design grades and elevations to evaluate the design. Chamber details on sheet C-5 shows generic dimensions recommended by Stormtech in their design brochures. 2. Chamber typical section must include top of pavement grade, bottom of limerock base, top and bottom of aggregates envelop, top and bottom of chambers. This information is needed to check for minimum cover and pavement & base clearances above the chambers and aggregates envelop. 3. Chambers layout are close to the new building pad on east side and existing building on west side. Please verify with Stormtech engineers for require minimum horizontal clearance from building to chamber aggregates envelop. Revise plans as needed.				
Engineering	Not Accepted	Last comment from reviewer: Engineer need to submit pre and post development stormwater and routing calculations for the 25yr-24hr storm event to support the proposed ADS Chamber volume provided on Drainage Plan Sheet C-3. Please see repeat drainage review comments. Last response: Volume has been updated to 1500 CF and chambers have been updated please see civil sheet C-3. ~Graef	C-3	Tuan Huynh	Tuan Huynh	Yes

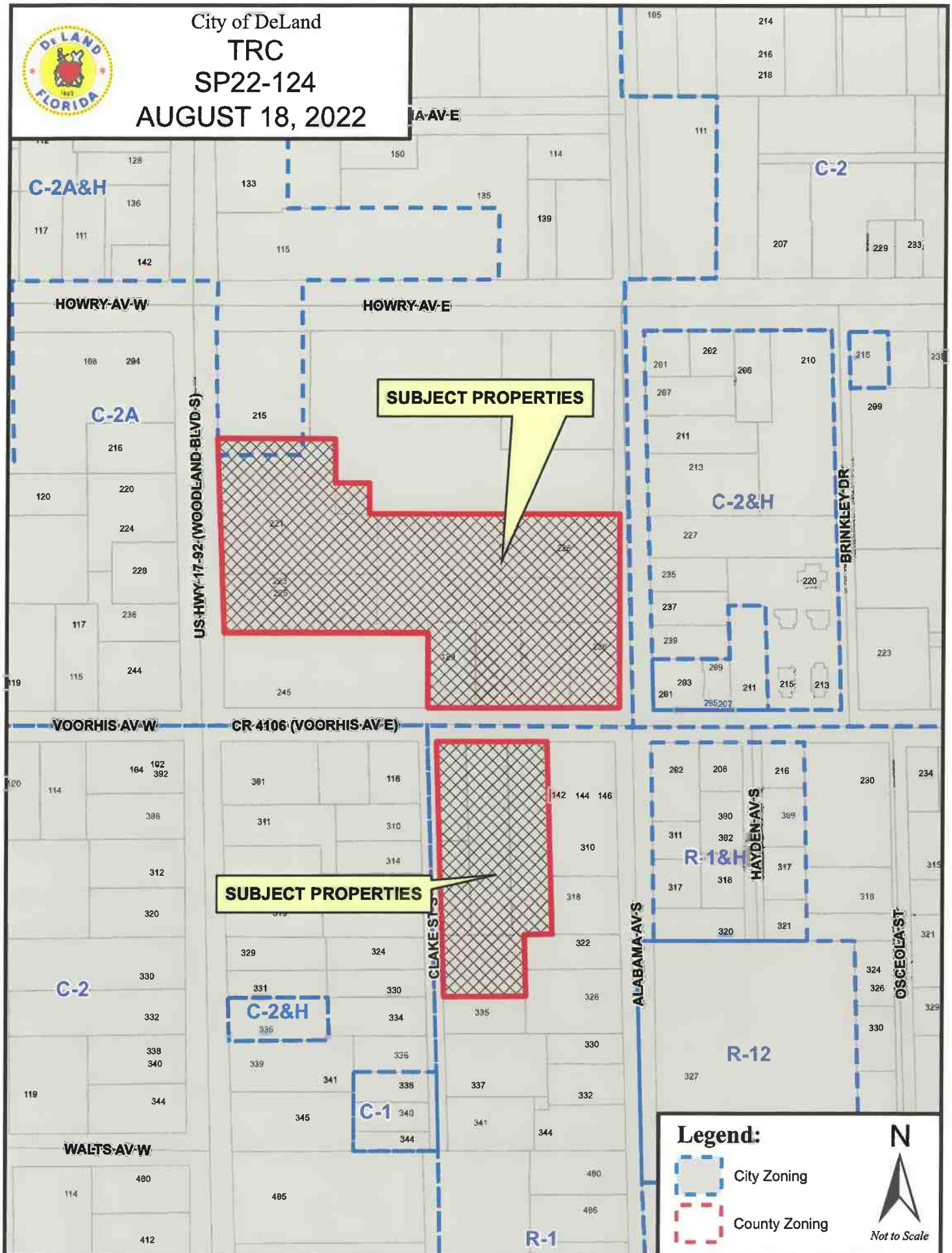
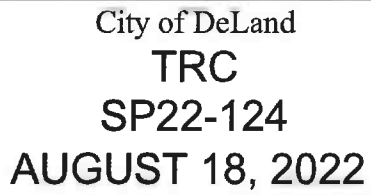
OLD BUSINESS

3



City of DeLand
TRC
SP22-124
AUGUST 18, 2022





Issues for record SP22-124

Job Address: 225 S WOODLAND BLVD, DELAND FL 32720

Job Description: 5.36 acre multi-family apartment development

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
General Comments						
Engineering	Draft	1. Project proposed streetscape and pedestrian improvements along Woodland Blvd, Voorhis Ave, and Alabama Ave within and adjacent to public right-of-ways need to be coordinated with City, Volusia County, and FDOT staff. City staff will schedule coordination meeting(s) with the development team and other agencies to discuss proposed improvements and enhancements. This project is important to the City downtown area and long-term vision to enhance the area.		Tuan Huynh	Tuan Huynh	Yes
Fire Flow Analysis						
Fire	Not Accepted	One of the fire flows taken from an 8 inch line but a 6 inch is the service provided. Refer to the Utilities comments. Last comment from reviewer: Recent flow test was conducted on the wrong hydrant. Flow test needs to be conducted on the hydrant on Voorhis Ave which is a 6" main, not 8". Last response: Another flow test has been conducted and the results are included in the revised water main report.		Terry Griffiths	Jamie Lunsford	Yes
Tree Barricade Detail						
Forestry	Not Accepted	Please add Tree Barricade Detail showing trees to be preserved. If you do not plan to surround each individual tree with tree barricade, show groupings of trees to be preserved on the plan and add tree barricade to the legend. Last comment from reviewer: It is not shown on this page, and the one on PL-303 is not correct. Last response: Tree barricade details have been added to Sheets C010 and PL-303 and tree barricades are now shown around trees to be preserved on Sheet PL-001.	C010	Mariellen Calabro	Mariellen Calabro	Yes
Tree Barricade Detail						
Forestry	Draft	Please add City Standard Tree Barricade Detail. A copy has been added to the Documents Section. If you decide to keep the text that you have added, replace "tree surgeon" with ISA Certified Arborist.	PL-303	Mariellen Calabro	Mariellen Calabro	Yes
Specifications						
Forestry	Draft	Please make the following revisions so your specifications match Grades and Standards for the sizes specified: ED & IA1: 10' HT, 36" SP, 3" MIN DBH, 100 G container or 40" root ball. IA2 & JVB: 8' HT, 28" SP, 2" Min DBH, 45 G container or 32" root ball. QV3: 10' HT, 6' SP, 100 G container or 40" root ball.	PL-303	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Not Accepted	Multi Trunk Planting Detail	PL-305	Mariellen Calabro	Mariellen Calabro	Yes
		Show the base of the tree on undisturbed sub grade as shown on the large tree planting detail.				
		Last comment from reviewer: The tree position is correct, but it is still shown resting on backfill soil which will settle and result in the tree being planted too deep. Last response: This detail has been revised per request.				
Forestry	Not Accepted	Historic Trees	C010	Mariellen Calabro	Mariellen Calabro	Yes
		You may have more than one historic tree on the site. We recommend contacting the Forestry office for a review of the site. Any historic tree removals will require a review by the Tree Advisory Committee and approval by the City Commission. This can be a two month process. Once you have reduced historic tree impacts to the maximum extent possible, please contact the Forestry Division to be added to the Tree Advisory Committee agenda.				
		Last comment from reviewer: Please label the tree as historic on the plan and show tree barricade protecting the required area. Last response: Chris Jackson has reviewed the site and made a determination that there is one historic tree (a 28" Live Oak) that was proposed for removal and located near the north property boundary. The owner has decided to save this tree and the Tree Preservation Summary has been adjusted to now show a total of 368 DBH inches required for replacement.				
Forestry	Not Accepted	Caliper	PL-001	Mariellen Calabro	Mariellen Calabro	Yes
		Tree replacement in our code is based on DBH, not caliper. Change references to caliper to DBH at top of table and on note to right of table.				
		Last comment from reviewer: You missed one on the upper left of the table. Last response: References to DBH caliper have been added to the Tree Replacement Summary table on Sheet PL-001 and also to the Code Plant List on Sheet PL-303.				
Planning	Not Accepted	On-street parking	C100	Belinda Collins	Belinda Collins	Yes
		On-street parking is programmed along Alabama, but there is the Alabama Avenue Greenway Trail to be considered.				
		Last comment from reviewer: It appears that a portion of the trail is located on DeLand Commons property. Please clarify and verify the width of the trail vs. a sidewalk. Last response: The plans show adjustment to the trail to allow the parallel parking.				

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Context 1. Take into consideration that there is a historic residential neighborhood adjacent to Alabama Ave. and the buildings proposed should be compatible with the surrounding area as much as possible. This amount of residential development in the downtown is a new occurrence and the historic nature of the downtown and the addition of this project creates a great opportunity to enhance the downtown. DeLand 2050/Strategic plan seeks to “create a sense of community”. The presence of the Alabama Ave. trail also presents a great opportunity to help make this happen. 2. Woodland Blvd. is a major corridor and this project is located at the southern end of the historic downtown and represents a connector to the development that has/is taking place further south along Woodland. This project will serve to “marry” the 2 sections and merge the historic and the emerging Woodland Blvd. One of the Strategic Results that should occur is to successfully implement "community aesthetics and appearance" done in a manner that appears effortless. RESPONSE:		Belinda Collins	Belinda Collins	Yes
		FH Extension It is our understanding a FH will be required on the back side of the building. A minimum 8" water line will need to be extended. Flow may require a 12" if not city would like to see that size and pay for possible upsizing.	C201	Jim Ailes	Jim Ailes	Yes
Utilities	Not Accepted	Water Tap Domestic meters need to be on a stand alone tap and not connected into fire system. Last comment from reviewer: Lines were separated, but need to have two taps coming off of Woodland. One for Fire and one for domestic. The same is required off of Voorhis. Last response: The water and fire services to Buildings 1 and 2 have been separated.	C201	Jim Ailes	Jim Ailes	Yes
		FH Piping Fire system needs to be on a 6" loop or 8" stand alone piping. Last comment from reviewer: City will not own looped 8" line. City wants 12" line to continue west to Woodland Blvd. Last response: An 8" water main has been added through the site to supply the fire hydrants.	C201	Jim Ailes	Jim Ailes	Yes
Utilities	Not Accepted	Water Reinforcement Recent downtown study showed project area needed to be reinforced with upsizing. A 12" water main needs extended from Euclid and Alabama north to Voorhis and continue to Howry to provide fire protection on the back side of the project along Alabama. A 12" water main would need to extend from the intersection of Voorhis and Alabama west to Woodland. Last comment from reviewer: Depending on fire flows, a minimum 8" water line is required to supply project. A 12" maybe required by fire flows but is desired by utility staff and payment for upsizing could occur. Last response: Per discussions with staff, a segment of 12" water main has been added along the south side of Voorhis. Further discussions between staff and the Applicant shall determine future cost sharing for the water main extension.	C201	Jim Ailes	Jim Ailes	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Utilities	Draft	USA & FSA This project will require a utility service agreement and participation in a fair share contribution agreement.	C001-COV	Jim Ailes	Jim Ailes	Yes

NEW BUSINESS

1



City of DeLand
TRC
SP22-125
AUGUST 18, 2022





City of DeLand
TRC
SP22-125
AUGUST 18, 2022

INTEGRA DUNES CIR

CR-4101-(DR-MARTIN-L-KING-JR-BTWW)

Kirk DeLand
PD

SUBJECT PROPERTY

Legend:



