



CITY OF DELAND
REGULAR MEETING OF THE TECHNICAL REVIEW COMMITTEE
JUNE 18, 2026 AT 1:30 PM
CITY OF DELAND TRC MEETING ROOM
DELAND, FLORIDA

AGENDA

CALL TO ORDER

ROLL CALL

MINUTES

1. Review of May 21, 2026 TRC Meeting Minutes

OLD BUSINESS

1. **Applicant Name:** Michael Wojtuniak – Engineered Permits Inc.
Project Name: SP25-120– Class II Site Plan for Ace Hardware
Project Location: 1.466 acres located at S Amelia and E Howry Ave
Description: 9,975 square foot Hardware Store
Project Manager: Sam Nelson

2. **Applicant Name:** Scott Thacker – Stetson University
Project Name: SP26-076 – Softball Covered Hitting Facility
Project Location: 2.63 acres located at 430 E Arizona Ave
Description: 4,320 square foot Pole-Barn over batting cages
Project Manager: Kendall Story

NEW BUSINESS

1. **Applicant Name:** Joseph tucker – D.R. Horton Inc.
Project Name: SP26-079 – Towns at Summit - Model
Project Location: 0.38 acres located at 1728 Sugarwood Loop
Description: Townhome Sales Office
Project Manager: Sam Nelson

2. **Applicant Name:** Parker Mynchenberg – Parker Mynchenberg & Associates
Project Name: SP26-112 – Kingspan Concrete Pad Expansion
Project Location: 2.5 acres located at 725 E Summerhill Ave
Description: Concrete Pad Expansion
Project Manager: Sam Nelson

3. **Applicant Name:** Matt Dowst – Mark Dowst & Associates, Inc.
Project Name: SP26-111 – RC Hill Mitsubishi
Project Location: 3.76 acres located at 1960 S Woodland Blvd
Description: Dealership Expansion
Project Manager: Chris Carson

4. **Applicant Name:** Matt Dowst – Mark Dowst & Associates, Inc.
Project Name: SE26-109 – RC Hill Mitsubishi
Project Location: 3.76 acres located at 1960 S Woodland Blvd
Description: Special Exception for Dealership Expansion
Project Manager: Chris Carson

ADJOURNMENT

NEXT MEETING



**CITY OF DELAND
TECHNICAL REVIEW COMMITTEE MEETING
MEETING MINUTES
THURSDAY, MAY 21, 2026 - 1:30 P.M.
CITY HALL**

OPENING OF MEETING:

Call to Order: **1:36 pm**

Members Present:

Carol Kuhn, Chairperson

Chris Carson

Kendall Story

Vivian Ford

Scott Zender

Jim Ailes

Laureen Kornell

Steve Danskine

Douglas Larkins

Jerry Hindman

Douglas Larkins

MINUTES:

1. Review of April 16, 2026 TRC Meeting Minutes

*Chris Carson moved to approve the minutes as presented,
Steve Danskine seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

OLD BUSINESS:

1. Applicant Name: Christopher Gmuer – Gmuer Engineering LLC
Project Name: SP24-068 – Class II Site Plan for Elliano's Coffee Shop
Project Location: 0.48 acres located at 1850 S Woodland Blvd
Description: 800 sf drive thru coffee shop
Project Manager: Sam Nelson

***Chris Carson moved to approved with a reduction of the TPA width from 20' to 14', and subject to the 2 variance requests for the landscape buffers along Woodland Boulevard and Cliff Street being approved at the June 10th Planning Board meeting,
Scott Zender seconded the motion.
The TRC Committee voted unanimously in favor of motion.***

Applicants Present:
Christopher Gmuer
Trevor Hickman

2. Applicant Name: Matt Stolz - DR Horton
Project Name: PSB25-015 – Preliminary Plat for Beresford Reserve
Project Location 138.72 acres locate at 800 E Beresford Ave
Description: 408 single-family residential lots with a clubhouse, pocket parks, and city park
Project Manager: Chris Carson

***Chris Carson moved to continue to the next available TRC meeting, once all outstanding comments are addressed,
Laureen Kornell seconded the motion.
The TRC Committee voted unanimously in favor of motion.***

Applicants Present:
None

NEW BUSINESS:

1. Applicant Name: Heather Montoya Landin
Project Name: MS26-090 – Minor Subdivision
Project Location 0.62 acres located at 536 W Armstrong Ave
Description: 2 Parcel Subdivision
Project Manager: Sam Nelson

***Chris Carson moved to continue to the next available TRC meeting, following an updated submittal,
Jerry Hindman seconded the motion.
The TRC Committee voted unanimously in favor of motion.***

Applicants Present:
None

2. Applicant Name: Rutha Corley
Project Name: MS26-094 – Minor Subdivision
Project Location 0.68 acres located at 628 S Parsons Ave
Description: 2 Lot Subdivision
Project Manager: Chris Carson

***Chris Carson moved to conditionally approve, subject to recording a drainage easement with the Volusia County Clerk of Court office and updating the proposed minor subdivision sketch to illustrate the 10' wide drainage easement,
Laureen Kornell seconded the motion.
The TRC Committee voted unanimously in favor of motion.***

Applicants Present:

None

3. Applicant Name: Scott Thacker – Stetson University
Project Name: SP26-076 – Softball Covered Hitting Facility
Project Location 2.63 acres located at 430 E Arizona Ave
Description: 4,320 square foot Pole-Barn over batting cages
Project Manager: Kendall Story

***Kendall Story moved to continue to the next TRC meeting, once outstanding comments are addressed.,
Laureen Kornell seconded the motion.
The TRC Committee voted unanimously in favor of motion.***

Applicants Present:

Nathan Brown
Ethan Burrowes
Robert Ball
Brian Sidenberg
[Illegible], Zev Cohen representative

OTHER BUSINESS:

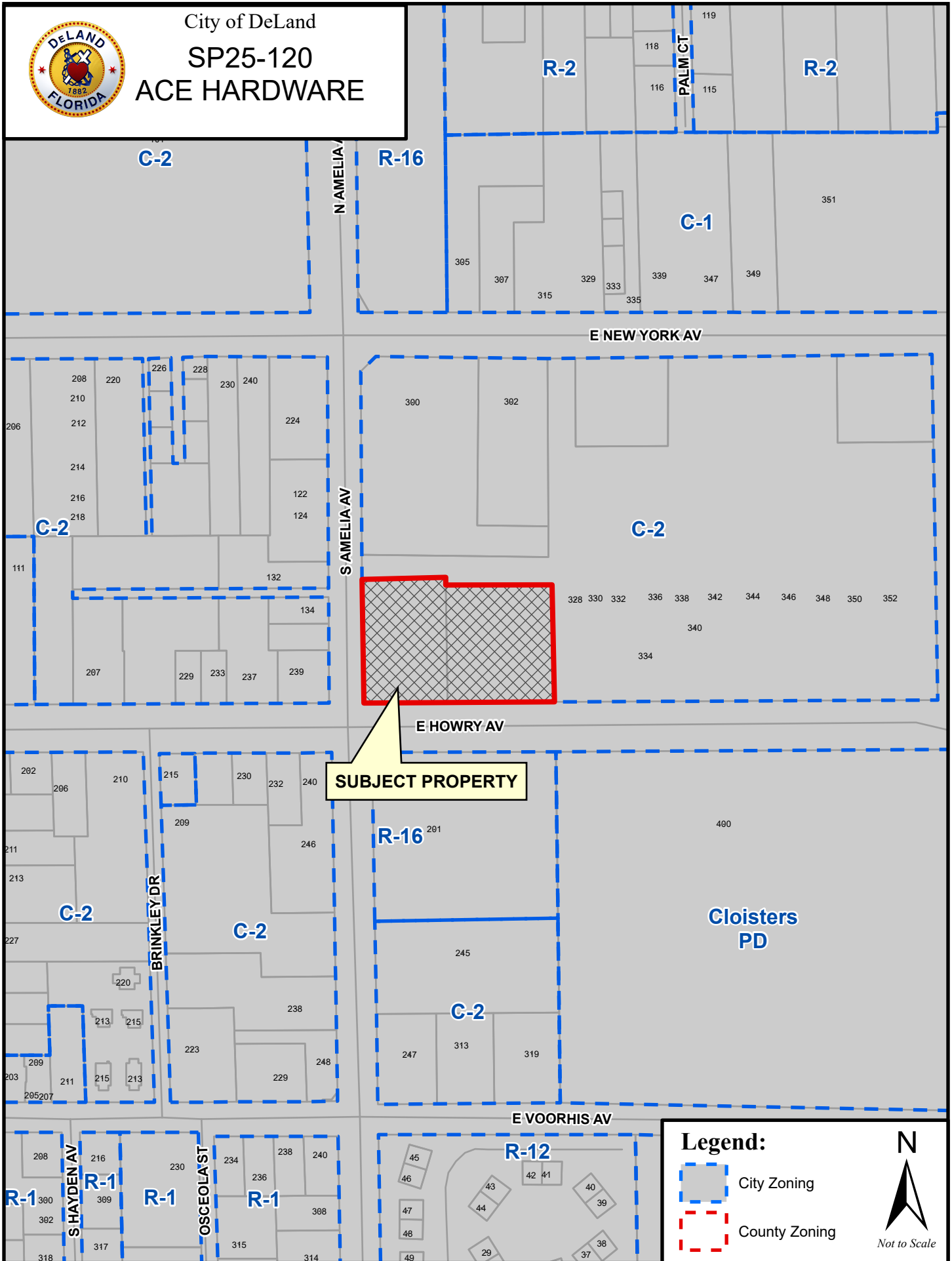
None.

ADJOURNMENT:

2:13 pm



City of DeLand
 SP25-120
 ACE HARDWARE



SUBJECT PROPERTY

Legend:

- City Zoning
- County Zoning







City of DeLand
SP25-120
ACE HARDWARE



Legend:

-  City Zoning
-  County Zoning



Issues for record SP25-120

Job Address: 0 Amelia,

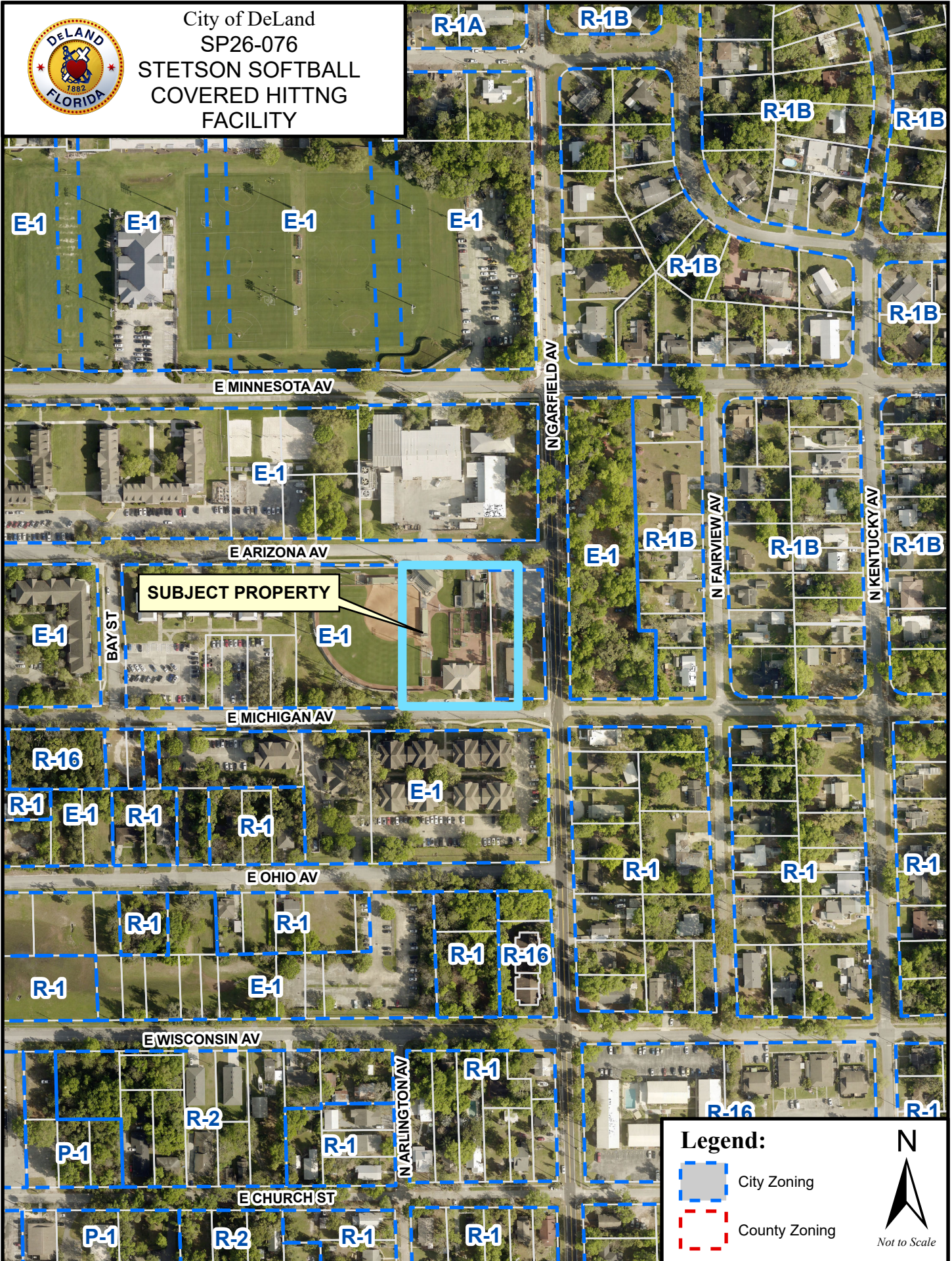
Job Description: New Commercial Retail Building with indoor storage and covered outdoor storage.

