

AGENDA HISTORIC PRESERVATION BOARD

Thursday, August 4, 2022 - 5:00 p.m.

A. Roll Call

B. Old Business

1. Minutes: (No Minutes)
2. Staff Updates

C. New Business

1. COA22-___: *New Construction*

Alex Ford, Applicant
130 W New York Ave.

2. COA22-115: *Demolition*

**Mark Watts,
Applicant**
236 S. Alabama Ave.

3. COA22-115: *Design Review*

**Mark Watts,
Applicant**
221 S Woodland Blvd.

4. COA21-208: *Putnam Update*

**Miles Beach,
Applicant**
225 W. New York Ave

D. Next Regularly Scheduled Meeting **Thursday, September 1, 2022**

E. Adjournment



New Business

1

Staff Report
City of DeLand
HISTORIC PRESERVATION BOARD
August 4, 2022

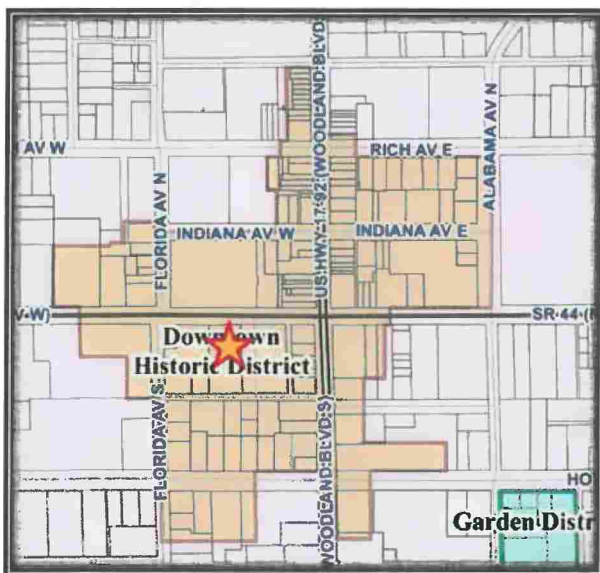
Application #: COA22-_____
Applicant name: Alex Ford
Request: New construction (Mixed use development)

Historic district	DeLand Downtown Historic District
Location	130 W. New York Ave.
Parcel size	0.87 acres (37,897 ± sq. ft.)
Land use	Downtown Commercial
Zoning	C-2A (Downtown Commercial)
Existing use	Vacant jailhouse

Applicable regulations: 33-34.03. Certificates of appropriateness.

Background

A Certificate of Appropriateness is required for “Any new construction of principal or accessory buildings or structures” within designated Historic Districts. This property is located in the Downtown Historic District and requires review the HPB and a recommendation to the City Commission regarding the building design prior to a final approval being granted for development.



This review will require the issuance of a certificate of appropriateness by the Historic Preservation Board.

This application has been submitted for the development of a mixed-use commercial and residential development project. A rezoning request and site plan has been submitted and has been reviewed by the TRC and Planning Board. The HPB is asked to provide any comments it may have regarding the design of the structures prior to final approval by the City Commission.

Analysis

2. In approving or denying an application for a certificate of appropriateness for new construction, the board shall require the following features of the proposed building be visually compatible with the existing contributing structures in a designated Historic District:

a. Height;

As outlined in the development agreement the Building 1 will be a maximum of two (2) stories, plus rooftop space and not more than 60 feet above the finished floor elevation of the first floor of the building. Building 2 will be a maximum of two (2) stories, plus rooftop space and not more than 40 feet above the finished floor elevation of the first floor of the building.

b. Scale;

Building 1 will be not less than 20,000 gross square feet and Building 2 will be not less than 7,000 gross square feet.

c. Massing;

The building will consist of a maximum of 2 buildings and maximum lot coverage is 100%. No minimum building separation is required.

d. Setbacks;

The building is located in the Downtown Commercial Zoning District and as outlined in the PD agreement the setbacks will be patterned after the current C-2A (Downtown Commercial) zoning. The development standards are as follows:

Minimum lot area – no minimum

Minimum lot width/depth – no minimum

Minimum yard size (building) – no minimum

Minimum front yard – 10 feet along New York and Georgia Ave.

Perimeter building setbacks – 5-foot minimum setback on the entire east property line, no setback requirement for north, south or west property lines.

e. Fenestration; *(the arrangement of windows and doors on the elevations of a building)*

The buildings each have a significant number of windows and doors.

f. Roof shape;

The roof is a flat roof.

g. Use of materials;

As shown:



h. Directional expression;

Building 1 shall face onto New York Avenue and Building 2 shall have frontage and windows facing Georgia Ave.

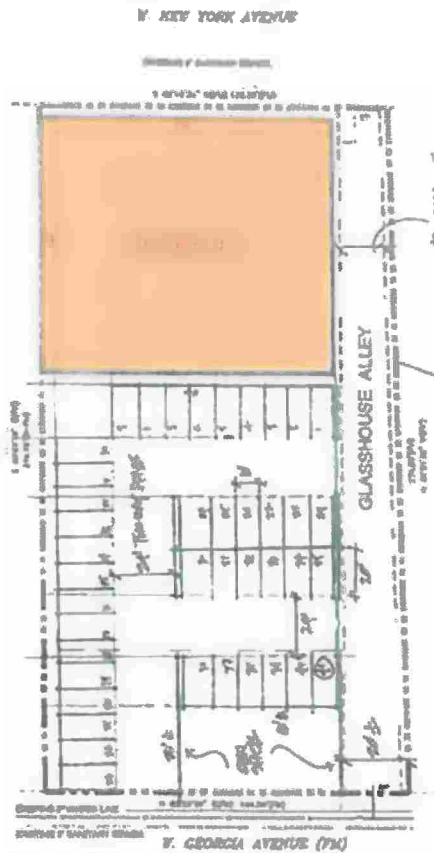
i. Style;

See attached elevations.