City Zoning

County Zoning



Not to Scale

Issues for record SPZZ-125

Job Address: 3021 Green Park DR, Deland FL 327

Job Description: Sales Trailer to serve Canopy Terrace

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Retaining Wall 1. Please callout bottom of rear retaining wall as BW for bottom of wall elevations at rear of property.	C-2.0	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Grading 1. Can 55.50 contour around sales trailer be raised slightly to provide min. 1% slope toward street drainage system? There is concerned runoff will be trapped between the trailer and surrounding higher grades.	C-2.0	Tuan Huynh	Tuan Huynh	Yes
Forestry	Draft	Landscaping Please provide a landscape and irrigation plan. Prior to CO as a single family residence, landscaping per the overall subdivision site plan must be installed.	C-2.0	Mariellen Calabro	Mariellen Calabro	Yes
Planning	Draft	Landscape The perimeter of the parking area shall be landscaped with one shrub, not less than 2½ feet high, at a spacing of three feet on center.	C-2.0	Danevsky Joseph	Danevsky Joseph	Yes
Planning	Draft	Parking Show parking and dimensions on plan.	C-2.0	Danevsky Joseph	Danevsky Joseph	Yes
Planning	Draft	Length Add note stating the trailer will be removed 90 days after last building 33-20.01. Expiration of temporary sales office.	C-2.0	Danevsky Joseph	Danevsky Joseph	Yes
Planning	Draft	Parking The temporary office shall have a minimum of four regular and one handicapped parking spaces. Said parking spaces shall be paved over a compacted subbase material to provide an appropriate parking surface. All regular parking spaces shall be a minimum of nine feet × 19 feet in dimension. The handicapped parking space shall be a minimum of 12 feet × 20 feet. Any additional dwellings used as model homes shall provide two additional parking spaces per model home.	C-2.0	Danevsky Joseph	Danevsky Joseph	Yes
Planning	Draft	Elevations Please show height of trailer	C-2.0	Danevsky Joseph	Danevsky Joseph	Yes

NEW BUSINESS

2



City of DeLand
TRC
SP22-131
AUGUST 18, 2022



Legend:

-  City Zoning
-  County Zoning



Not to Scale



City of DeLand
TRC
SP22-131
AUGUST 18, 2022

and Eckerd (CVS)
PD

2441

2497

Country Club Crossing
PD

2490

144

164

GR 4116 (MCGREGOR RD)

CR 4116 (ORANGE CAMP RD)

C-2

2595

US HWY 17-92 (WOODLAND BLVD S)

SUBJECT PROPERTY

C-2

VC:B-4C

2610

C-2

2612

GIEL DR

R-M

2599

Legend :

 City Zoning

 County Zoning



Not to Scale

Issues for record SP22-131
Job Address: 0 S Woodland BLVD,
Job Description: drive thru coffee shop

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Handicap Space Dimensions 1. Handicap space are 20' x 12' (L x W) per City LDC, Chapter 33-91.06(b). Plans show 19' length.	C-111	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Dumpster Location 1. Dumpster enclosure must be located and accessible from inside this development.	C-111	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Curb & Gutter 1. Please remove Detail No. 10 City Standard Curb and Gutter and replace with Curb Type per FDOT Standard Plans Index 520-001.	C-510	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	General Comments 1. This development is adjacent to Woodland Blvd.; therefore, FDOT Permit is required. 2. Please provide a copy of SJRWMD / FDEP permit or letter modification upon approval. This is required prior to scheduling a pre-construction meeting.		Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	General Site Notes 1. General Site Notes – Please correct note #7 for geotechnical references. 2. General Site Notes – Please correct note #23 for erosion control sheet references.	C-002	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Erosion Protection 1. Proposed construction entrance stone aggregates must be inside the property limits. 2. Please use non-woven geotextile cover for inlet protection instead of hale bales. FDEP no longer accepts hale bales for inlet protection. 3. Show perimeter silt fences along entire property limits.	C-012	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Label and Text 1. Please label sod areas on plan or note that all open space areas to be sodded. 2. Legend – please correct spelling for "Resurfaced".	C-121	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Impervious Areas 1. Post-Developed Impervious Area - Provide separate area breakdown for asphalt pavement, concrete sidewalk, and building along with the total impervious.	C-121	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Arrows on Plan 1. What are elongated arrows shown to the south along existing entrance driveway? If they are for traffic circulation then it is pointing in wrong direction on multiple plan sheets.	C-111	Tuan Huynh	Tuan Huynh	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Grading	C-121	Tuan Huynh	Tuan Huynh	Yes
		1. Please provide flow arrows to describe the general site drainage pattern. Include grade break high points on the plan. 2. Please verify accessible path from handicap space to building entrance longitudinal slope is less than 5% per ADA and cross-slope is less than 2%. 3. Provide following note on plan, "Proposed grade tie-down slopes cannot exceed 1:4 (V:H)".				
Engineering	Draft	Details - Pavement	C-510	Tuan Huynh	Tuan Huynh	Yes
		1. Detail No.1 – Please clarify where the Case X Pavement Repair detail is being used on the plans. 2. Detail No. 4 Asphalt Pavement Section – please callout pavement as 2" Asphaltic Surface Course SP 9.5 – 2 lifts (1" each) per FDOT latest specification instead on 2" Type S-3. 3. Detail No. 4 Asphalt Pavement Section – Please use 10" limerock base thickness for heavy-duty pavement areas within all vehicles drive-thru lanes. 6" limerock base can be used for the parking space areas. 4. Detail No. 6 Concrete Pavement Section – What does 8" Concrete per FDOT 346 mean? Also remove reference to 18" City Standard Curb and Gutter since there is no such curb type.				
Engineering	Draft	Geotechnical Report	C-510	Tuan Huynh	Tuan Huynh	Yes
		1. Detail No. 6 and 11 has following note, "Refer to Geotechnical Report for Concrete Section Specifications". But this project did not submit a Geotechnical Report.				
Engineering	Draft	MUTCD Signage and FDOT Standards	C-111	Tuan Huynh	Tuan Huynh	Yes
		1. Please callout R1-1 and R5-1 for stop sign and do not enter sign per MUTCD. 2. Please callout FDOT Standard Plans Index for proposed FDOT items shown on plan. 3. Do not callout "Standard City Curb (Typ.)" within parking lot since City does not have a standard curbing. Please use FDOT Standard Plans Index 520-001 or 6" Header curb.				
Engineering	Draft	Site Label and Sidewalk Connectivity	C-111	Tuan Huynh	Tuan Huynh	Yes
		1. What is the shaded box area just south of new building? Please label on plan. 2. Provide 5' wide concrete sidewalk from building area to south nine (9) parking spaces. Place sidewalk adjacent to three (3) parking spaces and extend it south to the curb line drive-thru lane.				
Engineering	Draft	Drive-thru By-Pass Lane	C-111	Tuan Huynh	Tuan Huynh	Yes
		1. How will customers exit this property if all drive-thru lanes are occupied? If one lane is for by-pass traffic please label and stripe it clearly on the plan.				
Engineering	Draft	MOT Index	C-592	Tuan Huynh	Tuan Huynh	Yes
		1. Please remove MOT Standard Plans Indexes that are not applicable for this project.				
Fire	Draft	Fire Hydrants		Terry Griffiths	Terry Griffiths	Yes
		Provide location of all fire hydrants within 1000 ft. of building. Provide scale and bar scale on same page.				
Fire	Draft	Water Analysis		Terry Griffiths	Terry Griffiths	Yes
		Fire flow analysis is required.				

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	DBH Inches provided Your current plan with increase to 3" caliper would provide 61" DBH of replacement.	L-2	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Work within dripline of historic tree/trees The removal of three parking spaces at the north end of the project area is within the dripline of two historic trees. Please coordinate this work with an arborist with experience in preserving historic trees. We recommend that your private arborist be present during demolition work in this area so that any potential root issues can be properly addressed.	C-012	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Sidewalk Construction Please coordinate with an arborist to see if the sidewalk configuration can be modified to save the 27" DBH historic tree without encroaching on the 51" DBH historic tree's critical root zone.	C-100	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic Tree Removal Your plan includes a historic tree removal (27" DBH Live Oak) and a 9" DBH elm removal next to it. Why are these removals necessary? Can the sidewalk be reconfigured to avoid these trees and still stay out of the critical root zone of the other historic trees in the project area.	TR-1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic Tree - 3 Historic Trees: There are several historic trees in the project area. Each historic tree and the limits of its dripline need to be clearly identified on the site plans.	TR-1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic Tree - 4 Historic Trees: Any historic tree that is proposed for removal will require a review by this office, the City Tree Advisory Committee and approval by City Commission. The developer must demonstrate that the tree is a hazard or that it is not economically or practically feasible to develop the parcel without removing the historic tree.	TR-1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Barricade Detail Please replace your detail with the City standard tree barricade detail. The boxes shown on your plan as tree barricade are nowhere near large enough to cover the drip lines of the trees on your site, especially the 51" DBH tree. We recommend that you extend the tree barricade around the entire tree landscape buffer area to prevent potential damage to the trees during construction.	TR-1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Protection Area Please show the location of your 15% Tree Protection Area. It appears that you would have sufficient area if you label the buffer area shown as Tree Protection Area. Please add Tree Protection Area to your legend and show the area as a hatched or other clearly identifiable area on your plan.	TR-1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Mitigation Requirements As currently shown on the plan, your mitigation provide for 6" caliper trees is only 25" DBH. The other inches will change based on my comments on your landscape plan. Please make sure that this page matches your landscape plan once you have made the necessary revisions.	TR-1	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Tree Survey - Oaks				
Forestry	Draft	Tree Survey: The tree survey should identify oaks by species to assist in determination whether trees meet the requirements to be considered specimen or historic trees. Live Oak (Quercus virginiana) is considered specimen at 10 inches or greater and Turkey Oak (Quercus laevis) is considered specimen at 12 inches or greater. Live Oak greater than 25" DBH is considered historic.	TR-1	Mariellen Calabro	Mariellen Calabro	Yes
		Crape Myrtle and Oak Locations				
Forestry	Draft	Relocate Crape Myrtles and oaks proposed to be planted so they are outside of the dripline of the 51" DBH historic tree. They can be clustered in the northern and southern areas of the buffer if they are needed to meet Planning requirements. If you don't have sufficient space for oaks, palms can be substituted for up to 25% of your requirements. If you can save the other historic tree on property, that could also reduce the size requirement of the trees planted.	L-1	Mariellen Calabro	Mariellen Calabro	Yes
		Shrub locations				
Forestry	Draft	Remove the shrubs planted within the dripline of the 51" DBH historic tree. If they are required by Planning, move them closer to the 48' contour line near Woodland Blvd. or plant double rows outside the dripline of the tree. Check with Planning if they can be planted on the east side next to the drive-thru area to reduce impact to the historic tree.	L-1	Mariellen Calabro	Mariellen Calabro	Yes
		51" DBH Live Oak				
Forestry	Draft	Your project area contains a very large and very visible historic tree. Please take measures to protect the tree and it's critical root zone. We recommend that an arborist be involved with your project to ensure that the tree is not damaged during construction.	L-1	Mariellen Calabro	Mariellen Calabro	Yes
		Planting on undisturbed subgrade				
Forestry	Draft	We would prefer that trees be planted on undisturbed subgrade instead of on compacted planting mix as shown on your tree and palm planting details. Please revise these details.	L-2	Mariellen Calabro	Mariellen Calabro	Yes
		Plant Schedule				
Forestry	Draft	3" caliper is the minimum size for tree replacement. Please revise your specifications to meet this requirement and to match the size requirements per Grades and Standards as follows: LIN: 8' Ht x 42" sp, 3" caliper, 45 gallon container for 2" DBH credit per tree (5' clear trunk is too much for a tree this size. If you want that much clearance, change specs to 12' ht. x 7' sp. 5" caliper and 100 gallon container size. This would give you 4" DBH credit per tree) LPT: 8' Ht x 42" sp, 3" caliper, 45 gallon container for 2" DBH credit per tree. QV: 10' Ht x 6' sp, 4" caliper, 100 gallon container for 3" DBH credit per tree. (If you want 4" DHB credit per tree, the specs would be 14' Ht x 8' sp, 5" caliper, 100 gallon container) QV5: 17' Ht x 10' sp, 6" caliper, 6" caliper, 200 gallon container for 5" DBH credit per tree. If you want 30" DBH credit, you will need to increase to the specs for a 7" caliper or 18' Ht x 11' sp, 7" caliper, 300 gallon container)	L-2	Mariellen Calabro	Mariellen Calabro	Yes
		Bicycle				
Planning	Draft	Show bicycle parking.		Danevsky Joseph	Danevsky Joseph	Yes
		Landscape				
Planning	Draft	Show landscape plan on Index	C-001	Danevsky Joseph	Danevsky Joseph	Yes

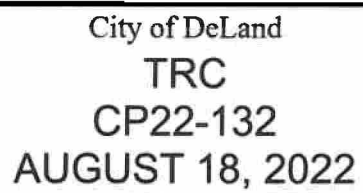
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Set backs The front set back for C-2 general commercial is 20' not 30'.	C-100	Danevsky Joseph	Danevsky Joseph	Yes
Utilities	Draft	General Project Have two areas that need changed.	C-001	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	AHJ Reference Please replace all the AHJ references to the City of DeLand in all the notes.	C-002	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	USA A Utility Service Agreement will be required for this project.	C-160	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Reclaim Reclaim water is available north of the bank in the grass for irrigation and would require an extension.	C-160	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Sewer Explain why you need a private lift station. Connection to gravity is in parking lot and owned by city. City does not want a 2" FM on Woodland for ownership once it touches FDOT ROW.	C-160	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Water Why not connect water to line north of building instead of along Woodland Blvd.	C-160	Jim Ailes	Jim Ailes	Yes