No	Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
47	Engineering	Open	Skimmer Detail Please provide a skimmer detail showing elevations and connection to the weir/retaining wall.	06	Steven Danskine	Samuel Nelson	Yes
46	Engineering	Open	Cross Sections Cross Sections F and G do not appear on the Grading Plan Sheet 5.	06	Steven Danskine	Samuel Nelson	Yes
45	Engineering	Open	Unclear? The first sentence is unclear in the last paragraph of Section 2.0.	Ace Hardware Drainage Compiled Report ssu.pdf	Steven Danskine	Samuel Nelson	Yes
44	Engineering	Open	Exfiltration I am unable to locate any exfiltration trenches or details in the plans.	Ace Hardware Drainage Compiled Report ssu.pdf	Steven Danskine	Samuel Nelson	Yes
43	Engineering	Open	Stormwater Discharge It is unclear where stormwater discharge is intended to flow after leaving the weir and entering the swale between the sidewalk and SW Management Retaining Wall. Please clarify.	05	Steven Danskine	Samuel Nelson	Yes
42	Forestry	Open	TPA Reduction in Required 30' Request For the 1.466-acre site the minimum tree protection area is 9,580 sq. ft.. Two of the proposed tree protection areas are less than the 30' minimum width requirement. The total TPA requirement will be met if the TRC approves the minimum TPA width requirements. It is Staff's understanding that the reduction in the 30' TPA width will be requested at the June TRC meeting. Once approved this comment will be accepted.	09	Laureen Kornel	Samuel Nelson	Yes
41	Forestry	Open	Historic Trees Label each historic tree including it's DBH.	09	Laureen Kornel	Samuel Nelson	Yes
4	Planning	Open	Setbacks On the site plan please provide the setbacks in feet from adjacent property lines for each proposed building.	04	Samuel Nelson	Samuel Nelson	Yes

No	Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
<p>Last comment from reviewer: Please include the setback for the building from the western, Amelia Ave property line.</p>							
40	Utilities	Open	<p>Utility Details Update to latest version 1/07/2026</p>	20	Jim Ailes	Samuel Nelson	Yes
39	Utilities	Open	<p>Water Connection Separate fire and domestic water service with a dedicated water tap for domestic meter connection.</p>	07	Jim Ailes	Samuel Nelson	Yes
38	Utilities	Open	<p>Sewer Connection Install a clean out north of the sewer connection wye.</p>	07	Jim Ailes	Samuel Nelson	Yes



City of DeLand
SP26-076
STETSON SOFTBALL
COVERED HITTING
FACILITY





City of DeLand
SP26-076
STETSON SOFTBALL
COVERED HITTING
FACILITY



Legend:

- City Zoning
- County Zoning

N

Not to Scale

Issues for record SP26-076

Job Address: 430 E ARIZONA AV, DELAND FL 32724

Job Description: Construct a 4,680 sf (65x72) metal pole barn over the existing batting cages at the softball complex.

No	Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
17	Engineering	Not Accepted	<p>Drainage Over 4,000 sf of roof runoff will be generated. This concentrated source of runoff will need to be provided for. A drainage swale may be proposed, but discharge from this swale is then shown to be routed over clay/non-vegetated surface before collection by the existing yard drains. Provide specific design elements pertaining to roof drainage, runoff routing and treatment prior to discharge from the site.</p> <p>Last comment from reviewer: As stated above; roof runoff will be concentrated, and therefore likely to cause erosion due to the increased flow rate, i.e. velocity. Sheet flow is much different than concentrated flow. Cascading water from heavy rain, falling from a height of 12' onto packed clay will quickly cut fissures under the eaves and the displaced clay will travel downstream to the yard drains and drain piping, finally settling in the receiving retention area. All of this sediment will cause buildup within the system, requiring increased maintenance. Some form/s of energy dissipation and erosion control need to be incorporated into the design. I am not arguing that runoff will be increased, only that it will be concentrated and cause issues for your client that they may not be prepared for or willing to accept.</p> <p>Last response: The same amount of impervious is being proposed and therefore will not create any additional runoff.</p>	1	Steven Danskine	Steven Danskine	Yes
13	Planning	Draft	<p>Lighting Will there be any lighting added? If yes, please provide a photometric plan that is compliant with section 33-94.03(g).</p> <p>Last comment from reviewer: Per TRC 5/21/26: add note stating there will not be any additional lighting.</p>	1	Kendall Story	Kendall Story	Yes