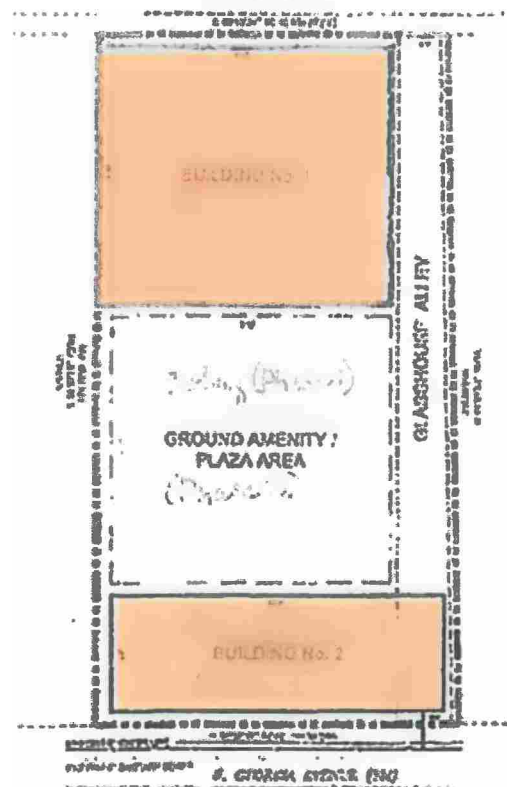
j. Site plan.

**Phase 1 will include Building 1 and parking.
Phase 2 will include the addition of building 2.**

Phase 1 layout



Phase 2 layout



33-94.03. *General design criteria.* The following shall apply to all development projects within the City of DeLand:

(c) *Historical styles.* Architectural design needs to reflect, enhance, or favorably relate to the existing historic architectural character of the city.

1. New construction, remodeling or additions to buildings incorporating a historical style for the building's exterior shall utilize various materials, architectural elements and details consistent with that particular style of architecture.

2. Mixing of inappropriate elements from different styles is discouraged.

33-94.04. *Design criteria for Historic Design and Downtown Support District.*

All development except single and two-family dwellings within the Historic Design District and the Downtown Support District shall comply with the standards set forth in the most current revision of Design Guidelines for Commercial Building in Downtown DeLand which is incorporated herein by reference.

(a) *General architectural design.*

1. Structures within these districts shall specifically reflect and/or enhance the historic character of this part of the community and should complement the architecture of the existing historic structures. Architectural design of structures shall bear a complementary relationship to the existing architectural context of the surrounding area through the use of the following methods:
 - a. Similar or related architectural styling or character.
 - b. Similar or related massing, proportions and scale, along with the repetition of the relationship of solids and voids in the architectural design.
 - c. Similar or related fenestration treatment, relating to the repetition and rhythm of openings in exterior walls.
 - d. Similar or related architectural details and decorative treatments, such as cornices and moldings, awnings, parapets, columns, colonnades, arcades, and arches.
 - e. Glazing at street level may be tinted, but shall not utilize reflective glass, Plexiglas or similar.
2. Use of appropriate materials and treatments.
 - a. Similar or related materials and textures.
 - b. A color palette which includes all colors which are deemed appropriate for use shall be approved by the Historic Preservation Board and the City's planning staff may approve any color on the approved palette. Any color which is proposed for use on any particular structure and which is not on the approved color palette must be approved specifically for that structure by the Historic Preservation Board in accordance with the procedures set forth in Section 33-34.03(c).
3. Structures should be located as close to the street as possible, as long as it remains compatible with adjacent buildings.
4. Modifications and additions to existing structures shall be consistent with the style and character of the existing structure. Structures within the Downtown Support District shall result in a consistent and uniform treatment for the entire building.

5. Structures in these districts shall be designed to extend and to enhance the attractiveness of the city's streetscape. Building design shall have characteristics and elements that relate favorably to the predominantly pedestrian scale of the district.
6. The following historical architectural styles are the preferred styles: Classical Revival, Mediterranean revival, Colonial Revival, Craftsman Bungalow and Commercial Style, Chicago School.
 - a. Classical Revival architecture mirrors the classical forms of Greece and Rome as incorporated into building dating from the late 1890s through 1920. Examples include the Virginia State Capitol Building in Richmond, Virginia and the historic Volusia County Courthouse in DeLand, Florida.
 - b. Mediterranean Revival architecture mirrors the architectural influences of the Mediterranean coast including Italian, Byzantine and Moorish themes from southern Spain and the French style as displayed by buildings constructed in Miami, Florida from the 1920s through the 1930s. Examples include the Vinoy Park Hotel in Saint Petersburg, Florida and Flagler Hall at Stetson University in DeLand, Florida.
 - c. Colonial Revival architecture mirrors classical, but refrained, forms of Greece and Rome as incorporated into buildings dating from the 1880s to the mid 1950s. Examples include the Claramount Inn in Ontario, Canada and Elizabeth Hall at Stetson University in DeLand, Florida.
 - d. Craftsman Bungalow mirrors the Arts and Crafts architecture movement as incorporated into buildings from 1900 to 1930. The building exteriors are typically finished in wood siding, stucco, brick and stone, used in combination of at least two of these. Examples include the 511 and 528 West New York Avenue, 220 and 228 West Wisconsin Avenue and 237 West Minnesota Avenue, DeLand, Florida.
 - e. Commercial Style, Chicago School means architecture that mirrors the architecture of the early modern movement incorporated in commercial and office buildings from 1895 to 1930. Examples include the commercial multistory buildings occupying Woodland Boulevard from Voorhis Avenue to Wisconsin Avenue such as 100 and 200 North Woodland Boulevard and 112 South Woodland Boulevard.
- (b) With the exception of single- and two-family dwellings and their accessory structures, construction of a new structure, Substantial Improvement of an existing structure or a Substantial Façade Change within the Historic Design District shall require review by the City's Historic Preservation Board. The hearing shall be for the purpose of reviewing the proposed work for compliance with the requirements of this Section 94.04. Notice of the hearing shall be provided by posting of a conspicuous notice on the property no less than seven (7) days prior to the hearing in accordance with the sign posting provisions of Section 33-34.03(c)4.b. The Historic Preservation Board shall make a recommendation to the City's Planning Director, TRC or Planning Board as to whether the proposed work complies with the requirements of this Section 33-94.04. If the Historic Preservation Board finds that the proposed work does not comply with the requirements of this Section 33-94.04, the Board shall set forth the reasons that the proposed work does not comply with such requirements. Any property which is otherwise required to obtain a certificate of appropriateness (COA) in accordance with section 33-34 shall not be required to be reviewed by the Historic Preservation Board pursuant to this Section 33-94.04(b).





Conclusion:

The HPB is asked to provide comments and recommendations on the design of the buildings to be taken into consideration in the final approval of the project.

New Business

2

Staff Report
City of DeLand
HISTORIC PRESERVATION BOARD
August 4, 2022

Application #: COA22-115

Applicant name: Mark Watts, Cobb Cole- Applicant

Request: To demo buildings on four (4) parcels for residential multi-family units.