Conditions and notes for record SP22-151
Job Address: 0 S Woodland BLVD,
Job Description: drive thru coffee shop

Discipline	Status	Type	Details	Attached To	Created By
Planning	Draft	Condition	Dimensions Please show dimensions for parking spaces, drive through aisles, and overall building.	C-100	Danevsky Joseph

NEW BUSINESS

3





City of DeLand
TRC
CP22-132
AUGUST 18, 2022

E-1

Park Lake Estates
PD

Summit Place
PD

R-1A

SUBJECT PROPERTY

MCKENZIE RD W

MCKENZIE RD

Legend:

-  City Zoning
-  County Zoning



ISSUES FOR RECORD P22-132

Job Address: 0 E SR 44, Deland FL 32724

Job Description: 304 townhome units

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
General Comments						
Engineering	Draft	1. Development is adjacent to County Road (CR) 4139. Volusia County Use Permit is required. 2. Is southeast portion of project with emergency access road adjacent to FDOT or Volusia County right-of-way? Please confirm and FDOT permit may be required.		Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	NRCS Soils 1. Provide NRCS soil types with ID number and percentages within the project limits.	CONCEPT PLAN 6-22-2022.pdf	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Legend and Phases Limit 1. Please provide a legend for the different hatch patterns used on plan. 2. Please show the limits for Phases 1 and 2.	CONCEPT PLAN 6-22-2022.pdf	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Typical Roadway Section 1. Please provide a roadway Typical Section on the plan.	CONCEPT PLAN 6-22-2022.pdf	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Wetland Buffer 1. Please label 25' Wetland Buffer on plan.	CONCEPT PLAN 6-22-2022.pdf	Tuan Huynh	Tuan Huynh	Yes
Stormwater Management System						
Engineering	Draft	1. Will proposed dry retention pond have positive discharge off-site? If yes, please show or note discharge location on plan. 2. Please provide pond side slopes and top of pond area in acre. Please add note that pond and tie-down slopes is max. 1:4 (V:H). 3. Please add note that roadway runoff must be collected by a closed storm system with curb & gutter for discharge to the retention ponds. 4. Is there any off-site runoff thru this property? If yes, the off-site flows must be attenuate in the retention ponds or a by-pass drainage system must be constructed. This development must not impede existing drainage patterns. 5. Engineer must determine the 100-year flood elevation for Zone A. Finish floor elevation (FFE) must be min. 12" above the 100-year flood elevation.	CONCEPT PLAN 6-22-2022.pdf	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	FEMA Flood Compensation 1. Northeast portion of project lies within the FEMA Flood Zone A. Compensation storage must be provided for any fill within the flood zone.	CONCEPT PLAN 6-22-2022.pdf	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	LiDAR and Contours 1. Please show one-foot contours on concept plan to see the general site slopes and topography. If surveys do not have one-foot contours then use latest Volusia County GIS LiDAR information.	CONCEPT PLAN 6-22-2022.pdf	Tuan Huynh	Tuan Huynh	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Location Map 1. Please provide a project vicinity location map on sheet.	CONCEPT PLAN 6-22-2022.pdf	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Existing Trees layer 1. Please turn off the existing trees and text information for clarity.	CONCEPT PLAN 6-22-2022.pdf	Tuan Huynh	Tuan Huynh	Yes
Fire	Draft	Emergency Access Verify proper roadway to emergency access entrance.	CONCEPT PLAN 6-22-2022.pdf	Jamie Lunsford	Jamie Lunsford	Yes
Fire	Draft	Water Supply Verify adequate water supply to the area for fire hydrants throughout sub division.	CONCEPT PLAN 6-22-2022.pdf	Jamie Lunsford	Jamie Lunsford	Yes
Fire	Draft	Burning No burning of land clearing debris allowed within the City of Deland		Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	ID Oaks by species Before the site plan phase, make sure that you have found and corrected these.	Tree Survey.pdf	Mariellen Calabro	Mariellen Calabro	No
Forestry	Draft	QVG 26/26 Insufficient space is shown on the concept plan to preserve this tree. When you get to the site plan phase, consult an arborist to provide for protection of the critical root zone.	CONCEPT PLAN 6-22-2022.pdf	Mariellen Calabro	Mariellen Calabro	No
Forestry	Draft	Tree Survey - Oaks Tree Survey: The tree survey should identify oaks by species to assist in determination whether trees meet the requirements to be considered specimen or historic trees. Live Oak (Quercus virginiana) is considered specimen at 10 inches or greater and Turkey Oak (Quercus laevis) is considered specimen at 12 inches or greater. Live Oak greater than 25" DBH is considered historic. There are still some trees marked only as OAK on the tree survey. This will need to be resolved in the site plan phase.	CONCEPT PLAN 6-22-2022.pdf	Mariellen Calabro	Mariellen Calabro	No
Forestry	Draft	Tree Protection Area Change "Tree Save Area" to "Tree Protection Area." Clearly show the limits of this area on your site plan. Fifteen percent of 59.88 acres should be 8.98 acres. You have it listed as 6.39. It appears that your project may not have sufficient Tree Protection Area.	CONCEPT PLAN 6-22-2022.pdf	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Survey - Pines Tree Survey: The tree survey should identify pine trees by species to assist in determination whether the trees meet the requirements to be considered specimen trees. Longleaf Pine (Pinus palustris) is considered a specimen tree if 18" DBH or larger.	CONCEPT PLAN 6-22-2022.pdf	Mariellen Calabro	Mariellen Calabro	No

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Trees Not to Be Removed For the site plan phase, you might want to select something other than an X to indicate trees to be saved.	Tree Survey.pdf	Mariellen Calabro	Mariellen Calabro	No
Forestry	Draft	QVG LIVE 18 When you get to the site plan phase, coordinate with an arborist to provide sufficient space to preserve this tree.	CONCEPT PLAN 6-22-2022.pdf	Mariellen Calabro	Mariellen Calabro	Yes
Planning	Draft	Drainage & Soils Include a general description of how drainage will be handled, including a soil statement (SCS acceptable) and the general area of the site to be used for stormwater management facilities.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes
Planning	Draft	Connectivity Please identify future connectivity to the adjacent, future school site. This connectivity should include vehicle, pedestrian, and bicycle.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes
Planning	Draft	Amenities Please label and dimension any pocket parks, tot lots, green spaces, trails, and other site amenities. Please label and dimension the associated parking for the on-site recreational facilities (i.e. pool, clubhouse). Parking is based on the size of the facility.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes
Planning	Draft	Animal Habitats Identify any animal habitats within the vicinity of the site.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes
Planning	Draft	Wetlands Please identify all wetland areas. Any activity within wetland areas will require mitigation through the SJRWMD or a 25' buffer from wetland edge will be required.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes
Planning	Draft	Advisory Comments for Preliminary Plat Please refer to Section 33-146.03 for Preliminary Plat requirements.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	No
Planning	Draft	Townhome Ordinance Please see attached Townhouse Ordinance (Ordinance No. 2021-38).		Carol Kuhn	Carol Kuhn	No
Planning	Draft	Burning No burning of land clearing debris is allowed within the City of Deland.		Carol Kuhn	Carol Kuhn	Yes
Planning	Draft	Connectivity to Future City Park Please identify future connectivity to the adjacent, future City park. This connectivity should include vehicle, pedestrian, and bicycle.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Tatum Lake 4. Tatum Lake was incorrectly labeled as a wetland. This area should be labeled correctly and the area should not be included in the gross density calculation.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes
Planning	Draft	Wetlands Label wetland areas on the sketch plan.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	General Comments				
		1. This application was submitted as a Concept Plan, however, on August 9, 2022, the applicant informed City staff that they would be processing this application as a Sketch Plan. Staff reviewed the application according to the Sketch Plan requirements. Following the Sketch Plan review, this Class IV project will require submittal and a separate submittal of: a. Preliminary Plat b. Final Plat c. Site Plan for the club house and pool area 2. The applicant is proposing a total of 304 residential townhome units, to be constructed in two phases. 3. Per the approved PD, the maximum residential density in the combined Summit Place PD & Gateway East PD shall not exceed 480 residential units. Based on the proposed 304 units for the Summit Place PD, the Gateway East PD is now limited to 176 units. 4. This area is designated as Emerging Corridor and is within the Lake Winnemissett Gateway Corridor Section 33.36.05(c) Landscaping in the Emerging Corridor. In order to maintain the character of the Emerging Corridor area and provide for future development that will enhance the appearance within the area, the city will require the following standards apply to all new development and redevelopment. (These requirements supplement the existing landscaping standards contained in section 33-92.02.): Landscape buffer requirements. a) A minimum 40-foot-wide landscape buffer shall be required along the overlay street frontage. b) The buffer shall be planted with material appearing on the city's approved plant list. c) Canopy trees shall have a minimum four-inch diameter at breast height (DBH) and 14 feet in height at planting. The number of trees shall be based on meeting the requirements of Buffer Standard "D" along the overlay street frontage. The technical review committee will determine the actual spacing of the vegetation, which may include the grouping of trees. d) Residential uses shall utilize a six-foot decorative wall as part of the landscape buffer requirements. This wall shall be no closer than 20 feet to the right-of-way and shall include landscape material in between the wall and right-of-way. 5. Internal landscaping requirements. a) All nonresidential parking lots shall have internal landscaping equaling ten percent of the total vehicle use area, including driveways, parking spaces, and vehicle storage and display areas. Where a pedestrian parking access pathway is required, the access pathway may be included in the required landscaping volume. b) The internal landscape area(s) and the canopy trees shall be located in and around vehicle use areas. c) If parking abuts the landscape buffer, a shrub hedge shall be arranged or planted so that a minimum height of three feet will be attained within one year of planting and so as to screen a minimum of 75 percent of the parking area. A wall or berm may be used in conjunction with the hedge to meet the screening requirement. 6. Following review by the Technical Review Committee the Sketch Plan will be reviewed by the Planning Board. 7. The PD limits the uses to the R-16 and C-2 zoning classifications. 8. Please note, a separate site plan will be required for the clubhouse/pool area. 9. Based on the proximity to I-4, additional setbacks and buffering should be considered.	CONCEPT PLAN 6- 22- 2022.pdf	Carol Kuhn	Carol Kuhn	No

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Tracts Tatum Lake, detention ponds, pool and clubhouse, and buffer areas shall be placed within Tracts.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes
Planning	Draft	Density Please provide a gross and net density calculation that excludes Tatum Lake.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes
Planning	Draft	Roads Please specify if the roadways will be public or private and please include the amount of dedicated ROW proposed. Please work with Fire regarding roadway lengths. A use permit from Volusia County is required.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes
Planning	Draft	PD & Comp Plan 1. In the City's Comprehensive Plan, this project is located within the Lake Winnemissett Gateway Corridor. Please provide information regarding consistency with this land use designation. 2. No water or wastewater system plan or state permit application shall be approved by the city engineer unless the city and the developer have executed a utility service agreement. 3. The applicant shall provide submit information for public school concurrency review. 4. The applicant shall provide evidence of adequate public facilities for wastewater, parks and recreation, roads, stormwater drainage, solid waste, potable water, and public schools. 5. The PD included a small, triangular-shaped 6.36-acre parcel. Please clarify if this parcel will be included with this development.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes
Planning	Draft	Phasing The proposed Sketch Plan stated that the project would be constructed in two phases. Please clearly show the phase line on the Sketch Plan. Please note, the entire site may not be cleared at once; clearing must be associated with each separate phase.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes
Planning	Draft	Project Narrative or Letter of Intent Please include a letter of intent that clearly outlines the project proposal meets the LDR requirements and the requirements outlined in the PD, the Development Agreement, and the Comprehensive Plan.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Standards Please provide information regarding the minimum lot size, setbacks, number of bedrooms, impervious area, and tree protection. Minimums and Maximums: • The minimum lot size is 10,000 square feet for first three units plus 2,725 square feet for each additional unit. Minimum setbacks for project area: • Front setback: 30 feet from project perimeter lot line • Rear and side: 20 feet from project perimeter lot line; 40 feet from the project perimeter lot line when adjacent to single-family residential district. May be reduced to 20 feet if an eight-foot wall is used for visual screening. Interior setbacks: All buildings shall be setback at least ten (10) feet from all interior private roads and interior common parking areas. An additional set back from private roads of one foot shall be required for every two (2) feet of height for structures exceeding 35 feet. The following minimum spacing shall be maintained between buildings: • Spacing between buildings between sides of buildings: 25 feet between sides and rear of adjacent buildings and 50 feet between any combination of fronts or rears of adjacent buildings. Maximum building length: 150 feet • Maximum building height: 65 feet • Minimum floor area under heat and air: • Efficiency: 425 square feet • 1 Bedroom: 575 square feet • 2+ Bedroom: 725 square feet plus 150 square feet per each additional bedroom Maximum impervious area is 50%. A minimum of 15% of the total square footage of any new development shall be designated for the protection of trees. Please include a statement on the Sketch Plan stating that the minimum 15% tree protection area will be met. Minimum floor area under heat and air: Multifamily: o Efficiency, no separate bedroom: 425 square feet o One bedroom: 575 square feet o Two + bedroom: 725 square feet plus 150 square feet per each additional bedroom	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes
		Lot Sizes, Dimensions, and Setbacks Please include the proposed lot sizes and include lot dimensions. Please provide the number of stories of the townhome units. Please include the setbacks for each of the structures.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes
		Building Elevations Please provide conceptual or illustrative building elevations.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes
		Details Please label the proposed land uses such as drainage/detention facilities, proposed amenities, or surrounding land uses.	CONCEPT PLAN 6-22-2022.pdf	Carol Kuhn	Carol Kuhn	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Details Please include proposed roadway dimensions. Include dimensions for lot lines.	CONCEPT PLAN 6- 22- 2022.pdf	Carol Kuhn	Carol Kuhn	Yes
Planning	Draft	Details Please show any existing or proposed waterways.	CONCEPT PLAN 6- 22- 2022.pdf	Carol Kuhn	Carol Kuhn	Yes
Planning	Draft	Tree Protection Area Please identify the tree protection area.	CONCEPT PLAN 6- 22- 2022.pdf	Carol Kuhn	Carol Kuhn	Yes
Planning	Draft	Details Label and dimension the proposed clubhouse and pool areas.	CONCEPT PLAN 6- 22- 2022.pdf	Carol Kuhn	Carol Kuhn	Yes