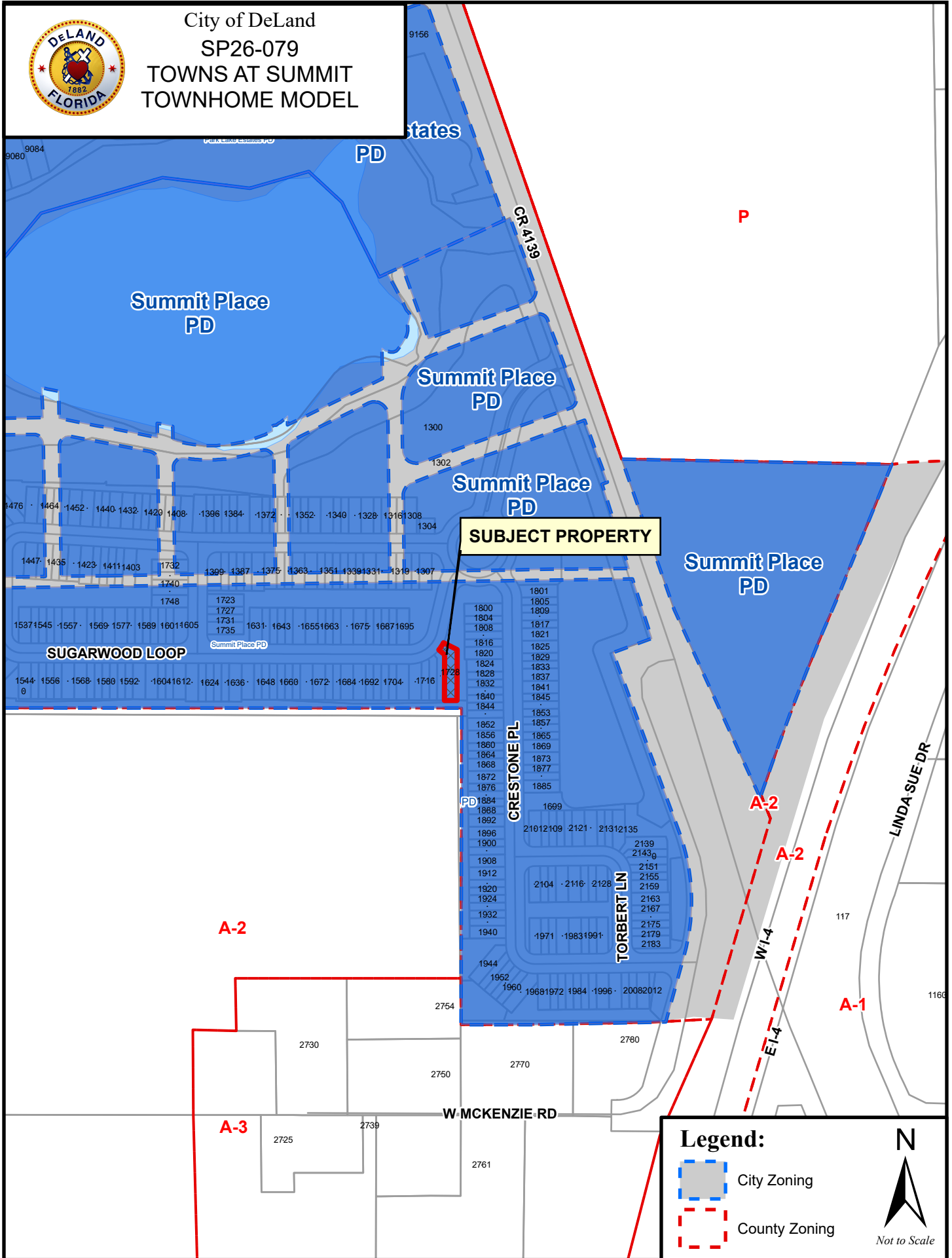


City of DeLand
SP26-079
TOWNS AT SUMMIT
TOWNHOME MODEL





City of DeLand
 SP26-079
 TOWNS AT SUMMIT
 TOWNHOME MODEL



Issues for record SP26-079

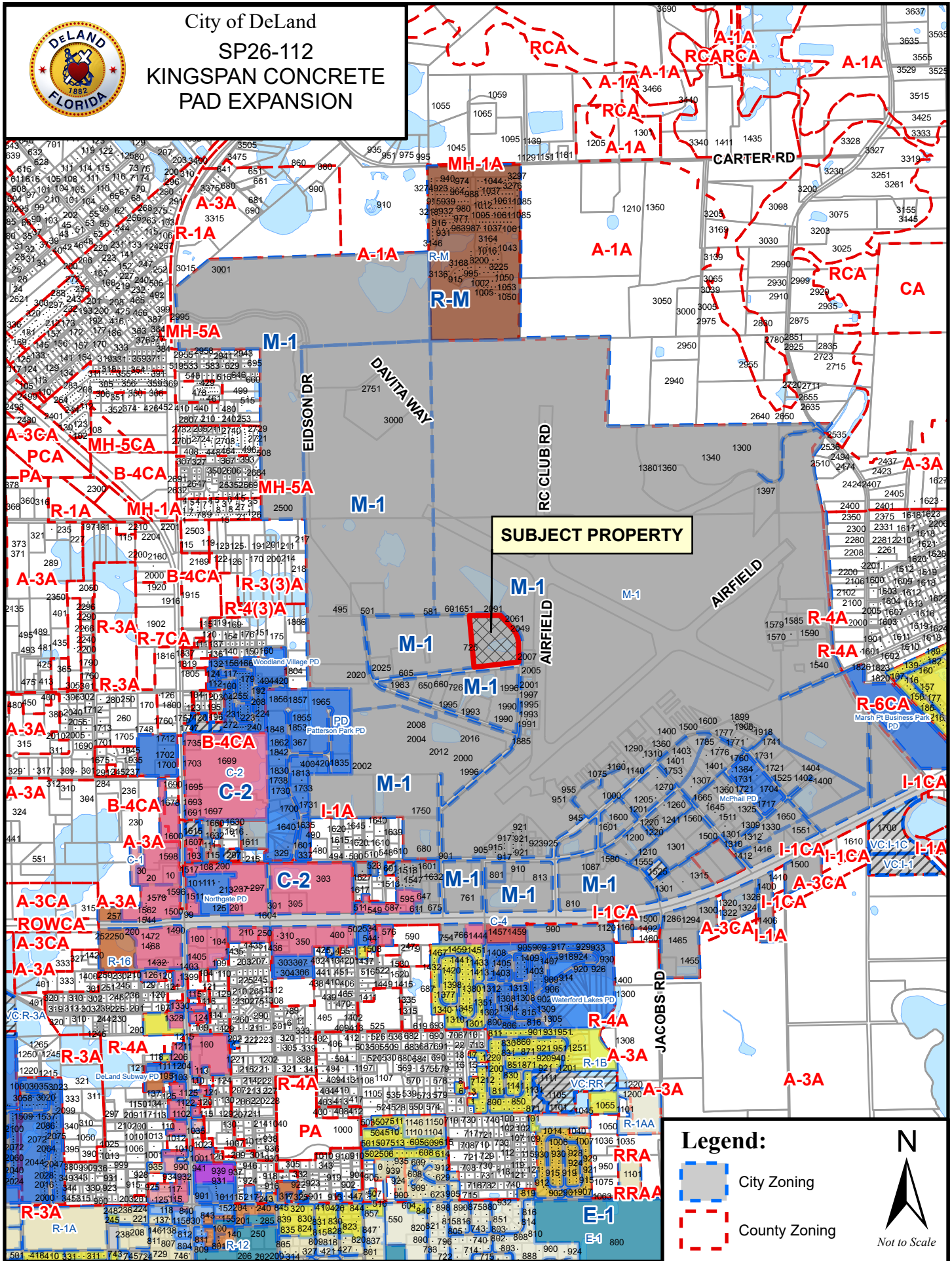
Job Address: 1728 SUGARWOOD LOOP, DELAND FL 32724

Job Description: Construction of new Townhome unit with temp Sales office in garage in Lot 106

No	Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
6	Planning	Open	<p>Parking Area Temporary subdivision sales offices are required to provide a minimum of four regular and one handicapped parking space. Any additional dwellings to be used as model homes shall provide two additional parking spaces per model home (Sec. 33-20.). Please indicate how many home will be used as models and provide a plan showing the intended parking area, including the ADA space and ADA accessible path.</p> <p>If a nearby parking lot will be used to meet the requirement, please provide a site plan showing this area.</p>		Samuel Nelson	Samuel Nelson	Yes
5	Planning	Open	<p>Lot Discrepancy The lots shown on this plan are different than the lots on the plot plan. Please revise to show the correct lots.</p>	L1	Samuel Nelson	Samuel Nelson	Yes
4	Forestry	Open	<p>Insufficient Information There is Insufficient tree information provided to adequately review this project. It will be recommended that this project be continued to the next TRC.</p>	CS	Laureen Kornel	Samuel Nelson	Yes
3	Forestry	Open	<p>Landscape Plan The lots shown on the Landscape Plan are not the lots shown within this submittal. Please revise to show, showing Lot 106 (rather than lots 117 through 113).</p>	CS	Laureen Kornel	Samuel Nelson	Yes
2	Forestry	Open	<p>Lot Conversion Prior to conversion of the Lot to single-family use, landscaping must conform to the requirements of Ordinance 2014-20 recorded on 12.15.16.</p>	CS	Laureen Kornel	Samuel Nelson	Yes
1	Forestry	Open	<p>Site Plan Please include a site plan showing what is proposed for construction on Lot 106. Please show the landscaping proposed for Lot 106 during its use as a model center.</p>	CS	Laureen Kornel	Samuel Nelson	Yes



City of DeLand
SP26-112
KINGSPAN CONCRETE
PAD EXPANSION



Legend:

- City Zoning (blue dashed line)
- County Zoning (red dashed line)

