



**CITY OF DELAND**  
**REGULAR MEETING OF THE TECHNICAL REVIEW COMMITTEE**  
**APRIL 16, 2026 AT 1:30 PM**  
**CITY OF DELAND TRC MEETING ROOM**  
**DELAND, FLORIDA**

**AGENDA**

**CALL TO ORDER**

**ROLL CALL**

**MINUTES**

1. Approval of the March 19, 2026 TRC Meeting Minutes.

**OLD BUSINESS**

1. **Applicant Name:** Michael Wojtuniak  
**Project Name:** SP26-035 – Neighborhood Center – Tiny Homes  
**Project Location:** 0.42 acres located at 114 W Walts Ave  
**Description:** Transitional Housing Tiny Home Community  
**Project Manager:** Chris Carson
  
2. **Applicant Name:** Sadique Jaffar  
**Project Name:** PSB25-131 – Orange Camp Commercial Phase 1  
**Project Location:** 11.1 acres located on Orange Camp Road  
**Description:** Construction of a Multi-Parcel Commercial Subdivision  
**Project Manager:** Chris Carson
  
3. **Applicant Name:** Nipun Gupta– Gupta Ventures LLC  
**Project Name:** SE25-173 – Special Exception for Medical Office  
**Project Location:** 2.43 acres located at 840 W Plymouth Ave  
**Description:** 24,299 square feet Medical Office Building  
**Project Manager:** Sam Nelson
  
4. **Applicant Name:** Andrea Cardo – Interplan LLC  
**Project Name:** SP25-200 – Class II Site Plan for County Club Point  
**Project Location:** 2.64 acres located at 2219 S Woodland Blvd  
**Description:** Redevelopment of existing shopping center  
**Project Manager:** Kendall Story

**NEW BUSINESS**

1. **Applicant Name:** Christopher Germana  
**Project Name:** SP26-029 – West Plymouth Ave Medical Office  
**Project Location** 2.43 acres located at 840 W Plymouth Ave  
**Description:** 24,299 square feet of Medical Offices  
**Project Manager:** Sam Nelson
  
2. **Applicant Name:** Lori Godbold - Rhodes + Brito Architects  
**Project Name:** SP26-031 – JW Wright Building Renovation  
**Project Location** 0.24 acres located at 258 W Voorhis Ave  
**Description:** Historic Building Renovation  
**Project Manager:** Sam Nelson
  
3. **Applicant Name:** Chris Blurton  
**Project Name:** PSB26-051 – Country Club Pointe Subdivision  
**Project Location** 2.64 acres located at 2217 S Woodland Blvd  
**Description:** Subdivision of 3 Parcels for Commercial Development  
**Project Manager:** Kendall Story

**ADJOURNMENT**

**NEXT MEETING**



**CITY OF DELAND**  
**TECHNICAL REVIEW COMMITTEE MEETING**  
**MEETING MINUTES**  
**THURSDAY, MARCH 19, 2026 - 1:30 P.M.**  
**CITY HALL**

OPENING OF MEETING:

Call to Order: **1:30 pm**

Members Present:

Carol Kuhn, Chairperson

Chris Carson

Sam Nelson

Vivian Ford

Jim Ailes

Laureen Kornell

Mariellen Calabro

Quinten Donellan

Ray Bahrami

Steve Danskine

MINUTES:

1. Review of January 15, 2026 TRC Meeting Minutes

*Chris Carson moved to approve the minutes as presented,  
Steve Danskine seconded the motion.  
The TRC Committee voted unanimously in favor of motion.*

OLD BUSINESS:

1. Applicant Name: Albert Munarov – Kingdom Realty Properties, LLC  
Project Name: SP25-069 – Class II Site Plan for Plymouth Medical  
Project Location: 3.235 acres located on the north side of W Plymouth Ave  
Description: 21,470 square feet of Medical Offices  
Project Manager: Sam Nelson