Conditions and notes for record **CP22-132**
Job Address: 0 E SR 44, Deland FL 32724
Job Description: 304 townhome units

Discipline	Status	Type	Details	Attached To	Created By
Utilities	Draft	Note	Water A 12" Water line will be on summit at the NE tip of property. Will need extended to south entrance.	CONCEPT PLAN 6-22-2022.pdf	Jim Ailes
Utilities	Draft	Note	Sewer and Reclaim Water Lines will need extended south from the Gas Easement.	CONCEPT PLAN 6-22-2022.pdf	Jim Ailes
Utilities	Draft	Note	Utility Service Agreement This project will require a utility service agreement to be signed before start of construction.	CONCEPT PLAN 6-22-2022.pdf	Jim Ailes

NEW BUSINESS

4



City of DeLand
TRC
SP22-136
AUGUST 18, 2022





City of DeLand
TRC
SP22-136
AUGUST 18, 2022

M-1

VC:I-1

OLD DAYTONA RD

PARADE CIR

C-2

1517

108

110

200

112

101

111

121

131

283

213

Northgate
PD

1511

1501

99

US HWY-17 (WOODLAND BLVD-N)

PROJECT BOUNDARIES

US HWY-92 (INTL SPEEDWAY BLVD-E)

C-2

Z

Legend:

 City Zoning

 County Zoning



Not to Scale

Issues for record SP22-136
Job Address: 101 W International Speedway BLVD, DeLand FL 32724
Job Description: This project includes the construction of a 2,332 SF restaurant and associated infrastructure

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Existing Storm Pipe						
Engineering	Draft	1. Please add following note on sheet, "Prior to grouting existing storm pipe inverts, contractor must verify that pipe to be grouted does not receive flows from outside the project limits". 2. Please show more clearly the limits and linear-feet of existing 18" RCP to be removed.	C4	Tuan Huynh	Tuan Huynh	Yes
Proposed Signage						
Engineering	Draft	1. At all stop sign locations, please add "Do Not Enter" R5-1 sign on the reverse side to prevent vehicles turning into the one-way drive aisle.	C6	Tuan Huynh	Tuan Huynh	Yes
General Comments						
Engineering	Draft	1. This development is adjacent to International Speedway Blvd.; therefore, FDOT Permit is required. 2. Please provide the SJRWMD / FDEP permit or exemption letter approval upon issuance. This is required prior to scheduling the pre-construction meeting.		Tuan Huynh	Tuan Huynh	Yes
Areas and Coverages						
Engineering	Draft	1. Land Use Table - please check impervious and pervious total area. Numerical values appear to be reversed. 2. Land Use Table – please provide existing conditions impervious and pervious areas breakdown instead of calling it as "Upland Area". Use same category as proposed improvements for comparison between pre and post development land use coverages.	C1	Tuan Huynh	Tuan Huynh	Yes
ADA						
Engineering	Draft	1. Please show the building front door with spot grade just outside the building. Per ADA, front door elevation drop must be less than 0.02 ft. Also, please check longitudinal slopes from handicap space ramp (elevation 91.12) to front door entrance. ADA accessible path must be less than 5% longitudinal slope and 2% cross-slope.	C7	Tuan Huynh	Tuan Huynh	Yes
Grading and Slopes						
Engineering	Draft	1. On west side drive-thru pavement area there is spot grade 91.00. From this point there is 8% slopes toward the existing pavement grade 87.00 at NW corner of drive-thru lane. Can the slope be reduced at this location? 2. Provide additional spot grades along west and north sides curb line and drive-thru lane area so pavement slopes can be checked for positive drainage. 3. Show the existing elevations (+/-) at the MEG callout locations to ensure positive drainage within the parking lot. 4. Provide existing pavement grades in front of the dumpster for new pavement matching existing to ensure positive drainage toward drive aisle.	C7	Tuan Huynh	Tuan Huynh	Yes
Hydrants						
Fire	Draft	Show all hydrants within 1000 Ft of the building (driving) NFPA 1 Chapter 18 18.5.3	C8	Fred Link	Fred Link	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Fire	Draft	Access Road Access road must be at least 20FT wide.	C5	Fred Link	Fred Link	Yes
Fire	Draft	Address 101 E International Speedway is not correct. 101 is already taken.	C1	Fred Link	Fred Link	Yes
Fire	Draft	Address Correct address must be able to be seen from the road by code. Must be a minimum of 6 inches block numbers on contrasting colors.	C1	Fred Link	Fred Link	Yes
Fire	Draft	Access Road The parking lot road between International Speedway & the project must remain open. It is access to to other structures on the property.	C5	Fred Link	Fred Link	Yes
Fire	Draft	water analysis Show that required fire flow for building can be meet.	C8	Fred Link	Terry Griffiths	Yes
Forestry	Draft	Plant Schedule The minimum size for replacement trees is 3" caliper. Make the following changes to your plan to meet City replacement minimum and Grades & Standards Specifications: LI: 3" cal., 2" DBH, 8' ht, 42" sp., 45 gal MGL: 4" cal., 3" DBH, 10' ht, 6' sp., 100 gal QV: 3.5" cal, 2.5" DBH, 9' ht, 5' sp., 65 gal	LA1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Protection Area A 0.803 acre site would require 0.12 acres Tree Protection Area. Please indicate any Tree Protection Area on your plan. We will need to discuss at TRC whether this requirement has already been met as part of the existing subdivision.	LA1	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Minimum Coverage A 0.803 acre site would require 84" DBH to meet minimum coverage requirements. It looks like you will have 46" DBH of existing trees remaining. With the proposed changes to your Plant Schedule, you would add another 24" DBH. This would result in 70" DBH towards your minimum coverage requirement. You can count palms towards 25% of your minimum coverage requirement, so the 21" DBH of palm allowance would allow you to meet this requirement assuming that the palms at the north end of the property are on site. So, your minimum coverage requirements will be met once you make the changes specified in the Plant Schedule.	LA1	Mariellen Calabro	Mariellen Calabro	No
Planning	Draft	Dimensions Add Building dimensions	C6	Danevsky Joseph	Danevsky Joseph	Yes
Planning	Draft	Legal description The legal description should reference the lease area since the project does not reflect lot 1 and 2.	C1	Danevsky Joseph	Danevsky Joseph	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Mechanical Show all rooftop mechanical equipment, and indicate how it will be screened. Show as dashed line behind screen wall.	2	Danevsky Joseph	Danevsky Joseph	Yes
Planning	Draft	Impervious Revise impervious vs pervious on the table, Th number also appear to be off, we calculated 90.6, and you have 90.7	C1	Danevsky Joseph	Danevsky Joseph	Yes
Planning	Draft	Project Area Define project area, acres, and square footage on site plan and landscape plan. Identify as lease area if applicable. Add dimension of leased area.		Danevsky Joseph	Danevsky Joseph	Yes
Planning	Draft	Zoning The zoning is incorrect. The proper zoning designation for this parcel is "Northgate PD' , with C-2 standards.	C1	Danevsky Joseph	Danevsky Joseph	Yes
Planning	Draft	Parking How will you accommodate tractor supply's need for required parking? Please provide a tent roster for he two uses. How many parking space are being removed for chipotle ?		Danevsky Joseph	Danevsky Joseph	Yes
Planning	Draft	Change Change existing Zoning to North gate PD	C1	Danevsky Joseph	Mariellen Calabro	Yes
Utilities	Draft	Note #20 Need to use blue polyethylene for pipe 2" or less.	C3	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Grease Trap Where will grease trap be installed?	C8	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Wet Tap Callout the size of the tap, valve, and size of line on plans.	C6	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Clean Outs No clean outs shown on line and line size not called out.	C6	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Backflow Device Need to show a backflow RPZ device and size. Meter location not shown as well.	C6	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Irrigation How will site be irrigated?	C6	Jim Ailes	Jim Ailes	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Utilities	Draft	Manhole Manhole will need to be cored and booted for sewer lateral install.	C6	Jim Ailes	Jim Ailes	Yes

Conditions and notes for record SP22-13b
Job Address: 101 W International Speedway BLVD, DeLand FL 32724
Job Description: This project includes the construction of a 2,332 SF restaurant and associated infrastructure

Discipline	Status	Type	Details	Attached To	Created By
Planning	Draft	Condition	Lighting	SL3.0	Danevsky Joseph
			Ensure all on site lighting meets this requirement:		
			All lighting shall be downward and of the full cut off shield variety in which the light source is recessed and shielded in a manner which prohibits upward light overspill into the night sky.		
Utilities	Draft	Condition	See C-6 comments	C8	Jim Ailes
			Comments done on page C-6		

NEW BUSINESS

5



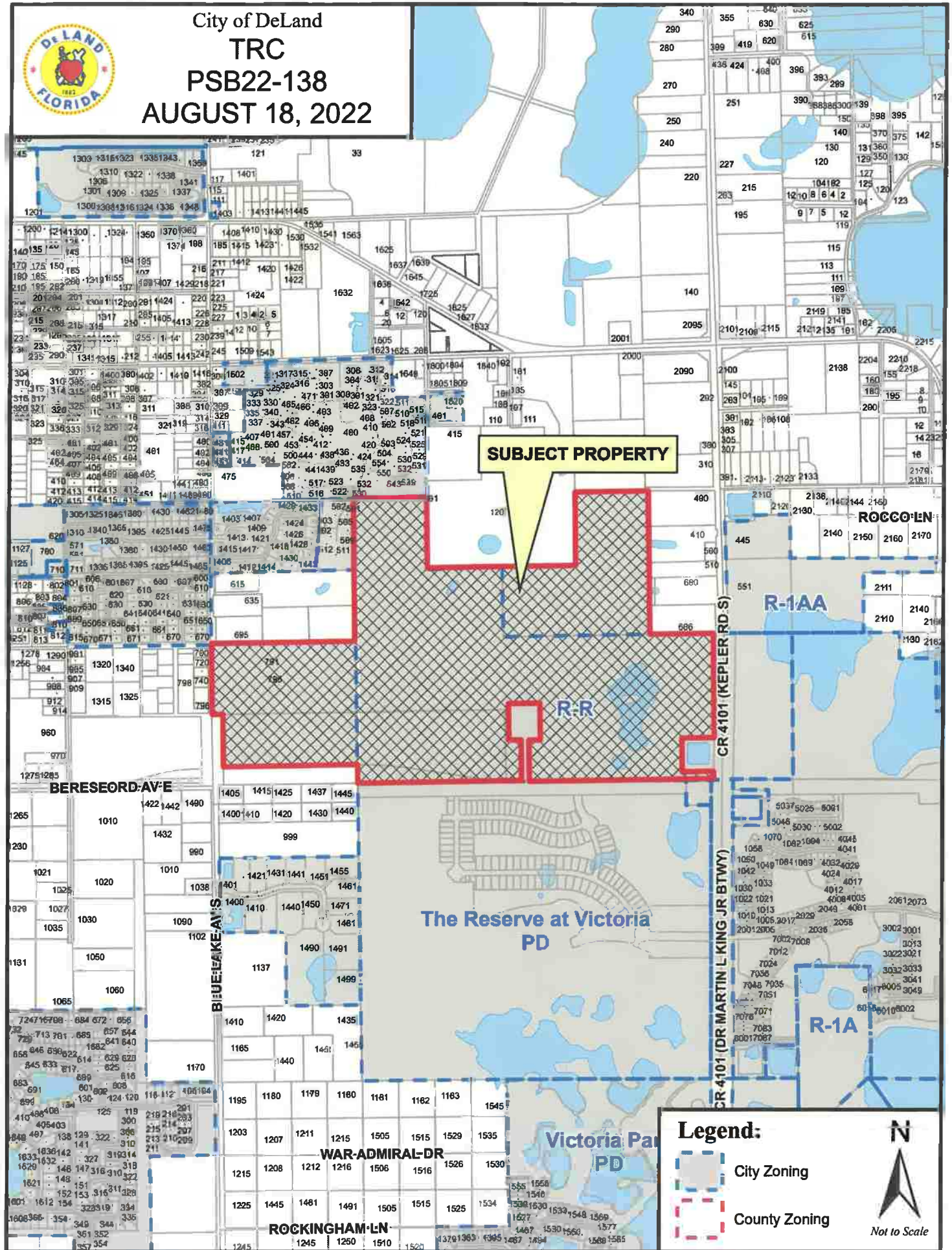
City of DeLand
TRC
PSB22-138
AUGUST 18, 2022