N

Not to Scale

Issues for record SP26-112

Job Address: 725 E SUMMERHILL DR, DELAND FL 32724

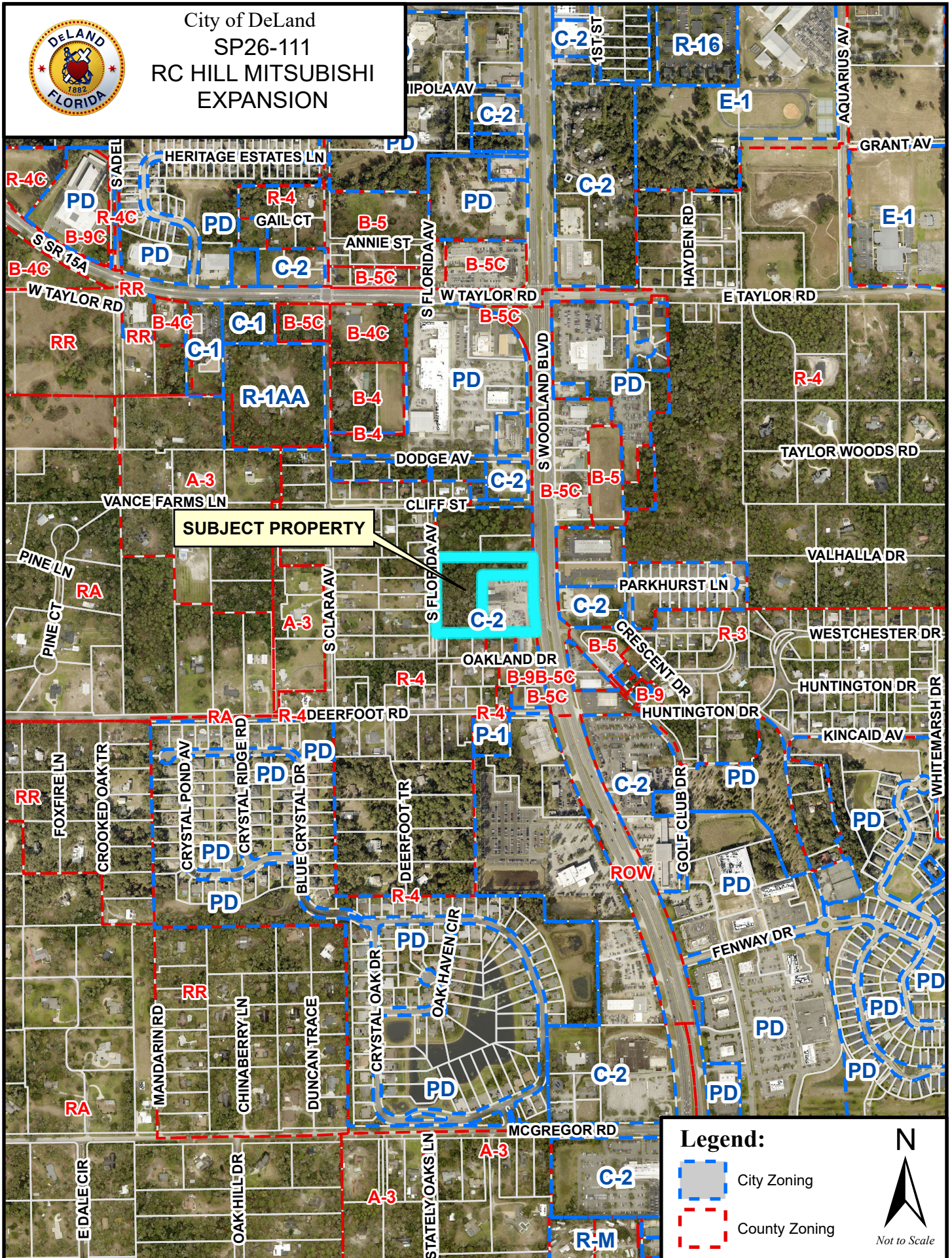
Job Description: Construct a 7" thick concrete pad addition on the east side of the main building located at 725 East Summerhill Drive (Parcel ID: 6034-00-00-0030). There are no additional daily trips anticipated from the proposed project. The concrete pad doesn't add building square footage, only a mechanism to facilitate the loading and unloading of large panels as opposed to fitting them through smaller doors. The conveyor system will allow large panels to be rolled outside where a forklift can pick them up and place them on the truck beds.

No	Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
12	Engineering	Draft	Concrete Strength The Geotech Report recommends 4,000 psi strength concrete mix for the rigid pavement, yet this sheet and the paving detail on the next sheet indicate 3,000 psi. Please review.	4	Steven Danskine	Steven Danskine	Yes
11	Engineering	Draft	11.4" Retention Provide information necessary to verify that the 100-yr/24-hr storm event (11.4") rainfall over the new impervious area is retained onsite.	#03 - Stormwater Calcs - 05-15-2026.pdf	Steven Danskine	Steven Danskine	Yes
10	Engineering	Draft	Section B-B Berm The plan view on Sheet 4 indicates that the top of berm separating the Pre-Treatment Pond and the Existing Pond (Section B-B) is proposed to be EI 75.50 while this cross section indicates EI 75.00. Please clarify.	6	Steven Danskine	Steven Danskine	Yes
9	Engineering	Draft	Orifice Skimmer Please review the proposed bottom elevation of the Orifice Skimmer for appropriateness.	6	Steven Danskine	Steven Danskine	Yes
8	Engineering	Draft	MES #4 The storm pipe between Structure 'A' and MES #4 is labeled as 14"x23" while the MES is labeled as 18." Please clarify.	4	Steven Danskine	Steven Danskine	Yes
7	Engineering	Draft	Pre-Treatment Pond The elevations indicated in the Pre-Treatment Pond Callout appear to be inconsistent with the contours and elevations shown in the plan, i.e. Overflow EI = 72.40, while the berm separating the Pre-Treatment Pond and Pond 'A' is shown to be elevation 75.20. Please review for consistency.	4	Steven Danskine	Steven Danskine	Yes
6	Engineering	Draft	Receiving Drive Paving The receiving area driveway extending from Industrial Dr. should be stabilized and paved per section 33-91.06(d).	4	Steven Danskine	Steven Danskine	Yes

No	Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
5	Forestry	Draft	Minimum Coverage What is planned to be saved on this site? Please provide a minimum coverage calculation to confirm compliance with minimum coverage requirements (1 tree per 2,500 square feet x 6" = minimum coverage).	3	Laureen Kornel	Laureen Kornel	Yes
4	Forestry	Draft	Irrigation Plan If the applicant decides on a Landscape Plan rather than paying into the Tree Replacement Reserve Account, then an irrigation plan is required (something that addresses watering be it hand watering or otherwise).	3	Laureen Kornel	Laureen Kornel	Yes
3	Forestry	Draft	Landscape Plan Please provide a landscape plan for replacement inches in accordance with the DeLand LDR. A Landscape Plan is still needed to determine if sufficient replacement for trees removed has been provided. The other option is to pay into the City's Tree Replacement Reserve Account for inches replaced. There may be additional comments once staff has received new data as requested.	3	Laureen Kornel	Laureen Kornel	Yes
2	Forestry	Draft	Volusia County Calculations Please delete Volusia County calculations and provide replacement in accordance with the DeLand DLR. Replacement of removed trees is required at 1/3 of the total DBH for protected trees and 1/2 of the total DBH for specimen trees. The total inches for removed trees is estimated at 915".	3	Laureen Kornel	Laureen Kornel	Yes
1	Forestry	Draft	Replacement of Removed Trees Since this project is within the boundaries of the airport, the LDR exempts landscaping (Section 33-33.09). However, the project is still required to replace inches removed. Please refer to Section 33-57.05(b) Replacement of removed trees of the LDR.	3	Laureen Kornel	Laureen Kornel	Yes
16	Planning	Draft	City of Daytona Beach Several notes appear to be for the City of Daytona Beach and Daytona utility providers. Please correct to reflect the City of DeLand and the relevant utility providers.	2	Samuel Nelson	Samuel Nelson	Yes
15	Planning	Draft	Site Lighting Is any site lighting proposed? If so, please provide a detail for any lighting.	4	Samuel Nelson	Samuel Nelson	Yes
14	Planning	Draft	Maximum Height The maximum height for properties within the M-1 zoning district is 65-feet. Please revise the plan to show the correct height requirement.	1	Samuel Nelson	Samuel Nelson	Yes
13	Planning	Draft	Setback Requirements The required rear setback for properties in the M-1 zoning district is 25-feet. Please revise the plan to show the correct setback requirement.	1	Samuel Nelson	Samuel Nelson	Yes