Factors:

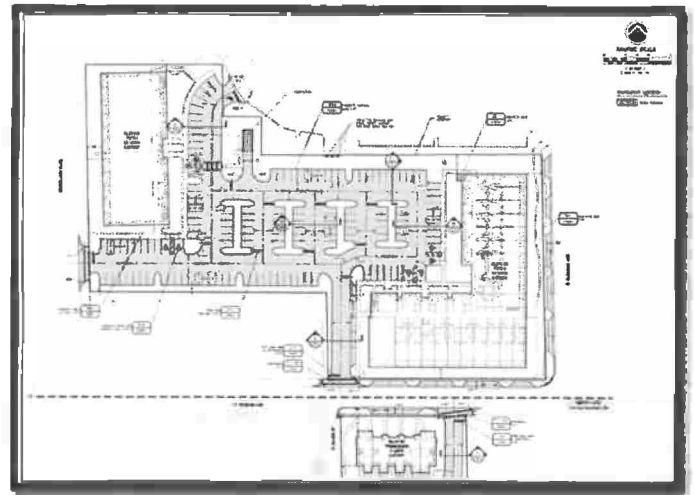
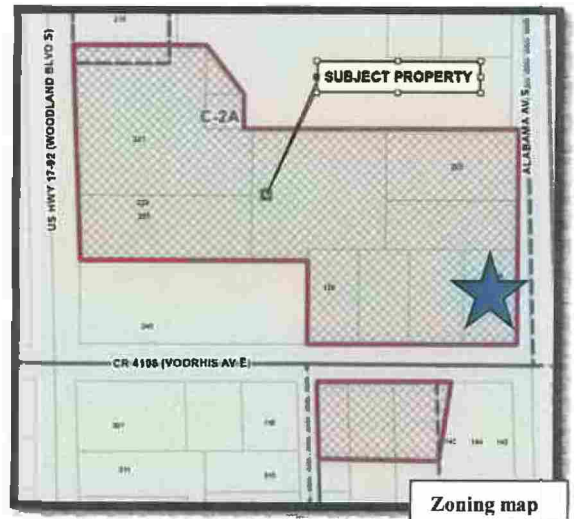
Historic district	Downtown Support District
Location	236 S. Alabama Ave.
Year built	c.1923
Land use	Downtown Commercial
Zoning	C-2A Downtown Commercial
Existing use	Warehouse (9825 sq. ft.)

Applicable regulations: 33-35.01. Demolition

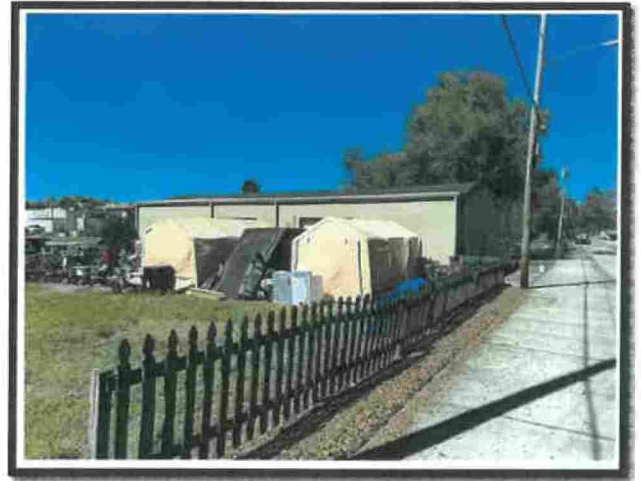
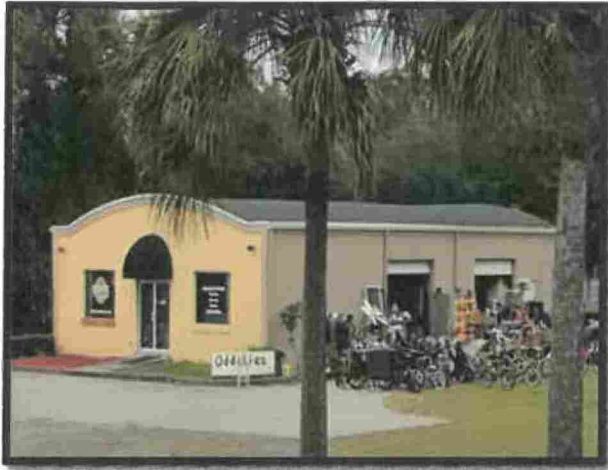
Analysis

The applicant, wishes to demolish 2 structures including the commercial building that formerly housed a grocery store and attorney's office and a smaller structure at 236 S. Alabama Ave. that is in use which offers various items for sale and listed as a warehouse use. Only the smaller structure is a concern to the HPB as it was built prior to 1950 in 1923.

The property will be reused to build multi-family residential apartment units with retail on the 1st floor of the building facing Woodland Blvd. Redevelopment for residential purposes requires demolition as the existing buildings cannot provide for residential purposes. Property redevelopment is being designed to blend in with downtown DeLand and will be coordinated with City staff. (A review of the architecture of the new structure relative to the Support District will also be conducted.) The building in its



current state does not contribute significantly to the historic character of downtown DeLand
neither is it listed as a contributing structure.





The following review criteria, outlined in the land development regulations, may be used in evaluating the decision on how to move forward with this request:

Review criteria: Sec. 33-35. -

Demolition.

33-35.01. *Generally.*

- (a) *Purpose and intent.* The purpose of this section is to ensure that historic properties are protected from neglect or premature demolition by providing the following procedure for review.



No demolition permit affecting a building or structure in a designated Historic District, a designated historic building or structure, or a **building or structure constructed prior to 1950** shall be issued until the applicant has demonstrated that no other feasible alternative to demolition can be found. The responses to the review criteria are shown below:

1. Issuance of demolition permit shall be guided by the following factors:
 - a. The historic or architectural significance of the building, structure, or object;
The structure is not included on the Florida Master Site File (which is only an inventory and has no special significance).
 - b. The importance of the building, structure, or object to the ambiance of a district;
This property is located adjacent to Alabama Avenue which is located across the street from the city's historic Garden District. The corridor that has a mixture of uses including numerous residential and a few office uses.
 - c. The difficulty or the impossibility of reproducing such a building, structure or object because of its design, texture, material, detail, or unique location;

The structure is constructed of are readily available materials such as concrete block, pine or soft wood, plaster with asphalt shingles. Given that these are standard building materials, it appears that the structure could easily be replicated. There are no unique features about any of the buildings.