City of DeLand
TRC
PSB22-138
AUGUST 18, 2022

SUBJECT PROPERTY



Legend:

- City Zoning
- County Zoning



Issues for record PSB22-138

Job Address: 0 S Kepler RD, Deland FL 32724

Job Description: Trinity Gardens will be an approximately 543-lot single family subdivision on 183.93 acres. The project includes the construction of a surface water management system, utility infrastructure, and roadway improvements.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Walking Trail 1. North of Lot No. 1, walking trail path is missing on the sheet.	C-3.1	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Pedestrian crossing 1. Can ADA sidewalk and ramp with crosswalk striping be provided to connect end of walking trail near OS-10 to Amenity Center A-1 sidewalk?	C-3.3	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Handicap Space near Park 1. Provide one handicap space in parking area east of Park P-5.	C-3.9	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Pond NWL and DHW 1. Please show normal water level (NWL) and design high water (DHW) elevations for all Stormwater Ponds. This comment applies throughout the plans set.	C-4.0	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Rip-Rap Protection 1. Please show rip-rap protection at mitered end section (MES) discharge location to the swales. This comment applies throughout the plans set.	C-4.0	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Driveway Culvert 1. Proposed entrance to subdivision driveway on MLK Beltway crosses an existing drainage ditch. But plans do not show driveway culverts.	C-4.1	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Sidewalk Drop-off Hazards 1. Sidewalks on south side of entrance road near Pond 4 have vertical drop-off of 10" or greater on back side. Please check drop-off protection requirements per FDOT Greenbook, Chapter 8, Figure 8-4, Drop-off Hazards for Pedestrian and Bicyclists. If pedestrian railings or guard pipe is required, please show the limits and quantities on the plans. This comment applies throughout the plans set.	C-4.1	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Lot Grading 1. Lot 7 has only 0.10 ft. drop from back to front lot grades for Type A. Recommend min. 1% lot grading for positive drainage. This comment applies throughout the plans set.	C-4.1	Tuan Huynh	Tuan Huynh	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Max. Pipe Length						
Engineering	Draft	1. Structure A-35A has 24" inflow pipe with length of 616 feet. This exceeds maximum pipe lengths per FDOT Drainage Manual, Section 3.10.1. Max. length for 18" pipe is 300 feet, for 24" to 36" pipe is 400 feet, and 42" pipe or larger is 500 feet. Provide additional manhole or inlet to reduce pipe length. This comment applies throughout the plans set.	C-4.1	Tuan Huynh	Tuan Huynh	Yes
Pipes with 0% Slopes						
Engineering	Draft	1. There are multiple storm sewer segments with (0%) pipe slopes discharging to Pond 1. There is concerned with sediment build-up. Please provide min. pipe slope per 2014 FDOT Storm Drain Handbook, Table 4-1. However, equalizer pipes used for connecting the wet ponds can be at 0% slope. This comment applies throughout the plans set.	C-4.1	Tuan Huynh	Tuan Huynh	Yes
Max. Slopes						
Engineering	Draft	1. Please add note "Max. Slope 1:4 (V:H)" for the slope transition areas behind Lots 40 and 41.	C-4.2	Tuan Huynh	Tuan Huynh	Yes
Swale Grades						
Engineering	Draft	1. Provide additional swale bottom grades behind Lot 22 to ensure positive drainage to Pond 6.	C-4.2	Tuan Huynh	Tuan Huynh	Yes
General Comments						
Engineering	Draft	1. Development is adjacent to S. Blue Lake Road and MLK Beltway which are Volusia County maintained roads. County Use Permit is required. 2. Proposed subdivision walking trail is located within Florida Power 100' easement. Has this been coordinated with power company? 3. Any areas in the Right-Of-Way must follow current ADA standards that state all intersections should have crossings and ramps allowing for travel in both directions (along the road and crossing the road). Parking areas must also include handicap accessible parking. 4. Any amenities meant for use by the residents of the development should be ADA accessible, which includes the trails and paths, meaning that the surfaces must be stable, smooth and skid resistant. This includes the playground and the pavilion and most of the surfaces listed as H3 on the landscape plans.		Tuan Huynh	Tuan Huynh	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Drainage Calculations				
		1. Pre and Post Development Basin Maps, please provide a summary table on the sheet for each basin showing the basin area, weighted Curve Number (CN), and time of concentration. This will help with the review of the ICPR input data.				
		2. Post Development Basin Map, why is there two delineation areas for Basin OS-8?				
		3. Areas-Post Basins spreadsheet calculations. Please show the weighted CN value so ICPR input data can be checked.				
		4. Basin OS-10 Areas - Pre Basin spreadsheet curve number = 36 does not match ICPR input data.				
		5. ICPR input data for Wetland 14, Wetland 15, and Wetland 16 are not shown on the Areas – Pre or Post spreadsheet. Please show on spreadsheet so that ICPR data can be checked.				
		6. ICPR input data for Node Pond 3 bottom area does not match the spreadsheet stage storage calculation.				
		7. ICPR input data for Node Pond 4 stage and area do not match the spreadsheet stage storage calculation.				
		8. ICPR input data for Node Pond 5 stage and area do not match the spreadsheet stage storage calculation.		Tuan Huynh	Tuan Huynh	Yes
		9. ICPR input data for Node Pond 7 stage and area do not match the spreadsheet stage storage calculation. Also, label the grade break, control and top of berm on left side of spreadsheet.				
		10. ICPR input data for Node Wetland 10 stages elevations do not match the spreadsheet stage storage calculation. ICPR warning stage should be 76.00. Spreadsheet cells have REF errors at bottom.				
		11. ICPR input data for Drop Structure Link: Pond 1 has pipe Manning's 'N' coefficient 0.13 but should be 0.013. Please refer to 2022 FDOT Drainage Manual, Section 3.6.4. This comment applies to all ICPR link input data.				
		12. ICPR input data for Drop Structure Link: Pond 5 has 15" outfall pipe invert that does not match control structure detail on plan sheet C-8.2.				
		13. ICPR input data for Drop Structure Link: Pond 6. Check Weir #2 max. depth 2.25'. It does not match control structure detail elevations on plan sheet C-8.2.				
		14. ICPR input data for Drop Structure Link: Wetland 10. Pipe (36") invert of 70.00 does not match control structure detail on plan sheet C-8.2.				
Engineering	Draft	Trail Drop-Off Hazards				
		1. Can 2' flat recovery area be provided along walking trail adjacent to Pond 7 top of berm? There is concerned with pedestrian drop-off hazards with trail adjacent to Pond 1:5 side slope.	C-3.3	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Trail Drop-Off Hazard				
		1. Can 2' flat recovery area be provided along walking trail adjacent to Pond 2 top of berm? There is concerned with pedestrian drop-off hazards with trail adjacent to Pond 1:5 side slope.	C-3.6	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Beresford Ave. Trail Connection				
		1. Provide following note at subdivision walking trail connection to multi-use trail on Beresford Ave. "Proposed subdivision walking trail to connect to multi-use trail on Beresford Ave. to be constructed by Volusia County".	C-3.7	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Handicap Space near Park				
		1. Provide one handicap space in parking area north of Park P-3.	C-3.8	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Swale Max. Slopes				
		1. Please provide note, "Max. slopes 1:4 (V:H)" at all swale and slope transition areas. This comment applies throughout the plans set.	C-4.0	Tuan Huynh	Tuan Huynh	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Pipes at 0% Slopes						
Engineering	Draft	1. There are multiple storm sewer segments with (0%) pipe slopes discharging to Pond 6. There is concerned with sediment build-up. Please provide min. pipe slope per 2014 FDOT Storm Drain Handbook, Table 4-1. However, equalizer pipes used for connecting the wet ponds can be at 0% slope. This comment applies throughout the plans set.	C-4.2	Tuan Huynh	Tuan Huynh	Yes
Pipe min. slopes						
Engineering	Draft	1. Some 18" RCP segments have less than min. slope required for min. cleaning velocity of 2.5 ft/sec. There is concerned with sediment build-up. Please check all pipe slopes per 2014 FDOT Storm Drain Handbook, Table 4-1. This comment applies throughout the plans set.	C-4.2	Tuan Huynh	Tuan Huynh	Yes
Contours Tie-in						
Engineering	Draft	1. Proposed contours do not tie into existing contours behind Lot 122.	C-4.3	Tuan Huynh	Tuan Huynh	Yes
Structure within Parallel Parking						
Engineering	Draft	1. Structure A-11A with Type 6 curb inlet having a 1.5' angled grate in front may restrict the parallel parking width to only 6' to 7'. There is concerned with driver ability to park without encroachment into the travel lane. Please re-consider inlet location or use different inlet type. This comment applies throughout the plans set.	C-4.3	Tuan Huynh	Tuan Huynh	Yes
Missing Storm Structure ID						
Engineering	Draft	1. Both curb inlets near Lot 300 is missing structure ID.	C-4.3	Tuan Huynh	Tuan Huynh	Yes
Structure within Crosswalk						
Engineering	Draft	1. Can Structure E-4 be re-located outside the pedestrian crosswalk and ADA accessible path?	C-4.3	Tuan Huynh	Tuan Huynh	Yes
Pipes with 0% Slopes						
Engineering	Draft	1. There are multiple storm sewer segments with (0%) pipe slopes discharging to Wetland W-10. There is concerned with sediment build-up. Please provide min. pipe slope per 2014 FDOT Storm Drain Handbook, Table 4-1. This comment applies throughout the plans set.	C-4.3	Tuan Huynh	Tuan Huynh	Yes
Swale Slopes						
Engineering	Draft	1. Swale bottom grades is flat near Lot 265 at elevation 79.00. Please provide slopes in swale for positive drainage to Pond 7.	C-4.3	Tuan Huynh	Tuan Huynh	Yes
Pipe Velocity						
Engineering	Draft	1. Pipe velocity is greater than 20 ft/sec from structure G-1 to Pond-7 when flowing full. Per FDOT Drainage Manual, Section 3.6.1, velocities should be between 2.5 ft/sec to 15 ft/sec when flowing full. Please revise slope to reduce velocities. This comment applies throughout the plans set.	C-4.3	Tuan Huynh	Tuan Huynh	Yes
Pipes with 0% Slopes						
Engineering	Draft	1. There are multiple storm sewer segments with (0%) pipe slopes north of Lots 474 and 475. There is concerned with sediment build-up. Please provide min. pipe slope per 2014 FDOT Storm Drain Handbook, Table 4-1. This comment applies throughout the plans set.	C-4.4	Tuan Huynh	Tuan Huynh	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Pipe Callout Missing 1. Pipe segment between structure F-4 and F-4A is missing the length and slope callout.	C-4.4	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Structure Callout Missing 1. Both curb inlets north of structure F-7 are missing Storm ID and pipe connecting the inlets is missing length and slope callout.	C-4.4	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Lot Grading 1. Lot 334 has only 0.14% slope from rear to front grading on east side. Recommend min. 1% slope for positive drainage.	C-4.5	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Playground Area Drainage 1. Provide inlets or yard drains to collect and divert runoff away from the playground area P-2. Based on proposed contours and grades, playground will receive runoff from south and north sides. This comment applies to other playground areas within subdivision.	C-4.5	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Swale Grades 1. Swale bottom grade is flat behind Lots 517 to 520 and Lots 521 to 523. Please provide slopes in swale for positive drainage to inlet F-10B.	C-4.7	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Swale Slopes 1. Please provide slopes in swale to ensure positive drainage to inlet F-14B.	C-4.9	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Text Size 1. Please increase text size for the summary of drainage structures. Text is too small on the sheet.	C-4.10	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Pipe Angle 1. Please check pipes angle into structure E-24 for constructability per 2014 FDOT Storm Drain Handbook, Table 4-6. This comment applies throughout the plans set.	C-4.8	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Control Structure E-16 1. Control Structure E-16 (Pond 3) shows 48" on plan view but on section view shows 36" and 42" pipes. Please also check that ICPR input data matches control structure detail.	C-8.2	Tuan Huynh	Tuan Huynh	Yes
Fire	Draft	Emergency Access All roadways must maintain a width of at least 20 feet for fire department access. This rule includes areas with off street parking.	C-3.2	Jamie Lunsford	Jamie Lunsford	Yes
Fire	Draft	Access Roadways Verify Phase scheduling in regards to roadways and utilities.	C-2.0	Jamie Lunsford	Jamie Lunsford	Yes
Fire	Draft	Emergency Access Verify distance between on street parking were not indicated on the plans.	C-3.3	Jamie Lunsford	Jamie Lunsford	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Fire	Draft	Fire Apparatus Check documents, verify and document that the departments largest apparatus is capable of making the dead end turn arounds.		Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	Tree Replacement Table Additional comments will be provided when required data is presented. Are site trees and buffer trees included in the Code Plant Schedule?	L430	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tabebuia Tabebuia don't tend to do very well here. They are Zone 10A-11 and 9B-11. Consider replacing them with a species that can handle the occasional week of freezing weather that we still get in DeLand.	L430	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Code Plant Schedule Three inch caliper is the minimum size for replacement species. Please make the following changes to meet this and other Florida Grades and Standards Requirements: AR, PO & QV: 3" cal., 8' ht, 54" sp, and 45 gallon container (provides 54" DBH AR, 6" DBH PO, and 34" DBH QV) IC: 3" cal., 8' ht, 28" sp, and 45 gallon container (provides 352" DBH) LIN: 3" cal., 8' ht, 42" sp, and 45 gallon container (provides 180" DBH) MGB: 3" cal, 8' ht, 54" sp, and 45 gallon (provides 694" DBH) QVB: 3.5" cal, 9' ht, 5' sp, and 65 gallon container (provides 610" DBH)	L430	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Palms 28. Section 33-57.15 (a) of the City's Land development regulation states that palms may be used as replacement stock for other palms up to the full DBH replacement requirement for the palms being removed from the site. Palms may be substituted as replacements for other species under the following conditions: a. If the DBH of palms being removed from the site is less than 25 percent of the total DBH of trees being removed, palms may be substituted for replacement of non-palm species up to a maximum of 25 percent of the total DBH replacement required. b. Because palms are generally moved as mature trees...For the purpose of substitution of palms for non-palm species, each three-inch DBH of palm equates to one-inch DBH non-palm species.	