*Sam Nelson moved to conditionally approve the application, pending the answer of all of staff's comments,  
Jim Ailes seconded the motion.*

*The TRC Committee voted unanimously in favor of motion.*

**Applicants Present:**

Erin Bryenton  
Aubery Munaros  
Kris Rowley

NEW BUSINESS:

1. Applicant Name: Russell Skinner  
Project Name: PSB25-222 – Greenway Preliminary Plat  
Project Location: 14.4 acres located on Eidson Drive  
Description: Grading the site to a pad-ready condition  
Project Manager: Sam Nelson

*Sam Nelson moved to forward the application to Planning Board, subject to all comments being satisfied,  
Laureen Kornell seconded the motion.*

*The TRC Committee voted unanimously in favor of motion.*

**Applicants Present:**

James Skinner  
Kris Rowley

2. Applicant Name: Eduardo Carcache  
Project Name: SP26-030 – 7 Brew Drive-thru Coffee  
Project Location: 0.46 acres located at 1403 N Woodland Blvd  
Description: New Drive-thru Coffee Shop  
Project Manager: Sam Nelson

**Applicants Present:**

Eduardo C. Carcache  
Bruno Ponto

*Sam Nelson moved to conditionally approve the application, with the addition of a reduction of the  
southern landscape buffer from the required 30' to a minimum of 20', subject to providing tree  
preservation and all staff comments being satisfied,*

*Jerry Hindman seconded the motion.*

*The TRC Committee voted unanimously in favor of motion.*

3. Applicant Name: Michael Wojtuniak  
Project Name: SP26-035 – Neighborhood Center – Tiny Homes  
Project Location: 0.42 acres located at 114 W Walts Ave  
Description: Transitional Housing Tiny Home Community  
Project Manager: Chris Carson

**Applicants Present:**

Michael Wojtuniak  
Mark Watts  
Ken Goldberg  
Savannah Jane Griffin

*Christopher Carson moved to continue the application to the April 16<sup>th</sup> meeting with revisions due by  
March 25<sup>th</sup>,*

*Loreen Kornel seconded the motion.*

*The TRC Committee voted unanimously in favor of motion.*

OTHER BUSINESS:

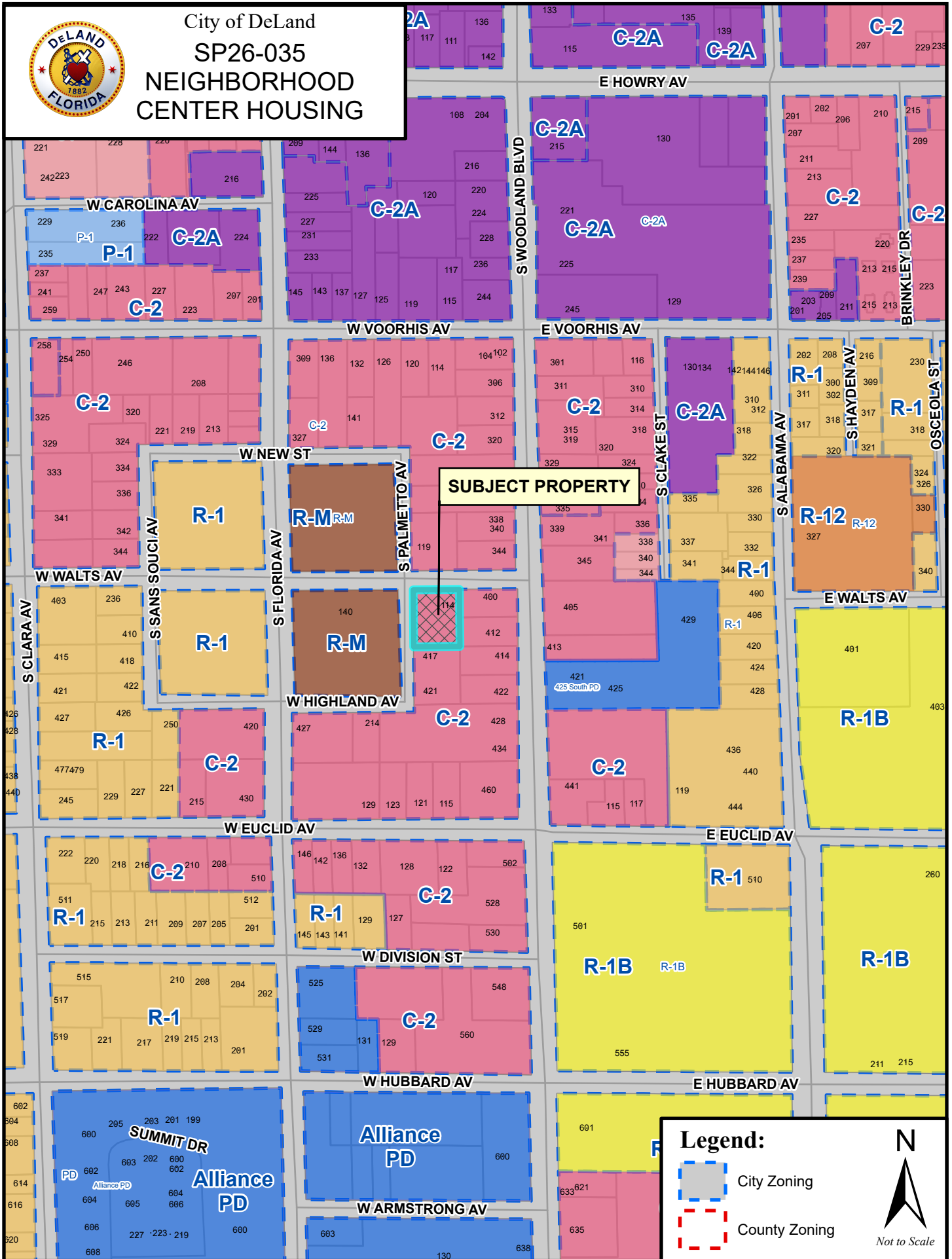
None.

ADJOURNMENT:

**2:29 pm**



City of DeLand  
 SP26-035  
 NEIGHBORHOOD  
 CENTER HOUSING



**SUBJECT PROPERTY**

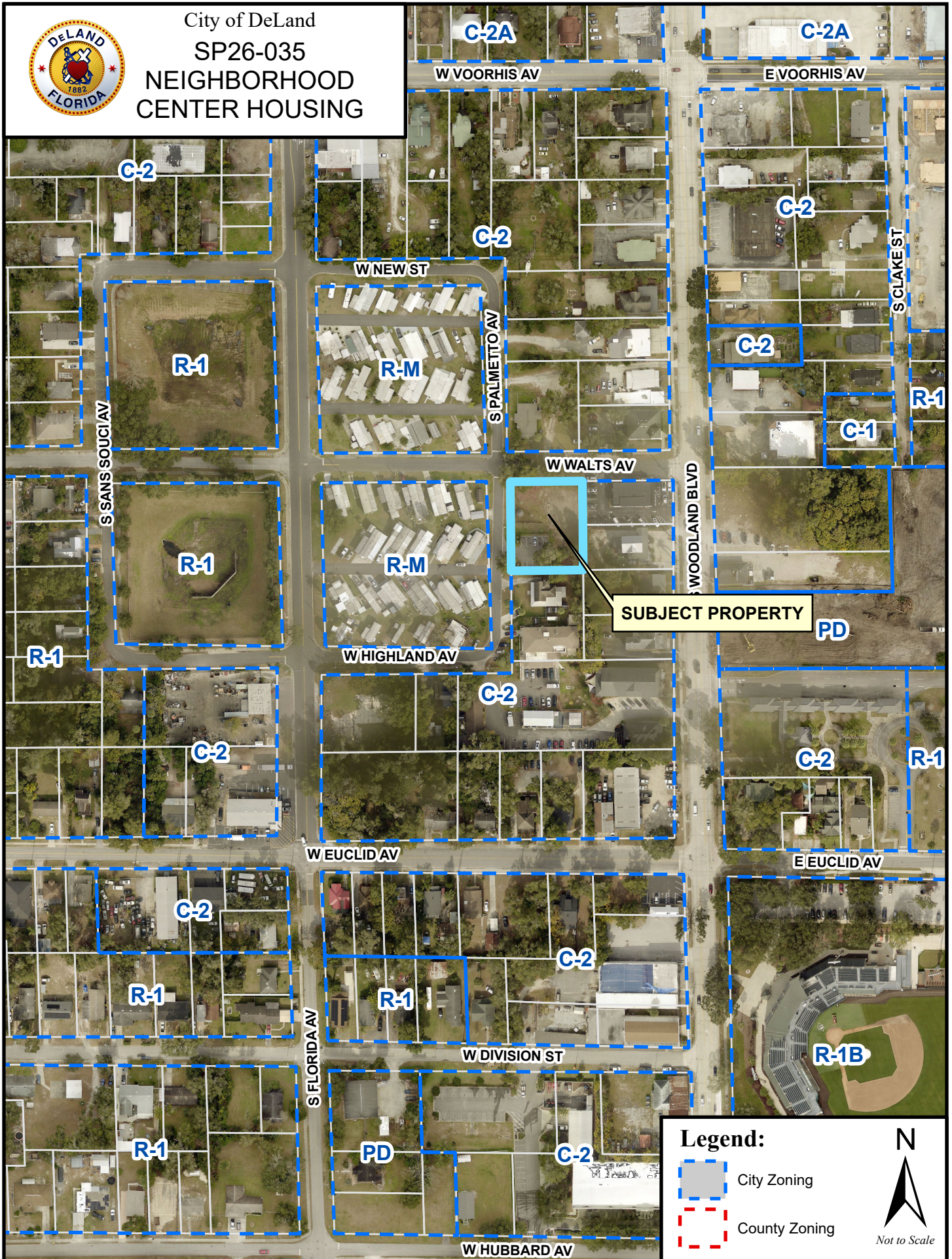
**Legend:**

- City Zoning
- County Zoning



N  
 Not to Scale



City of DeLand  
SP26-035  
NEIGHBORHOOD  
CENTER HOUSING



**Legend:**

-  City Zoning
-  County Zoning



**Issues for record SP26-035**

**Job Address: 114 W WALTZ AV, DELAND FL 32720**

**Job Description: This project will construct affordable housing "Tiny House" living for the local residents. The project replaces an existing single family home with multiple "Tiny Homes". The site will be served by a low impact storm water system.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Fire	Not Accepted	<p><b>Fire Protection Systems</b> Provide details for Fire Sprinkler Systems that will be required for the structures.</p> <p><b>Last comment from reviewer:</b> 1. Fire department access needs to be direct with no obstructions or obstacles. Re: no shrubs, fences or retention ponds.</p> <p>2. As discussed in the Pre App, the 2-story units have four units, which require them to be sprinklered.</p> <p><b>Last response:</b> The supplied layout will allow access to all doors with a distance of no greater than 82 feet or closer. Access will be from the existing parking lot and from the South Palmetto Avenue directly in front of the fire hydrant.</p>		Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	<p><b>Tree Protection Area</b> Change "Tree" to "Project".</p> <p><b>Tree Barricade</b> Please show tree barricade on trees 1 and 2. Please include the tree barricade with the legend.</p> <p><b>Last comment from reviewer:</b> Please update the label to say "Tree Barricade".</p> <p><b>Last response:</b> The tree barricade has been added on these and the other oaks to be saved.</p>	09	Laureen Kornel	Laureen Kornel	Yes
Forestry	Not Accepted		09	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		<b>Total TPA</b> It may be possible to reduce total TPA. However, this would require TRC approval.				
Forestry	Not Accepted	<b>Last comment from reviewer:</b> The LRD reference is 33-57.07(b)4. Relief would need to be approved by the TRC. Demonstrate access for maintenance and repairs to the storm water management structures (inlets, outlets, pipes). These areas must contain at least 1 tree/2,500 sq. ft.	09	Laureen Kornel	Laureen Kornel	Yes
		<b>Last response:</b> We propose the 15% however due to the size and existing development this entire lot has been compromised. There used to be a house on this property see the existing conditions. Also we are unable to achieve 30 feet. Please provide the code section for this distance. Lastly we are asking for relief to use the shallow low impact areas as TPA.				
		<b>TPA in Stormwater Pond</b> Stormwater areas cannot be located in a TPA area. Please revise				