- d. Whether the building, structure, or object is one of the last remaining examples of its kind in the neighborhood, the county, or the region:
This structure has no particularly distinguishing historic features that can be identified.
- e. Whether there are definite plans for reuse of the property if the proposed demolition is carried out, and the effect of those plans on the character of the surrounding properties: **There are plans to redevelop the site for residential purposes**
- f. Whether reasonable measures can be taken to save the building, structure, or object from collapse:
The exterior of the structure appears to be fairly sound and shows no particular signs of physical deterioration such as termite or structural damage. The condition of the interior is unknown.
- g. Whether the building, structure, or object is capable of earning reasonable economic return on its value.
The building currently has an improvement value of \$73,814 and a land value of \$130,680 for a total Just/Market valuation of \$207,240 and the property is listed as Commercial (Warehousing, distribution terminals, trucking terminals, van and storage warehousing). The property in use as residential in the current market will yield a greater economic return than its current use.

Conclusion:

This structure is not a contributing building, neither is it located in a local historic district. The applicant anticipates using the property, and others on the block that have been purchased, for residential use in the near future. The potential to salvage any historical materials and the option to move the structure are issues that should be considered. The property has been the subject of numerous review processes including rezoning and site plan review in order to permit the development of the residential use. The City Commission will grant final approval of the demolition.

New Business

3

Staff Report
City of DeLand
HISTORIC PRESERVATION BOARD
August 4, 2022

Application #: DeLand Commons - COA22-115
Applicant name: Mark Watts, Cobb Cole

Request: New construction (180 residential units)

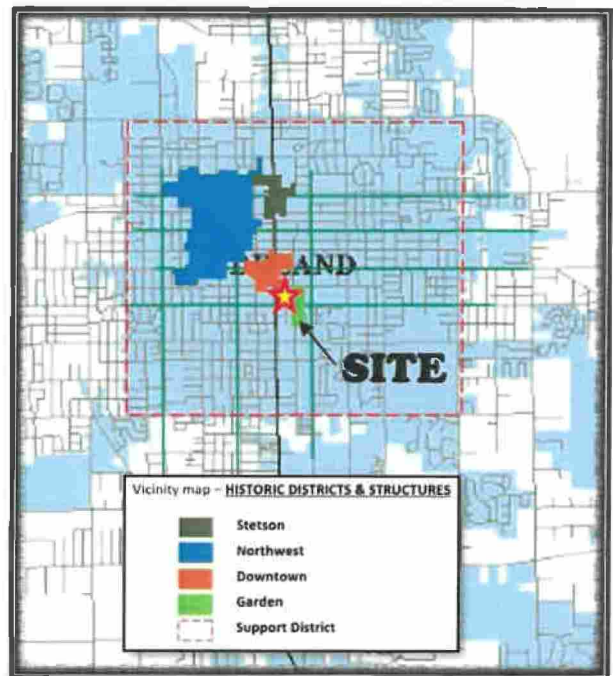
Factors:

Historic district	DeLand Downtown Historic District (<i>National</i>)
Parcel size	5.36 acres
Land use	Downtown Commercial
Zoning	C-2A (Downtown Commercial)
Existing use	Vacant commercial, undeveloped

Applicable regulations: 33-94.04 Design Criteria for Historic Design and Downtown Support District
Background

The Historic Design District combines the historic areas of Stetson University and areas of the Core District as defined by the City of DeLand Comprehensive Plan, and as illustrated on the city's zoning district and zoning district overlay maps. The Downtown Support District includes nonresidential parcels not included in, but associated with, the Historic Design District. The Downtown Support District ranges between Plymouth Avenue to Beresford Avenues and between Hill Street and Spring Garden Avenue.

The City of DeLand has a Historic Preservation Board which is made up of members specifically focused on the design and aesthetic elements of historic buildings and historic neighborhoods; and the City Commission finds that it would be in the best interests of the residents and property owners within the City of DeLand, and more particularly within the Downtown area and Stetson University area, to have the City's Historic Preservation Board review, in a public hearing, significant development within said areas and make a recommendation to the appropriate board within the City which is charged with approving such development regarding the proposed development's compliance with the applicable design criteria. This does not require the issuance of a certificate of appropriateness by the Historic Preservation Board.



An application has been submitted for the development of residential apartments (180 units = 173 apartments + 5 townhomes, + 2 carriage houses) in the Downtown Design District on the block bounded by Howry on the north, Voorhis on the south, Woodland Blvd on the west and Amelia on the east. The site also includes a portion of the block located at the southeast intersection of Clake and Voorhis. A site plan has been submitted and has been reviewed by the TRC and Planning Board. The HPB is asked to provide any comments it may have regarding the design of the structures prior to final approval by the City Commission.

Analysis

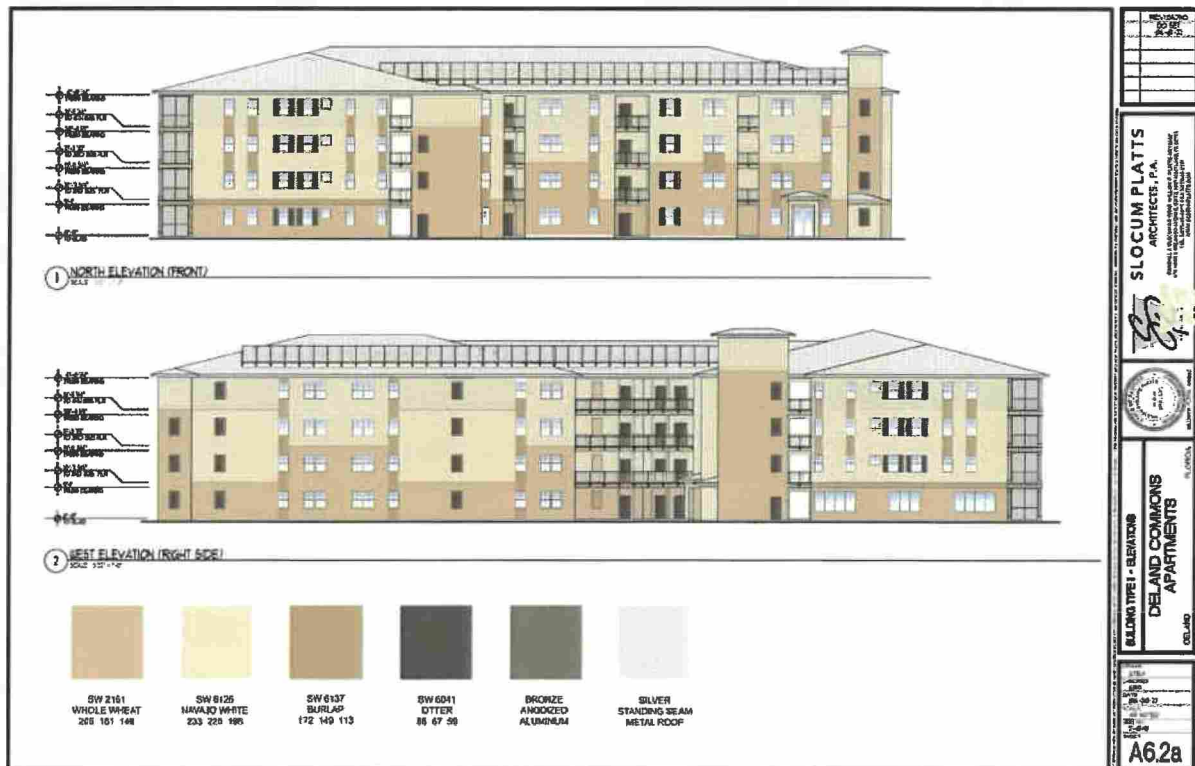
The “Design Guidelines for Commercial Buildings in Downtown DeLand” lists numerous requirements for structures as follows:

United States Secretary of Interior’s Standards For Rehabilitation

New Construction and Additions -

1. A new building façade or addition should not attempt to be historic through the use of false historic details. This will only detract from the character of the downtown by compr(om)ising what is actually historic.

The following drawings represent the proposed new construction:



Apartments



Apartments



Carriage Houses

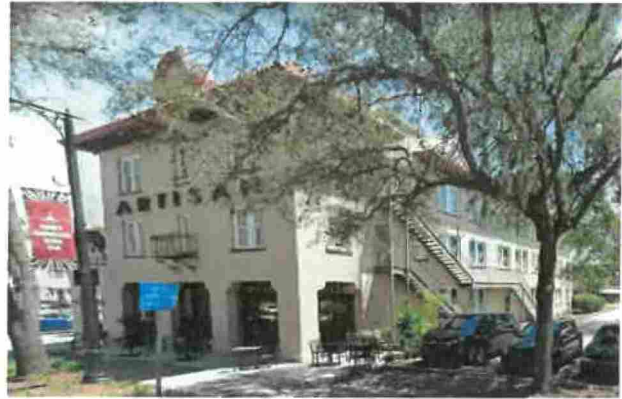


Townhouses

2. New structures should respect the surrounding buildings with respect to height, setback, spacing, materials, detailing, massing, proportion and scale.

The following information depicts the context of the surrounding area:





Downtown Historic District - Artisan Building



Garden District Buildings





Contributing Structure - 335 S. Woodland Blvd.



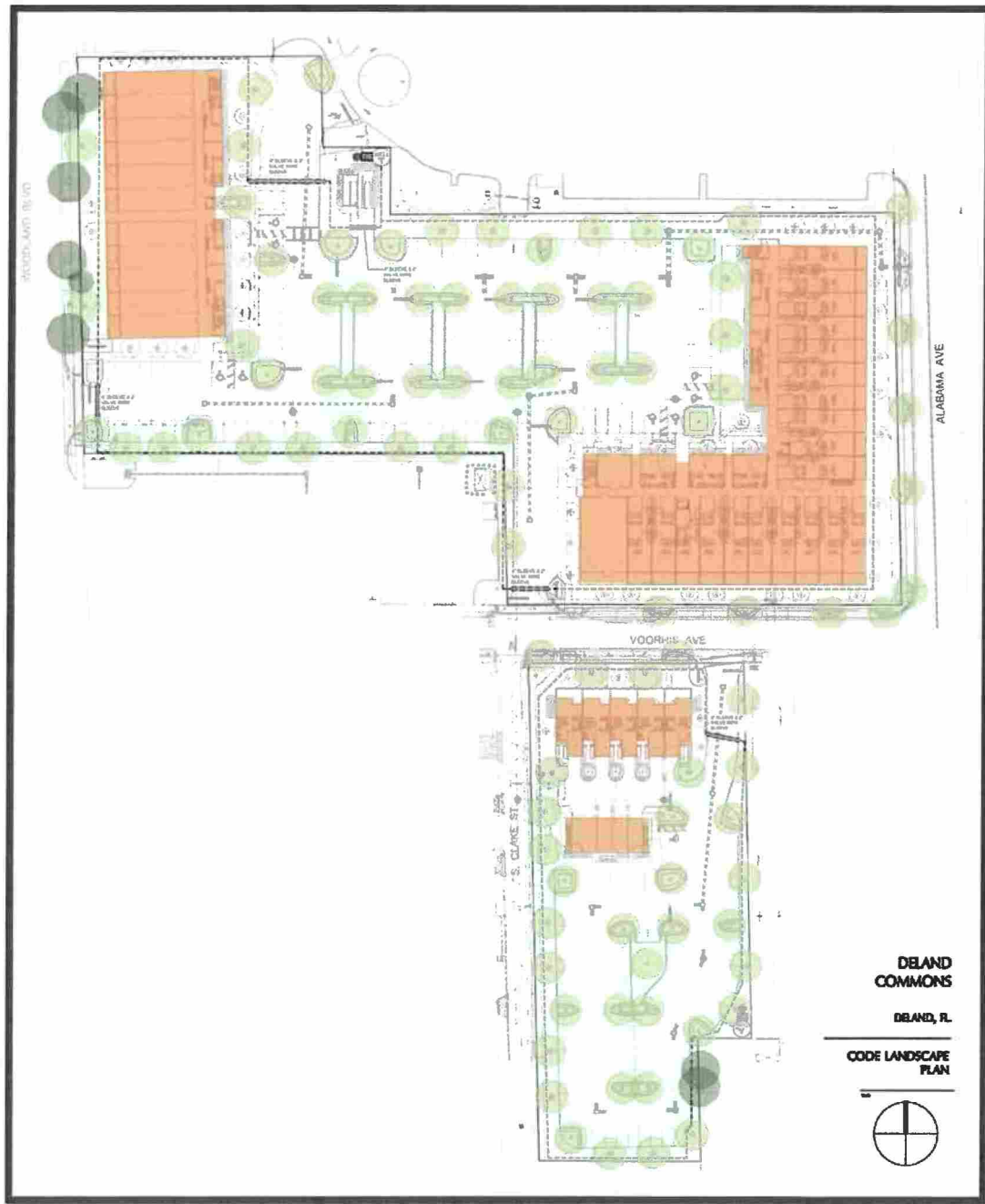
Residences on Clake

3. The type of roof and cornice treatment of new buildings should utilize shape, material, textures and colors which complement adjacent facades.

See previous drawings for roof configurations.