L430	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Fertilizer at Planting Fertilizer should only be used if soil testing indicates that it is needed. Adding slow release fertilizer of any type at planting has not been associated with improved or reduced survival. While application of slow release fertilizer is not likely to hurt the plant provided it is applied according to the directions on the product, adding soluble fertilizer to a newly installed plant could burn roots if too much is applied. Since survival will not be improved, growth increases are unlikely (except in very poor soils), and the potential for fertilizer burn is real, it might be best to make the first fertilizer application at least a few months to a year after planting. When fertilizer is applied, it should be spread on top of the root ball and backfill soil or on top of the mulch. There is no need to mix it with the backfill soil or place it at the bottom of the planting hole since most roots end up close to the soil surface in urban and suburban landscapes.	L431	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	3.07A Add "if required by soil testing..."	L433	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	3.15A In Line 2, change "should" to "Should".	L433	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Insufficient tree data Insufficient tree data has been provided. I have reviewed what has been presented; however, there will be many additional comments when sufficient tree data is provided. No data on trees removed or remaining has been included, so I cannot comment on tree replacement at this time.		Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic Tree - 3 Historic Trees: There are several historic trees in the project area. Each historic tree and the limits of its dripline need to be clearly identified on the site plans. Historic Trees: Any historic tree that is proposed for removal will require a review by this office, the City Tree Advisory Committee and approval by City Commission. The developer must demonstrate that the tree is a hazard or that it is not economically or practically feasible to develop the parcel without removing the historic tree. Historic Trees: There are several historic trees in the project area. Each historic tree and the limits of its dripline need to be clearly identified on the site plans.		Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Historic Tree - 4 Historic Trees: Any historic tree that is proposed for removal will require a review by this office, the City Tree Advisory Committee and approval by City Commission. The developer must demonstrate that the tree is a hazard or that it is not economically or practically feasible to develop the parcel without removing the historic tree.		Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Sheets L401 - L415 The landscaping provided is very conceptual. Please define the species and size of the Large Trees, Medium Trees/Small Trees, and Palms. The terminology used does not match the species list on Sheet L430. Also, these sheets reference Sheet L421, which is not in this review set.	L401	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Sheets L401 to L415 The landscaping provided is very conceptual. Please define the species and size of the Large Trees, Medium Trees/Small Trees, and Palms. The terminology used does not match the species list on Sheet L430. Also, these sheets reference Sheet L421, which is not in this review set.	L402	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Sheets L401 to L415 The landscaping provided is very conceptual. Please define the species and size of the Large Trees, Medium Trees/Small Trees, and Palms. The terminology used does not match the species list on Sheet L430. Also, these sheets reference Sheet L421, which is not in this review set.	L403	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Sheets L401 to L415 The landscaping provided is very conceptual. Please define the species and size of the Large Trees, Medium Trees/Small Trees, and Palms. The terminology used does not match the species list on Sheet L430. Also, these sheets reference Sheet L421, which is not in this review set.	L404	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Sheets L401 to L415				
Forestry	Draft	The landscaping provided is very conceptual. Please define the species and size of the Large Trees, Medium Trees/Small Trees, and Palms. The terminology used does not match the species list on Sheet L430. Also, these sheets reference Sheet L421, which is not in this review set.	L405	Mariellen Calabro	Mariellen Calabro	Yes
		Sheets L401 to L415				
Forestry	Draft	The landscaping provided is very conceptual. Please define the species and size of the Large Trees, Medium Trees/Small Trees, and Palms. The terminology used does not match the species list on Sheet L430. Also, these sheets reference Sheet L421, which is not in this review set.	L406	Mariellen Calabro	Mariellen Calabro	Yes
		Sheets L401 to L415				
Forestry	Draft	The landscaping provided is very conceptual. Please define the species and size of the Large Trees, Medium Trees/Small Trees, and Palms. The terminology used does not match the species list on Sheet L430. Also, these sheets reference Sheet L421, which is not in this review set.	L407	Mariellen Calabro	Mariellen Calabro	Yes
		Sheets L401 to L415				
Forestry	Draft	The landscaping provided is very conceptual. Please define the species and size of the Large Trees, Medium Trees/Small Trees, and Palms. The terminology used does not match the species list on Sheet L430. Also, these sheets reference Sheet L421, which is not in this review set.	L408	Mariellen Calabro	Mariellen Calabro	Yes
		Sheets L401 to L415				
Forestry	Draft	The landscaping provided is very conceptual. Please define the species and size of the Large Trees, Medium Trees/Small Trees, and Palms. The terminology used does not match the species list on Sheet L430. Also, these sheets reference Sheet L421, which is not in this review set.	L409	Mariellen Calabro	Mariellen Calabro	Yes
		Typo				
Forestry	Draft	Fix spelling of column.	L205	Mariellen Calabro	Mariellen Calabro	Yes
		Sheets L401 to L415				
Forestry	Draft	The landscaping provided is very conceptual. Please define the species and size of the Large Trees, Medium Trees/Small Trees, and Palms. The terminology used does not match the species list on Sheet L430. Also, these sheets reference Sheet L421, which is not in this review set.	L410	Mariellen Calabro	Mariellen Calabro	Yes
		Sheets L401 to L415				
Forestry	Draft	The landscaping provided is very conceptual. Please define the species and size of the Large Trees, Medium Trees/Small Trees, and Palms. The terminology used does not match the species list on Sheet L430. Also, these sheets reference Sheet L421, which is not in this review set.	L411	Mariellen Calabro	Mariellen Calabro	Yes
		Sheets L401 to L415				
Forestry	Draft	The landscaping provided is very conceptual. Please define the species and size of the Large Trees, Medium Trees/Small Trees, and Palms. The terminology used does not match the species list on Sheet L430. Also, these sheets reference Sheet L421, which is not in this review set.	L412	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Sheets L401 to L415				
Forestry	Draft	The landscaping provided is very conceptual. Please define the species and size of the Large Trees, Medium Trees/Small Trees, and Palms. The terminology used does not match the species list on Sheet L430. Also, these sheets reference Sheet L421, which is not in this review set.	L413	Mariellen Calabro	Mariellen Calabro	Yes
		Sheets L401 to L415				
Forestry	Draft	The landscaping provided is very conceptual. Please define the species and size of the Large Trees, Medium Trees/Small Trees, and Palms. The terminology used does not match the species list on Sheet L430. Also, these sheets reference Sheet L421, which is not in this review set.	L414	Mariellen Calabro	Mariellen Calabro	Yes
		Sheet L420?				
Forestry	Draft	Please explain this page. Please add headings over each row. Line up the headings over each row and label each row. Are these existing trees or trees to be planted. Maybe add some lines to make it a little more user friendly.	L420	Mariellen Calabro	Mariellen Calabro	Yes
		Landscape Note 16				
Forestry	Draft	Six inches above grade is a little high, change six (6) to three (3).	L430	Mariellen Calabro	Mariellen Calabro	Yes
		TBD				
Forestry	Draft	Critical information needed for review is listed as TBD. Everything listed as TBD needs to be provided before I can determine whether minimum coverage or replacement requirements have been met.	L430	Mariellen Calabro	Mariellen Calabro	Yes
		DBH Provided				
Forestry	Draft	I'm not sure where the 6,147" provided comes from. Based on your landscape plan, with revisions, I only counted about 1,930" DBH in trees and 423" DBH in palm replacement.	L430	Mariellen Calabro	Mariellen Calabro	Yes
		3.10				
Forestry	Draft	Substitute "No more than one third" for "Approximately" in Line 1 or remove the section. Pruning at planting is only required if limbs are damaged or to address other issues such as crossing branches. If you keep the section substitute "Branches shall be thinned out and not merely cut back" with "Remove any crossing or damaged branches." In Linen 3, replace "shall" with "may".	L433	Mariellen Calabro	Mariellen Calabro	Yes
		Sheets L401 to L415				
Forestry	Draft	The landscaping provided is very conceptual. Please define the species and size of the Large Trees, Medium Trees/Small Trees, and Palms. The terminology used does not match the species list on Sheet L430. Also, these sheets reference Sheet L421, which is not in this review set.	L415	Mariellen Calabro	Mariellen Calabro	Yes
		Landscape Note 7				
Forestry	Draft	Any substitutions must be submitted to the City Forester in writing for approval.	L430	Mariellen Calabro	Mariellen Calabro	Yes
		Part 3 L				
Forestry	Draft	In Line 4, change "take" to "taken".	L433	Mariellen Calabro	Mariellen Calabro	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Section 3.06G In second line, change "this' to "This".	L433	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	2.15 A. 1 Remove this subsection. Crown thinning is not required with root pruning of trees.	L432	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	2.17 A. Line 3 Change "bot" to "not".	L432	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	2.21 to 3.03 Your A, B, C... headings need to be revised to remove the extra letter in front of the numbers.	L433	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Replacement Reserve Account Contribution TBD needs to be determined.	L430	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	3.01D Fertilizer should only be used if required by soil testing.	L432	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	3.01E Change "that" to "than".	L432	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	2.13 A Remove last line regarding caliper.	L432	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Minimum Coverage If your project area is 183.93 acres, you will need to provide 19,229" DBH to meet minimum coverage requirements.		Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Typo Fix spelling of column.	L204	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	2.21B (or A if you fix the lettering error) Add all substitutions must be submitted in writing to the City Forester for approval.	L433	Mariellen Calabro	Mariellen Calabro	Yes
Planning	Draft	Clearing by Phase FYI: the site may NOT be cleared all at one time; it may only be cleared by phase, following the PD Phasing Plan.	C-1.0	Kendall Story	Kendall Story	No
Planning	Draft	TIA to County TIA must be approved by the County. prior to approval. Please provide approval letter from the County.	C-1.0	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	VBNs FYI: per PD, where feasible, home lots backing up to stormwater systems or wetlands will incorporate VNBs (Vegetated Natural Buffers) See PD agreement pg. 19.	L400	Kendall Story	Kendall Story	No
Planning	Draft	all easements to be labeled Label all easements, existing and new.	C-3.3	Kendall Story	Kendall Story	Yes
Planning	Draft	Add the future land use in the site data Add the future land use in the site data	C-2.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Use Permit FYI Use Permit is required from County for any ROW connections.	C-1.0	Kendall Story	Kendall Story	No
Planning	Draft	reserve street names and addresses Street names and addresses must be reserved and provided from the County.	C-1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	number parking Please provide a number count of spaces provided (multiple locations)	C-3.1	Kendall Story	Kendall Story	Yes
Planning	Draft	label label the locations of all bike paths, walking trails	C-2.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Street Names Street names and addressing must be provided.	C-2.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Plat draft final plat not provided.	C-1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Revisions FYI: when submitting your response to comments, all revisions should be clouded	C-1.0	Kendall Story	Kendall Story	No
Planning	Draft	what is this? polygon on the west side of the Street D entrance.	C-3.4	Kendall Story	Kendall Story	Yes
Planning	Draft	Area Summary data Area Summary should include percentages and square footage for all existing and proposed pavement, sidewalks, roadway, open space (required vs. provided)	C-2.0	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Trails				
		Please indicate where each trail will be located, the type of trail and the width, as required by the PD. Only some of the trails are labeled in the LS plans. Please revise all sheets as needed.				
Planning	Draft	The following are the trail types mentioned in the PD that should be labeled throughout: - 8' mulch trails - 4' mulch trails - 8' asphalt trails - 12' multimodal trail segment (will be constructed when the Beresford Extension is developed)	L406	Kendall Story	Kendall Story	Yes
		School Capacity				
Planning	Draft	FYI: Previously, as part of the rezoning process, you confirmed adequate capacity with VC schools per the letter dated 8/10/21. At this stage, you will need to reserve said capacity by obtaining your Reservation Certificate from VCS.	C-1.0	Kendall Story	Kendall Story	No
		Site Data				
Planning	Draft	In the Site Data, indicate if development is within a flood zone or not.	C-2.0	Kendall Story	Kendall Story	Yes
		label 12' wide multimodal trail				
Planning	Draft	label 12' wide multimodal trail (to be constructed with the Beresford Exchange). Update all applicable sheets.	L402	Kendall Story	Kendall Story	Yes
		easement?				
Planning	Draft	please label all existing and new easements.	C-3.4	Kendall Story	Kendall Story	Yes
		Depth				
Planning	Draft	Per the PD, the min. lot depth for single family residences is 115'. This is not being met on multiple lots.	C-2.0	Kendall Story	Kendall Story	Yes
		Lot depth				
Planning	Draft	Per the PD, the min. lot depth for single family residences is 115'. This is not being met on multiple lots. *I've highlighted some on this page, but this error is found on multiple pages.	C-3.2	Kendall Story	Kendall Story	Yes
		Reclaim				
Utilities	Draft	How this project will be supplied needs to be worked out.	C-1.0	Jim Ailes	Jim Ailes	Yes
		Utilities				
Utilities	Draft	Project will require a Utility Service Agreement.	C-1.0	Jim Ailes	Jim Ailes	Yes
		Standards				
Utilities	Draft	Need updated details dated 11/5/2021	C-9.1	Scott Zender	Scott Zender	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Utilities	Draft	Utility Notes 28.c Should state no lead is allowed	GN-1.1	Scott Zender	Scott Zender	Yes
Utilities	Draft	Standards Need updated details dated 11/5/2021	C-9.3	Scott Zender	Scott Zender	Yes
Utilities	Draft	Beresford Connections Who is by others?	C-5.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Standards Need updated details dated 11/5/2021	C-9.2	Scott Zender	Scott Zender	Yes
Utilities	Draft	Standards Need updated details dated 11/5/2021	C-9.0	Scott Zender	Scott Zender	Yes
Utilities	Draft	Standards Need updated details dated 11/5/2021	C-9.5	Scott Zender	Scott Zender	Yes