City of DeLand
SP26-111
RC HILL MITSUBISHI
EXPANSION



Issues for record SP26-111

Job Address: 1960 S WOODLAND BLVD, DELAND FL 32720

Job Description: The proposed project consists of the expansion of the existing RC Hill Mitsubishi automobile dealership through the incorporation of adjacent property into the overall dealership site. Improvements include vehicle display areas, inventory parking, internal circulation, landscaping, lighting, and associated site improvements necessary to support dealership operations. The request is being processed concurrently with a Special Exception application. Lot Combination to be submitted under separate cover.

No	Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
35	Engineering	Draft	Handicap Parking Please provide handicap parking spaces as appropriate with required signage, striping and details.	C4	Steven Danskine	Steven Danskine	Yes
32	Engineering	Draft	Asphalt Type Please specify the asphalt overlay material type.	C6	Steven Danskine	Steven Danskine	Yes
38	Fire	Draft	Fire Line The fire line for fire sprinkler system cannot be run to the riser room underneath the building slab.	C7	Jamie Lunsford	Jamie Lunsford	Yes
37	Fire	Draft	Fire Hydrants Fire Hydrants will need to be added throughout the site. 2-3 hydrants needed. See areas indicated	C7	Jamie Lunsford	Jamie Lunsford	Yes
36	Fire	Draft	FDC Identify the location of the Fire Department Connection.	C7	Jamie Lunsford	Jamie Lunsford	Yes
15	Forestry	Draft	Tree Protection Area The project will require 24,591 sf of Tree Protection Area. The plan indicates that 26,579 sf will be provided. Please clearly show the limits of the TPA on Sheet L-1 in addition to the Tree Removal Exhibit. It appears that insufficient TPA will be provided. Please add additional TPA to meet the requirement.	L-1	Mariellen Calabro	Laureen Kornel	Yes
14	Forestry	Draft	Tree Calculations If the project area is 163,942 sf, the minimum coverage requirement would be 393" DBH (163,942sf/2500sf x 6" DBH = 393" DBH), and the Tree Protection Area requirement would be 24,591 sf. (163,942 sf * 0.15 = 24,591 sf)	C1	Mariellen Calabro	Mariellen Calabro	No
13	Forestry	Draft	Tree Barricade Add tree barricade location and tree barricade detail to this page if it's not included on a later page.	C3	Mariellen Calabro	Mariellen Calabro	Yes

No	Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
12	Forestry	Draft	Attachment 15. Tree Removal List Please provide a tree removal excel spread sheet that separates out the DBH from the species code. Please provide a listing referencing the species code and the tree name.	L-1	Laureen Kornel	Laureen Kornel	Yes
11	Forestry	Draft	General Notes 12th comment down: Change "Protection" to "Barricade".	L-1	Laureen Kornel	Laureen Kornel	Yes
10	Forestry	Draft	General Notes 2nd note down: Change "Land Development Manager" to read "City Forester".	L-1	Laureen Kornel	Laureen Kornel	Yes
9	Forestry	Draft	Shade/Understory Trees Table Change DBH Total from "579" to "574".	L-1	Laureen Kornel	Laureen Kornel	Yes
8	Forestry	Draft	Shade/Understory Trees Table For QV* please change height from "14" to "17". Please change SPR from "8" to "10" to match Florida Grades and Standards.	L-1	Laureen Kornel	Laureen Kornel	Yes
7	Forestry	Draft	Tree Removal Exhibit Please include the Tree Removal Exhibit in with the Plan Set with the next submittal. It needs to be approved in with the overall Site Plan Packet.	L-1	Laureen Kornel	Laureen Kornel	Yes
6	Forestry	Draft	Sheet Index Add the following to the Sheet Index: Landscape Plan Irrigation Plan	C1	Laureen Kornel	Laureen Kornel	Yes
5	Forestry	Draft	Demolition Note #8 Change "County" to "City".	C3	Laureen Kornel	Laureen Kornel	Yes
34	Planning	Draft	AutoTurn Can the AutoTurn exhibit be added as a sheet to the planset?	C4	Christopher Carson	Christopher Carson	Yes
33	Planning	Draft	Trip Generation Table Please add the ITE Trip Generation Table to the sheet.	C4	Christopher Carson	Christopher Carson	Yes
31	Planning	Draft	Rooftop Mechanical Equipment Please show rooftop mechanical equipment. Also add note that all rooftop mechanical equipment shall be completely screened.	A6	Christopher Carson	Christopher Carson	Yes
30	Planning	Draft	Color Swatches / Manufactured Material Please provide color swatches and manufactured material.	A6	Christopher Carson	Christopher Carson	Yes
29	Planning	Draft	Parking Areas / Vehicle Storage Areas Please distinguish parking spaces from vehicle storage / display areas.	C4	Christopher Carson	Christopher Carson	Yes