4. Site plans including landscaping and parking for new construction should be compatible with the surrounding buildings and environment. Private parking areas should be provided at the rear of a building, not in the front.

Proposed landscape layout:



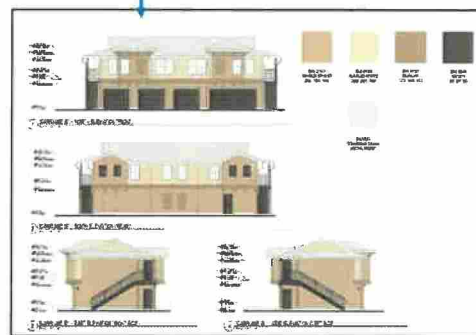
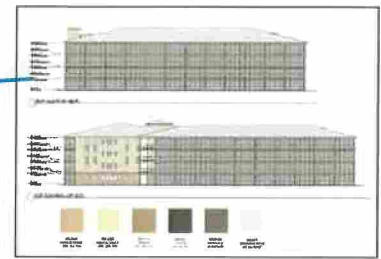
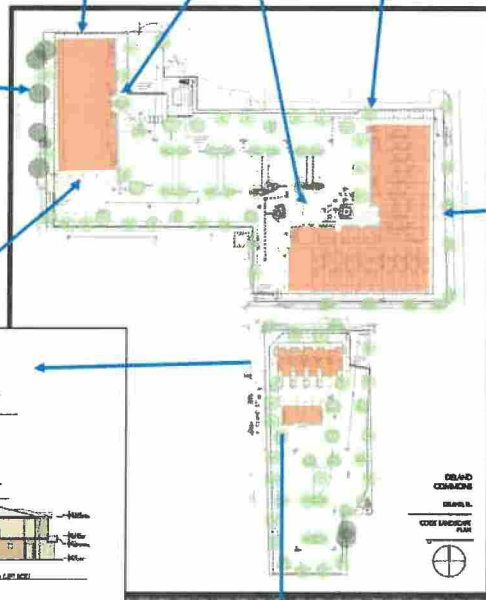
5. The relationship of solid spaces (walls) to voids (windows and doors) in the façade of a building should be visually compatible with adjacent historic buildings.
The Artisan is immediately adjacent to the proposed apartment building along Woodland Blvd. Comparison of the window spacing is shown.
6. Additions should not interfere with the structural integrity of the existing building.
N/A
To avoid “fabricating history” do not construct additions and new buildings in an architectural style that pre-dates the existence of downtown DeLand (e.g. Colonial styles). N/A
7. The design of new buildings and additions that reflect contemporary elements and standards is encouraged as long as the link between “old” and “new” is maintained through the guidelines mentioned above. N/A

Conclusion:

Existing, recently vacated, commercial structures are proposed to be demolished in order to provide space for the development of 180 residential units to be known as DeLand Commons. The majority of the residential units will be located on the block bounded by Howry Ave. on the north, Voorhis Ave. on the south, Alabama Ave. on the east and, Woodland Blvd. on the west. The remainder of the units (7 total), consisting of carriage house and townhouse units will be located on the parcel adjacent to Clake.

Although not located within any historic district itself, this site is located immediately adjacent to the Downtown Historic District and the Historic Garden District and sits within the Support District. And although a COA is not required, the new construction on this property should take the design of the buildings into consideration and demonstrate sensitivity to historic structures in the vicinity. (*Note: A COA number is used only to help with tracking of the project.*)

The HPB is asked to provide comments and recommendations on the design of the buildings to be taken into consideration in the final approval of the project.



New Business

4

Staff Report
City of DeLand
HISTORIC PRESERVATION BOARD
August 4, 2022

Application #:	COA21-208
Applicant name:	Miles Beach, Miles Architecture Group , Inc.
Request:	The project (goal) is to convert the existing hotel to 1- and 2-bedroom apartment units.
Factors:	
Historic district	Downtown
Location	225 W. New York
Year built	1923 (Carriage house -1923 / 1939)
Parcel size	1.38 acres
Land use	Downtown Commercial
Zoning	C-2A&H (Downtown Commercial, Historic)
Existing use	Vacant hotel



Applicable regulations: 33-34.03. Certificates of appropriateness.

33-34.04 Design Criteria for Historic Design District and Downtown Support District

Background:

This application was originally heard by the HPB in December of 2021 in order to present the plans for the conversion of the existing hotel to apartment units. The project is to be renamed “The Addison on New York”. The plans originally called for the creation of 64 luxury apartment units. As the project has progressed, there have been adjustments made to the plans because of the conditions that were revealed once the applicant took over ownership of the building and when renovations began. The HPB made a recommendation to approve the following exterior alterations proposed for the renovation:

- The addition of stairways and access corridors within the front courtyard
- Upgrading the front courtyard
- The addition of building area to the north elevation of the building within the rear courtyard area.
- Removal of the rear emergency fire escapes
- Removal of a tower type structure along the western elevation
- Replacement of tiled awnings on the east and west elevations
- Painting the building using a color scheme matching what exists

Since excavation of the building began and due to unforeseen circumstances as a result of interior changes made by the previous owner, changes in addition to the ones previously approved by the

HPB in December of 2021 were made. The changes to the interior of the building presented the opportunity to increase the number of units originally planned. As a result, a few additional adjustments that impact the exterior of the building are required:

- The number of units has been adjusted to 71 and the resulting change is the addition of building area on the back (north elevation) of the building.
- Minor changes to some of the windows on the east and western elevations have been made.

Another issue discovered upon analysis of the physical condition of the building was that there needed to be shoring up of the foundation at the front of the building because the ground was sinking which made it necessary to add footings. The building will include:

1. Basement – storage area, electrical equipment, fire pump
2. Fitness Center
3. Retreat area
4. 7 floors of apartments (1 and 2-bedroom units)
5. Spanish tile metal roof finish
6. Breezeways from bottom to top within the interior courtyard with stairs
7. 2 elevator shafts
8. Balconies for rear units
9. roof garden area on the 5th floor.

The “Design Guidelines for Commercial Buildings in Downtown DeLand” lists numerous requirements for structures as follows:

United States Secretary of Interior’s Standards For Rehabilitation -

1. Every reasonable effort shall be made to provide a compatible use for a property that requires minimal alteration of the building, structure or site and its environment, or use a property for its originally intended purpose.

The applicant has determined a compatible use of the building to be as apartments. However, due to circumstances and alterations made by a previous owner, major alterations have become necessary thereby impacting the exterior of the building to an even greater extent.