Conditions and notes for record PSB22-138

Job Address: 0 S Kepler RD, Deland FL 32724

Job Description: Trinity Gardens will be an approximately 543-lot single family subdivision on 183.93 acres. The project includes the construction of a surface water management system, utility infrastructure, and roadway improvements.

Discipline	Status	Type	Details	Attached To	Created By
Fire	Draft	Note	On Site Burning		Jamie Lunsford
			Burning of land clearing debris is prohibited within the City of Deland		
Utilities	Draft	Note	Utility Connections	C-5.0	Scott Zender
			Who is (By Others)		
Utilities	Draft	Note	Valves	C-5.0	Scott Zender
			Need valves called out		

NEW BUSINESS

6

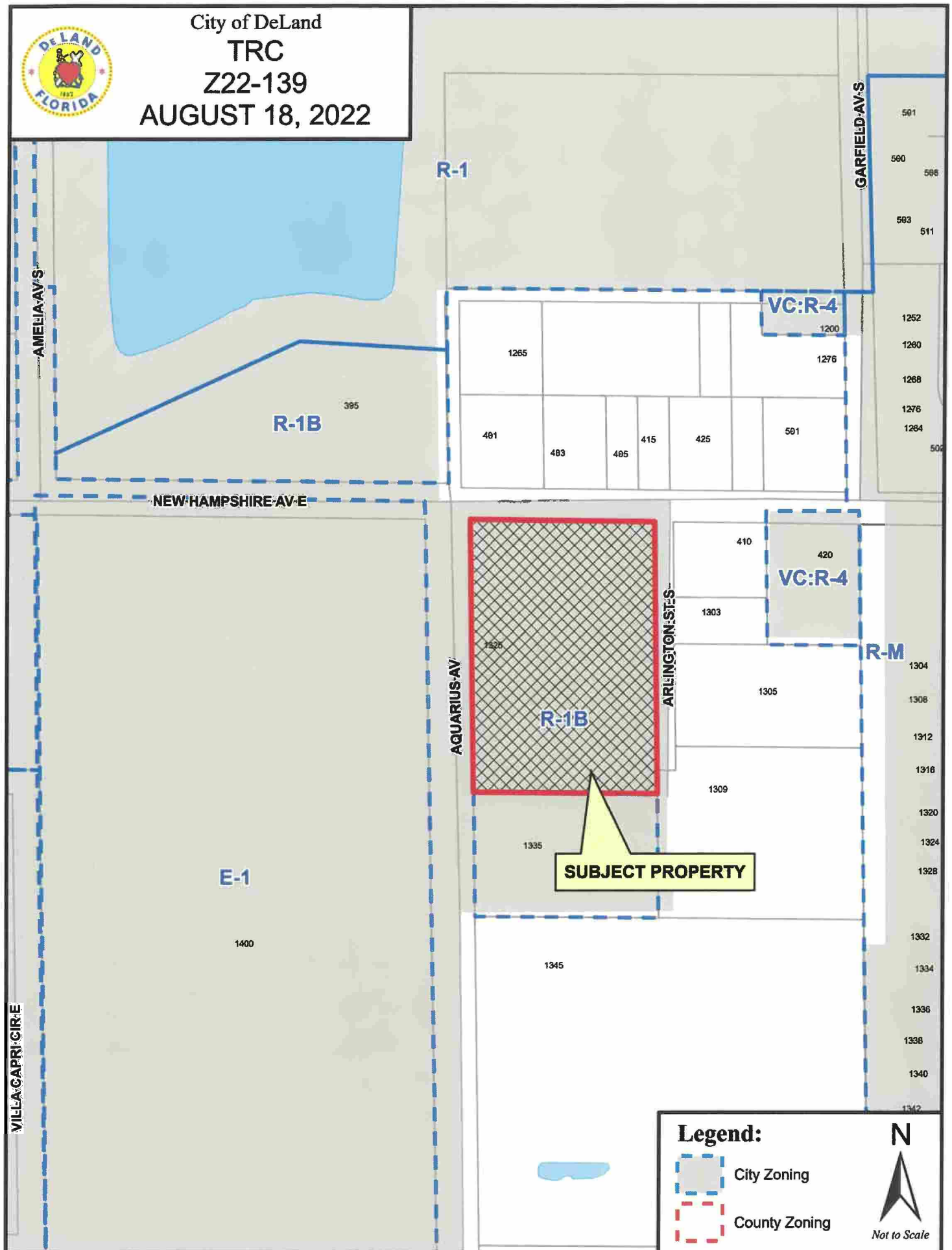


City of DeLand
TRC
Z22-139
AUGUST 18, 2022





City of DeLand
TRC
Z22-139
AUGUST 18, 2022



Issues for record 222-139

Job Address: 1325 AQUARIUS AV, DELAND FL 32724

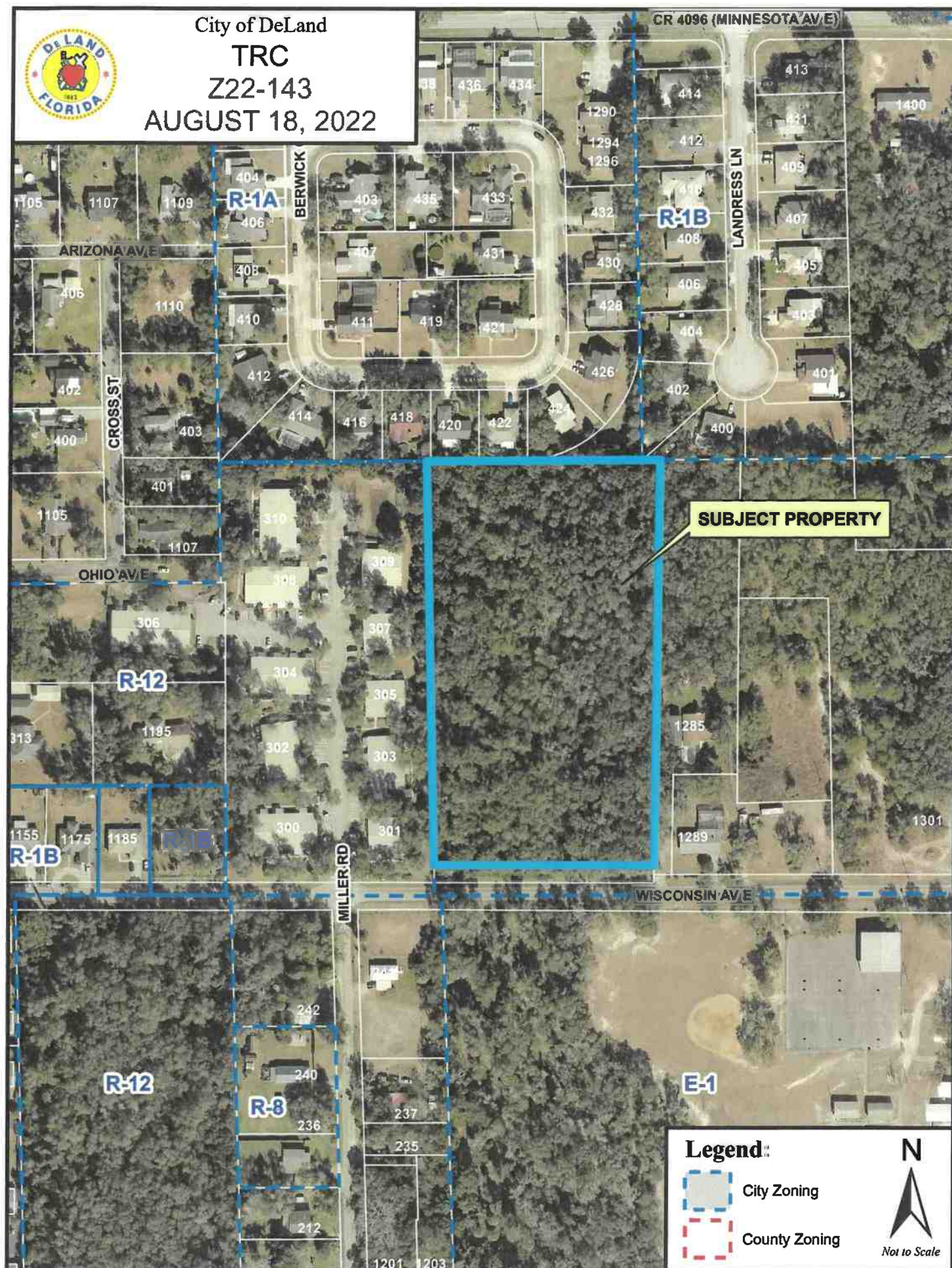
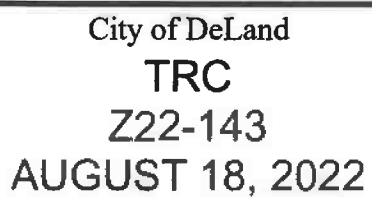
Job Description: Proposed 3 story 47 multi-family dwelling unit development