No	Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
28	Planning	Draft	Landscape Island Can this little sliver of impervious be modified to create a larger landscape island?	C4	Christopher Carson	Christopher Carson	Yes
27	Planning	Draft	Landscape Island Please replace the impervious surface areas with landscape islands.	C4	Christopher Carson	Christopher Carson	Yes
26	Planning	Draft	Tree Protection Areas Please call out the individual tree protection areas and provide their square footages. A separate sheet is suggested for clarity.	L-1	Christopher Carson	Christopher Carson	Yes
25	Planning	Draft	Buffer Requirements Please provide both required and provided plantings for the landscape buffers.	L-1	Christopher Carson	Christopher Carson	Yes
24	Planning	Draft	Irrigation Provide irrigation plan. Also refer to City LDR section.	L-1	Christopher Carson	Christopher Carson	Yes
23	Planning	Draft	Community Design Standards Please add building perimeter landscaping to the marked areas where possible to meet the community design standards. Perimeter landscape plantings shall be located adjacent to the primary facade(s). Plantings should also be included at public entrance areas. Landscape material should be located within 15 to 25 feet of the building foundation. One canopy tree shall be required for every 75 feet of the exterior building perimeter, excluding building areas not designed for public view or access. Understory trees and shrubs shall be utilized along the exterior building perimeter, excluding building areas not designed for public view or access, to enhance building facades. Plants are encouraged to be grouped, in order to provide relief to building facades. Canopy trees used for the building perimeter landscaping may be counted towards any required tree replacement for the Final Development Plan.	L-1	Christopher Carson	Christopher Carson	Yes
22	Planning	Draft	Vehicle Display Vehicle display cannot be located within the Landscape buffer/island.	C4	Christopher Carson	Christopher Carson	Yes
21	Planning	Draft	Species Diversity Please provide more species diversity by providing 2-3 species of shrubs. Native plantings such as Walter's Viburnum are preferred. Also consider sections of native groundcover in lieu of Bahia.	L-1	Christopher Carson	Christopher Carson	Yes
20	Planning	Draft	Florida Ave Sidewalk Please provide a sidewalk along the Florida Ave. right of way. Alternatively, provide payment in lieu for the +/- 471' LF of frontage. If providing payment in lieu, please add a note that payment in lieu will be provided prior to issuance of CO.	C4	Christopher Carson	Christopher Carson	Yes
19	Planning	Draft	Vehicular Use Area Vehicular Use Area shall not exceed 150' or 15 parking spaces. Please modify new	C4	Christopher Carson	Christopher Carson	Yes

No	Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
			vehicular use areas to not exceed 150' or 15 parking spaces.				
18	Planning	Draft	<p>Building Setback Dimension Please provide dimension lines to show proposed setbacks for the proposed service building.</p> <p>Site Data Table Existing Zoning is C-2 General Commercial FLU is Highway Commercial. Use is Auto Sales</p> <p>Refine table to provide the C-2 district standards.</p> <p>Building Setbacks: Front: 20' Side, (abutting residential): 25' Side, (abutting street): 20' Side, (other): 10'</p> <p>Max Height: 80' Max Impervious: 70 % Max FAR: 1.0</p> <p>Be sure to update proposed as applicable to include all standards.</p>	C4	Christopher Carson	Christopher Carson	Yes
17	Planning	Draft		C4	Christopher Carson	Christopher Carson	Yes
16	Planning	Draft	<p>Lot Consolidation Lot consolidation is required to combine the two parcels. Please submit a lot consolidation application at your earliest convenience.</p>	C4	Christopher Carson	Christopher Carson	Yes
4	Utilities	Draft	<p>USA Project will require a utility service agreement.</p>	C1	Jim Ailles	Jim Ailles	Yes
3	Utilities	Draft	<p>Reclaim Need to call out size for reclaim tap and line size. Need a valve installed prior to reclaim meter.</p>	C7	Jim Ailles	Jim Ailles	Yes
2	Utilities	Draft	<p>Force Main Need a 4" GV installed at edge of ROW and property line on force main to isolate if needed for repair.</p>	C7	Jim Ailles	Jim Ailles	Yes
1	Utilities	Draft	<p>Potable Water Service Need to do a separate 8"x2" tap for domestic water service to the building. Call out tap and GV on both fire line and new domestic water. .</p>	C7	Jim Ailles	Jim Ailles	Yes

Issues for record SE26-109

Job Address: 1960 S WOODLAND BLVD, DELAND FL 32720

Job Description: Expansion of existing RC Hill Mitsubishi dealership and associated vehicle display area onto adjacent property as part of a concurrent site plan application. The request includes incorporation of the subject parcel into the overall dealership operations for vehicle display, inventory storage and related site improvements consistent with the proposed development plan. Site Plan and Lot Combination to be submitted under separate cover.

No	Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
9	Fire	Draft	<p>Fire Comments Comments were made in Site Plan Review. 1. FDC Location 2. Fire Hydrants need to be added 3. Fire line to riser room</p>		Jamie Lunsford	Jamie Lunsford	Yes
7	Forestry	Draft	<p>Special Exception Request The project is contingent upon approval of the special exception which is being coordinated through the Planning Department.</p>	C1	Laureen Kornel	Laureen Kornel	No
6	Forestry	Draft	<p>Demolition Note #8 Please change "County" to "City".</p>	C3	Laureen Kornel	Laureen Kornel	Yes
8	Planning	Draft	<p>SP26-111 See SP26-111 for comments.</p>	C1	Christopher Carson	Christopher Carson	Yes
5	Utilities	Draft	<p>Reclaim Need to call out line size and place a valve at edge of ROW for meter connection.</p>	C7	Jim Ailles	Jim Ailles	Yes
4	Utilities	Draft	<p>Potable Meter Service needs to have a separate 2" line off of main and not fir line.</p>	C7	Jim Ailles	Jim Ailles	Yes
3	Utilities	Draft	<p>Water Main Extension The 8" line needs to be extended north from blow off to in front of RC Hills and should end with a 8" tee with a blow off.</p>	C7	Jim Ailles	Jim Ailles	Yes
2	Utilities	Draft	<p>Force Main Valve Need to add a 4" GV to the force main at the edge of ROW to be able to isolate under road.</p>	C7	Jim Ailles	Jim Ailles	Yes
1	Utilities	Draft	<p>USA A Utility Service Agreement will need to be signed and returned prior to construction starting.</p>	C1	Jim Ailles	Jim Ailles	Yes