2. The distinguishing original qualities or character of a building, structure or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

Many of the unique qualities of the original building were lost prior to the current developer taking ownership of the building. Inasmuch as these features have been removed, the owner seeks to maintain as much of what remains as possible and to

renovate the remaining structure to create a product that is as close to the previous design characteristics as possible while maintaining the SOI Standards.

3. All buildings, structures and sites shall be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance shall be discouraged.

Demolition of the top 2 floors of the structure were necessary because of damage sustained over time including fire damage and water intrusion. The structure was deemed to be unsafe and the building was partially demolished.

The applicant has provided plans which seek to replace the portions of the building that were lost and to create, to the extent allowed, a similar configuration of what has been lost.

4. Changes that may have taken place in the course of time are evidence of the history and development of a building, structure or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

A significant new change proposed previously that will be added is the addition of stairways and access corridors within the front courtyard necessary to provide safe access to the individual units. Another new change is that additional units will be added to the rear of the structure in the space located behind the central portion of the building. This space will provide the additional 7 units that will take the unit count from 64 to 71 units.

5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure or site shall be treated with sensitivity.

Due to the damage experienced over time, many of these features have deteriorated to the point where preservation is unfortunately not an option. These features will be replaced to create an upgraded version of the previous building design.

6. Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplication of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

As stated in the previous standard, architectural features will be replaced to match the qualities as noted above. There are several windows and doorways that maintain arches that were a distinctive part of the original building.

During a discussion of proposed changes at the June 2, 2022 meeting of the HPB the board expressed which of these features that were to be maintained including retaining the first floor “bump out” areas along the front of the building along with the original configuration that maintained the central windows instead of the addition of doors as proposed by the applicant, maintaining the windows and doors as originally built instead of swapping out doors for window and vice versa, as well as retaining the archways as in the original building. (see page 6)

7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

Repair of the remaining structure is to be undertaken as stated above to maintain what is left of the original character of the building.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

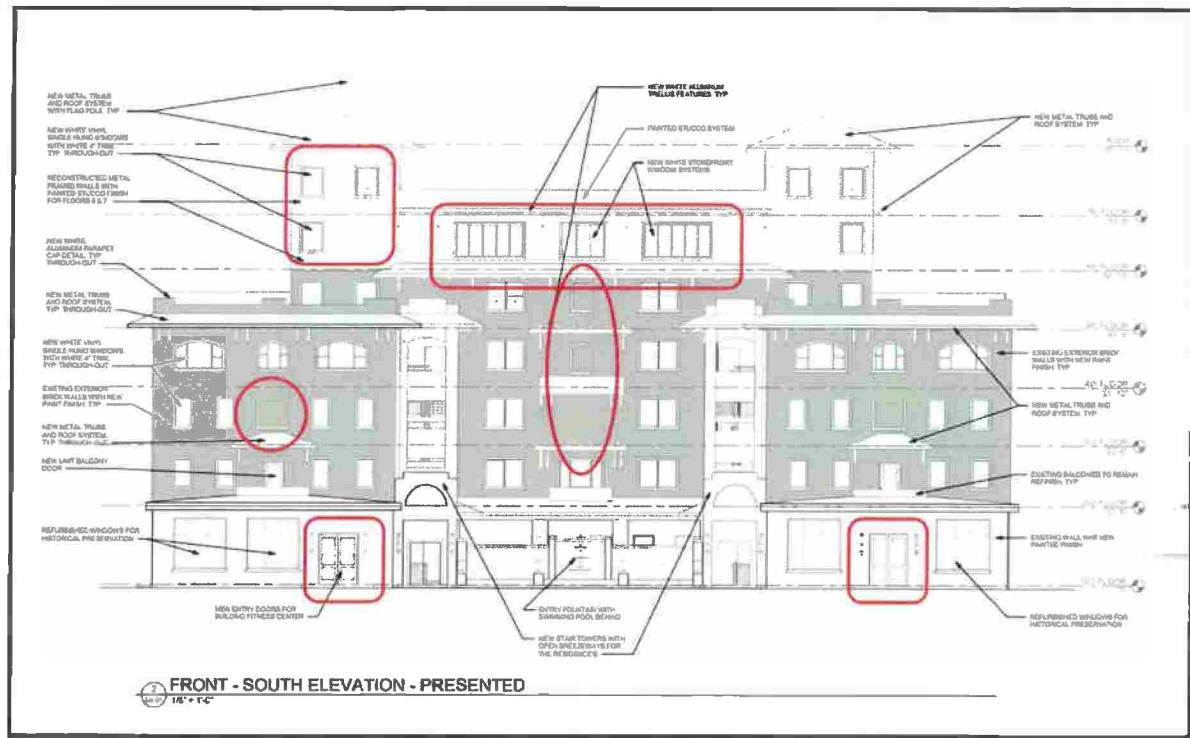
Any remaining archeological resources were removed by the previous owner.

9. Contemporary design for alterations and additions to existing properties shall not destroy significant historical, architectural or cultural material, and such design should be compatible with the size, scale, color, material and character of the property, neighborhood or environment.

The use of the bump out” areas has been amended and they are now to be used as a fitness room and retreat area for use by the residents. Other major alterations proposed for the structure occur mainly on the rear of the building and are compatible with the building and compatible with the character of the building. (see pages 7-8)

10. Whenever possible, new addition or alterations to structures shall be done in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