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modification Required
Parking/Plan						
Building	Draft	Parking spaces required for residential facility is 1 per unit. Parking calculations are not correct. Please remove all pages of conceptual plan except pages 4 and 5 which show the building layout and parking.		Larry Hites	Larry Hites	Yes
Parking Spaces Count						
Engineering	Draft	1. Site Plan shows 47 regular and 4 handicap parking spaces and total 51 spaces. This does not match the Project Summary Table provided.	Aquarius_Landing_Conceptual_Plan_&_Rendering.PDF	Tuan Huynh	Tuan Huynh	Yes
Handicap Space						
Engineering	Draft	1. Please show parking space dimensions on site plan. Per City LDC, regular spaces are min. 9' x 19' and handicap are 9' x 20'	Aquarius_Landing_Conceptual_Plan_&_Rendering.PDF	Tuan Huynh	Tuan Huynh	Yes
Parking and Driveway Curb Radius						
Engineering	Draft	1. Provide a curb radius on north side of 12 parking spaces row. 2. Please show curb radii for western driveway entrance.	Aquarius_Landing_Conceptual_Plan_&_Rendering.PDF	Tuan Huynh	Tuan Huynh	Yes
Parking Lot Striping						
Engineering	Draft	1. Please show proposed pavement striping and signage on site plan per FDOT Standard Plans Index 711-001.	Aquarius_Landing_Conceptual_Plan_&_Rendering.PDF	Tuan Huynh	Tuan Huynh	Yes
Wheel Stops						
Engineering	Draft	1. Provide wheel stops for parking spaces abutting sidewalks adjacent to the building.	Aquarius_Landing_Conceptual_Plan_&_Rendering.PDF	Tuan Huynh	Tuan Huynh	Yes
Dumpster Location						
Engineering	Draft	1. Dumpster location comments may be forthcoming from GFL staff. Concept Plan was sent to GFL for review.	Aquarius_Landing_Conceptual_Plan_&_Rendering.PDF	Tuan Huynh	Tuan Huynh	Yes
Stormwater Retention Pond						
Engineering	Draft	1. Retention pond outfall pipe and mitered end section should not be point discharge onto Aquarius Ave. right-of-way and near public sidewalks. This can cause slippage and erosion issues within the right-of-way. Please re-locate outfall pipe to discharge into existing storm catch basin on east side of Aquarius Ave. 2. Please show retention pond side slopes and top of pond area in acre. Slope must not exceed 1:4 (V:H).	Aquarius_Landing_Conceptual_Plan_&_Rendering.PDF	Tuan Huynh	Tuan Huynh	Yes
General Comments						
Engineering	Draft	1. E. New Hampshire Avenue and Aquarius Avenue are Volusia County maintained roads. County Use Permit is required.		Tuan Huynh	Tuan Huynh	Yes
Final Site Plan Approval						
Fire	Draft	Section shall include no burning.	Aquarius Landing PD Agreement.pdf	Terry Griffiths	Terry Griffiths	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modification Required
Fire	Draft	Amendments Amendments shall require review of Fire.	Aquarius Landing PD Agreement.pdf	Terry Griffiths	Terry Griffiths	Yes
Forestry	Draft	Typo Change "pacel" to "parcel"	Survey.PDF	Mariellen Calabro	Mariellen Calabro	Yes
Forestry	Draft	Tree Survey There are some large Live Oaks on your tree survey. Prior to your site plan stage, you may want to schedule a review with Chris Jackson to make sure that you do not have any historic trees on the property. He can be contacted at jacksonc@deland.org.	Survey.PDF	Mariellen Calabro	Mariellen Calabro	Yes
Planning	Draft	Continue Continue until acreage is confirmed		Belinda Collins	Belinda Collins	Yes
Utilities	Draft	Reclaim Need to add the provision for the use of reclaim as well. It is on Aquarius in front of property.	Aquarius Landing PD Agreement.pdf	Jim Ailes	Jim Ailes	Yes

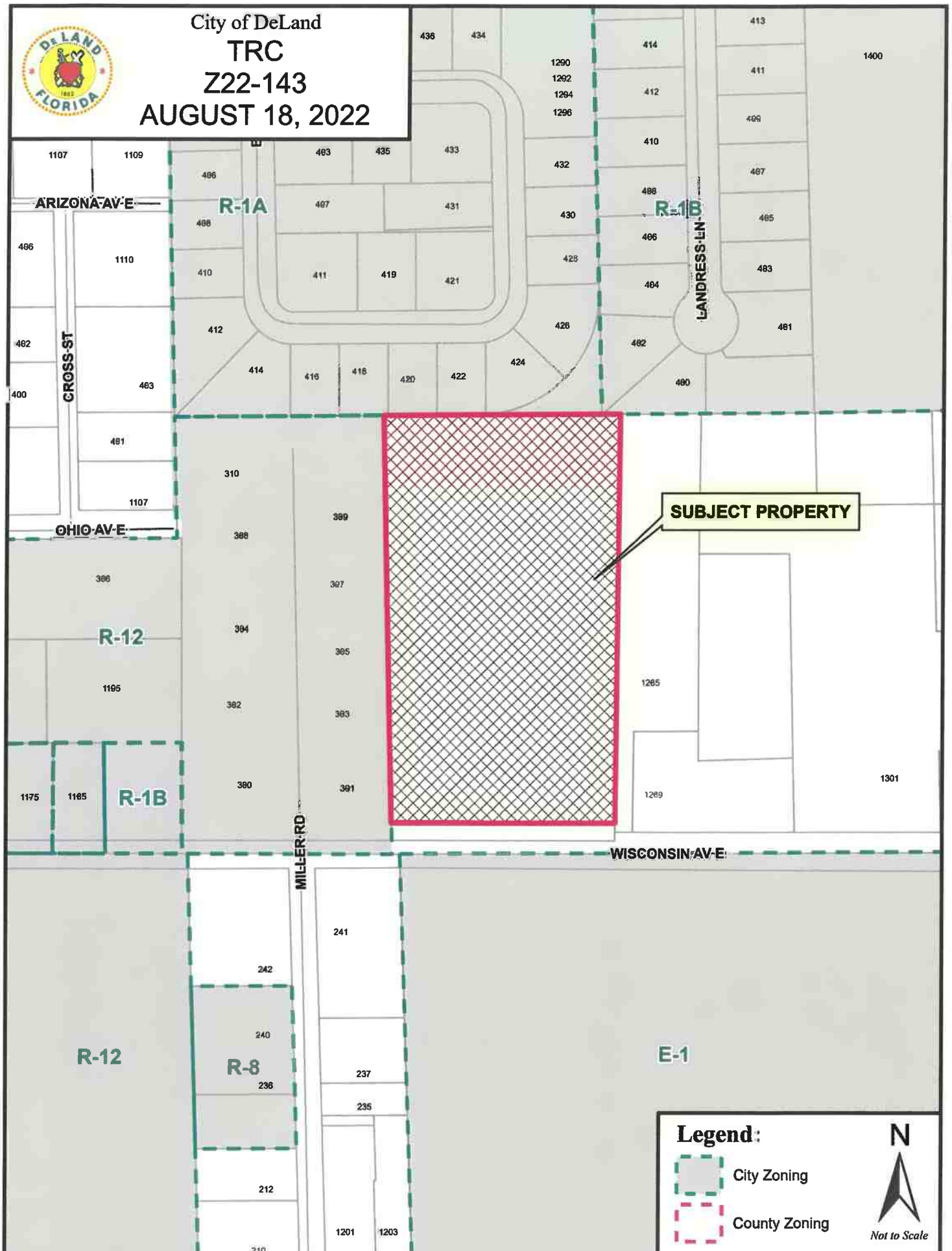
NEW BUSINESS

7





City of DeLand
TRC
Z22-143
AUGUST 18, 2022



ISSUES FOR RECORD 222-143**Job Address: 0 E Wisconsin AV, Deland FL 32724****Job Description: The proposed project is a 12-unit single family home PD rezoning from Volusia County R-3A. the proposed zoning change retains the minimum lot width of 85-ft and does not increase achievable development density.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	General Comments 1. Development is adjacent to Volusia County maintained roads along Wisconsin Ave. County Use Permit is required		Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	NRCS Soils 1. Provide NRCS soil types with ID number and percentages within the project limits.	The Canopy at Blue Lake PD Plan.pdf	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Inlet within Public Sidewalk 1. There is a storm inlet (DBI) shown on Wisconsin Ave east of driveway entrance within the public sidewalk. This inlet grate will need to be modified or relocated for pedestrian and bicycle safety.	The Canopy at Blue Lake PD Plan.pdf	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Typical Section 1. At the cul-de-sac, please provide dimension for the grass strip between Miami curb and sidewalk since it does not match the Roadway Typical Section 5' grass strip.	The Canopy at Blue Lake PD Plan.pdf	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Mail Kiosk Parking 1. Consider adding parking spaces for the mail kiosk. Min. parking dimension is 9' x 19'.	The Canopy at Blue Lake PD Plan.pdf	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Driveway Curb Radius 1. Provide curb return radii at driveway entrance on Wisconsin Ave.	The Canopy at Blue Lake PD Plan.pdf	Tuan Huynh	Tuan Huynh	Yes
Engineering	Draft	Stormwater Management System 1. Will proposed dry retention pond have positive discharge off-site? If yes, please show or note discharge location on plan. 2. Please provide pond side slopes and top of pond area in acre. Pond and tie-down slopes must not exceed 1:4 (V:H). 3. Please add note that roadway runoff must be collected by a closed storm system with curb & gutter for discharge to the retention pond. 4. Is there any off-site runoff thru this property? If yes, the off-site flows must be attenuate in the retention pond or a by-pass drainage system must be constructed. This development must not impede existing drainage patterns.	The Canopy at Blue Lake PD Plan.pdf	Tuan Huynh	Tuan Huynh	Yes
Fire	Draft	Amendments Shall require review of Fire for changes.	The Canopy at Blue Lake PD Agreement.pdf	Terry Griffiths	Terry Griffiths	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Fire	Draft	Parking No on street parking allowed due to proposed width.		Terry Griffiths	Terry Griffiths	Yes
Forestry	Draft	Line 21 Add "The PD shall abide by and require compliance with the requirements of Land Development Regulation Ordinance #2013-11, as amended."	The Canopy at Blue Lake PD Agreement.pdf	Mariellen Calabro	Mariellen Calabro	Yes
Planning	Draft	Should state VCR-3A Should state "VCR-3A" to indicate the original zoning is from the County.	The Canopy at Blue Lake PD Agreement.pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Metes & Bounds Legal Description Please provide a metes and bounds legal description in Word format. The one provided is not a metes and bounds description.		Kendall Story	Kendall Story	Yes
Planning	Draft	(... for a preliminary and final plat) (... for a preliminary and final plat)	The Canopy at Blue Lake PD Agreement.pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Should state VCR-3A Should state "VCR-3A" to indicate the original zoning is from the County.	The Canopy at Blue Lake PD Agreement.pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Per LDRs Per LDRs. * If you want two "flanking" monument signs as shown on the concept plan, add to this agreement. Otherwise, the LDRs only allow one.	The Canopy at Blue Lake PD Agreement.pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	*Off-street Parking add note: *Off-Street Parking - Per LDRs; all single-family dwellings shall have garages sized to accommodate two (2) full size vehicles and driveways sized to accommodate two (2) full size vehicles.	The Canopy at Blue Lake PD Agreement.pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Landscape Buffers Add section on LS buffer requirements: Type and Width for N/S/E/W	The Canopy at Blue Lake PD Agreement.pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Remove Remove entire section 4.	The Canopy at Blue Lake PD Agreement.pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Single Phase Add statement that it will be developed in one phase.	The Canopy at Blue Lake PD Agreement.pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Accessory uses and structures Single Family Residential and accessory uses and structures, ...	The Canopy at Blue Lake PD Agreement.pdf	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Add the following standards				
Planning	Draft	Max. density Number of lots Min lot depth Accessory structures - per LDRs Pools and screen enclosures - per LDRs	The Canopy at Blue Lake PD Agreement.pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	remove 8 & 9 remove 8 & 9	The Canopy at Blue Lake PD Agreement.pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Smaller floor area We suggest reducing the minimum floor area to 1,200 sq. ft.	The Canopy at Blue Lake PD Agreement.pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	TPA Under the Environmental Considerations section, add the following statement, " A minimum Tree Protection Area of fifteen percent (15%) shall be provided per the Land Development Regulations".	The Canopy at Blue Lake PD Agreement.pdf	Kendall Story	Kendall Story	Yes
Planning	Draft	Text add the word "on" Change "will" to "may"	The Canopy at Blue Lake PD Agreement.pdf	Kendall Story	Kendall Story	Yes
Utilities	Draft	Private Lift Station Subdivision needs to be connected by a gravity sewer system extension and not a private lift station.	The Canopy at Blue Lake PD Agreement.pdf	Jim Ailes	Jim Ailes	Yes