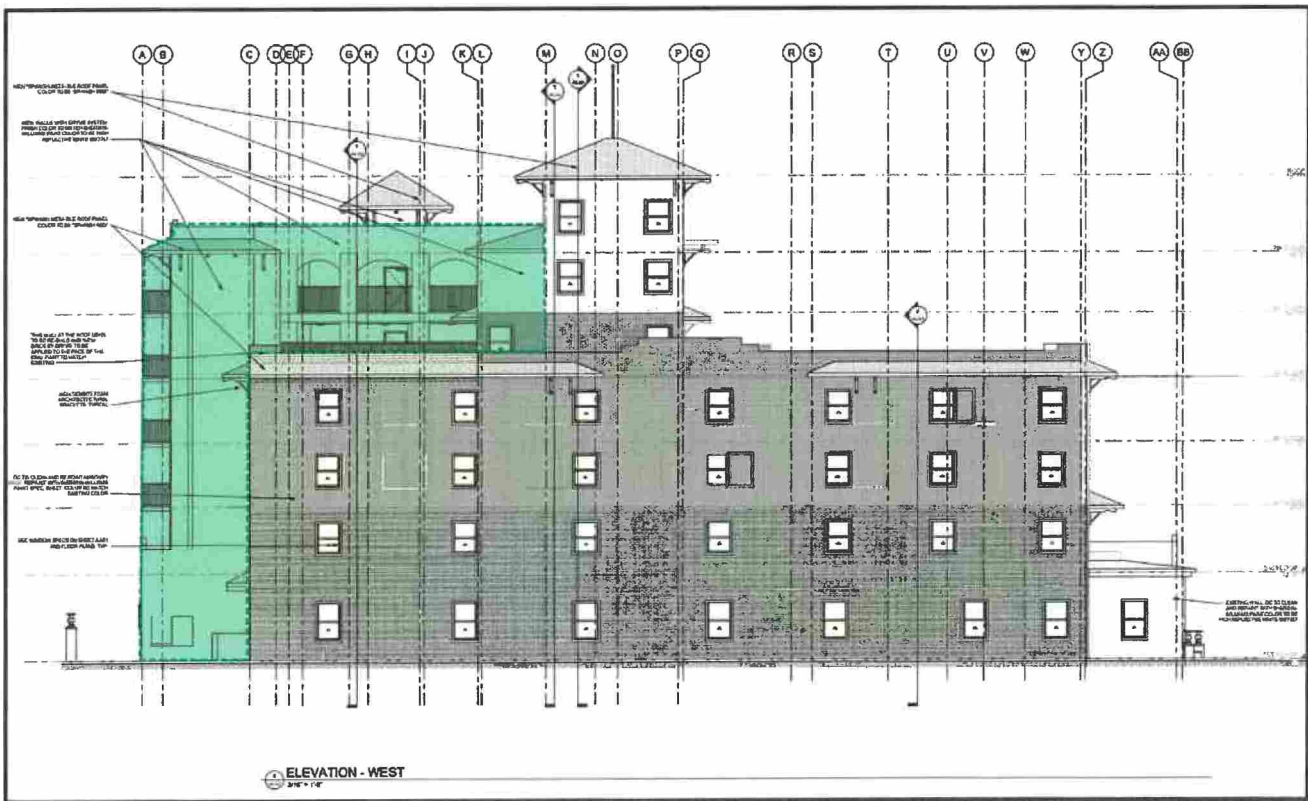
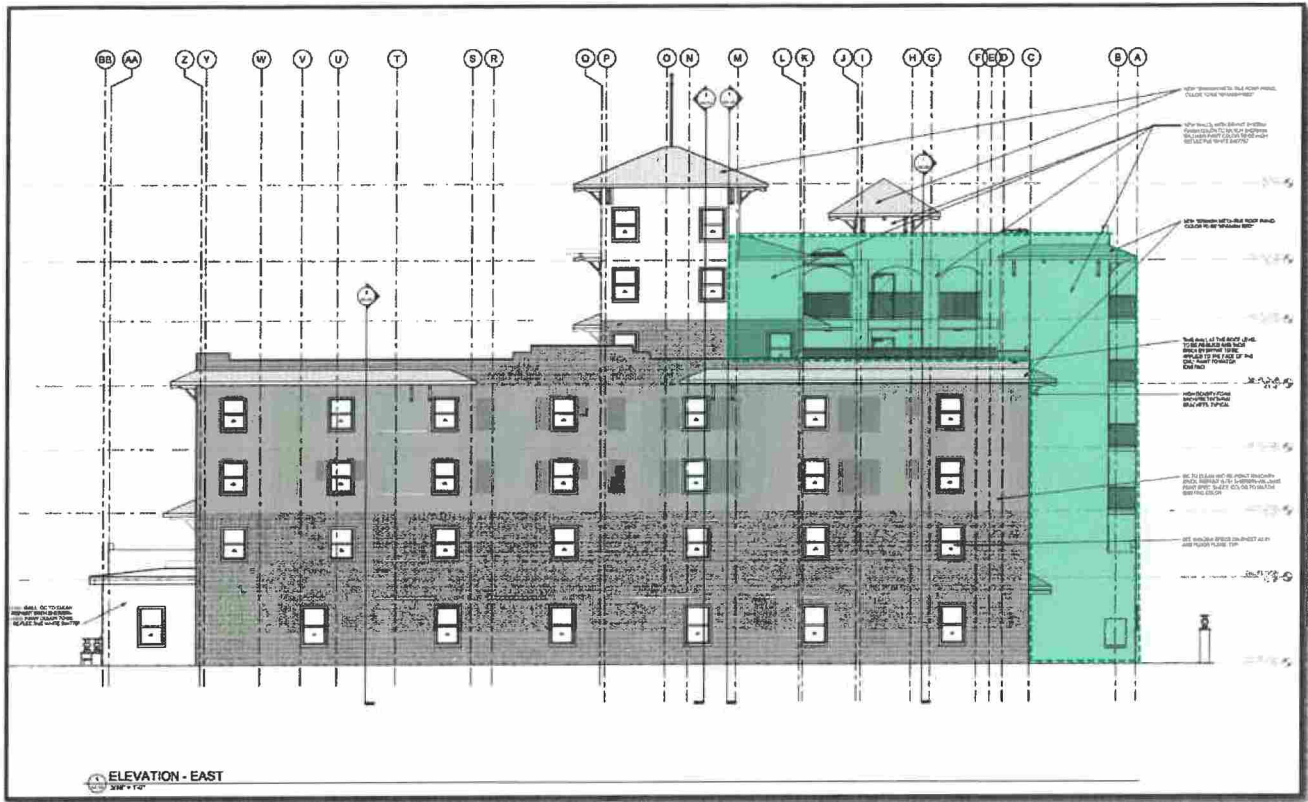
To the extent possible, new additions have been added with this standard in mind.



Previously proposed



New proposal



The Putnam Hotel is significant to the City of DeLand because it is located in the Downtown Historic District which is listed on the National Register. As such, any changes to the exterior of the structure are subject to the review and approval of the city's Historic Preservation Board. Because of what has happened to the building over time and because of the additional discoveries made once the new owner was able to access the building and begin renovations, the structure requires additional upgrades that impact the building's exterior.

It is unfortunate, but as expressed by members of the board, and not due to actions of the current owner, the renovations necessary to bring this building back to a useful purpose primarily constitute renovation but not preservation. As agreed to in previous review of the building, should there be a need to make additional modifications that were deemed to be needed as renovations take place, the applicant will return to the board for the major changes requested. The new owner has stated a willingness to follow the required design guidelines to the extent possible and proposes the changes as presented to the exterior of the building.

The changes proposed by the applicant demonstrate compliance with the established guidelines and staff recommends that the board grant approval of the proposed alterations of the building in order to successfully renovate the building and bring the building to its highest and best use.