Forestry	Not Accepted	<b>Last comment from reviewer:</b> This matter will require a vote from the TRC as stormwater mgmt. facilities are typically not located within a TPA.	09	Laureen Kornel	Laureen Kornel	Yes
		<b>Last response:</b> As the entire site has been compromised the TPA areas is being requested to share the shallow low impact swale.				
		<b>Minimum Tree Coverage</b> Applicant proposes to remove 72" DBH divided by 1/3 = 24" DBH required DBH replacement. 18,106 sq. ft divided by 2,500 = 7.24 x 6 = 43" DBH. The landscape plan provides 1116" DBH replacement. Therefore, the project meets minimum tree coverage. Please provide a statement showing these calculations.				
Forestry	Not Accepted	<b>Last comment from reviewer:</b> Please revise number of Live Oak to match Sheet 10.	09	Laureen Kornel	Laureen Kornel	Yes
		<b>Last response:</b> The plan has been updated to not have any tree removal except for the nuisance trees.				
		<b>Landscaping</b> Please add some additional plantings to the northwest, northeast and southeast corners and additional foundation plantings along the building 2 western facade.				
Planning	Draft		10	Christopher Carson	Christopher Carson	Yes
		<b>Laundry</b> Where will laundry facilities be?				
Planning	Draft		04	Christopher Carson	Christopher Carson	Yes
		<b>Elevations</b> Provide 4-sided elevations with labeled dimensions and update rendering based on updated site plan.  Provide more articulation utilizing window boxes, treatments, shutters, bump outs, trim, etc.  Which way will the container openings be facing, how will the container ends be				
Planning	Draft		16	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		handled?				
		<p><b>Tiny Home Units / Density</b> Please provide the number of Tiny Home units as well as the overall project density. How many kitchens are there?</p> <p><b>Last comment from reviewer:</b> Please submit a floorplan to demonstrate.</p> <p>Please add to the remarks, the number of kitchens. Ex, Building #3, 2-story, 2-kitchens.</p> <p>Please provide the allowable and provided density calculation: 0.416 * 20 tiny home units/acre (10 dwelling units / per acre ) = 8 tiny homes allowed " " Proposed Tiny Homes</p> <p>Please add note if Live Local is being utilized for density purposes.</p> <p><b>Last response:</b> Based on the revised layout there will be 10 kitchens. This also has been made clear on the cover sheet.</p>	01	Christopher Carson	Christopher Carson	Yes
		<p><b>Update</b> Edward Zamora</p> <p><b>Last comment from reviewer:</b> Edward Zamora is the locate Foreman</p> <p><b>Last response:</b> Please indicate the correct contact to be listed so we may change on the cover sheet.</p>	01	Jim Ailes	Jim Ailes	Yes
Utilities	Not Accepted					





City of DeLand  
PSB25-131  
ORANGE CAMP COMMERCIAL  
PHASE I



**SUBJECT PROPERTY**

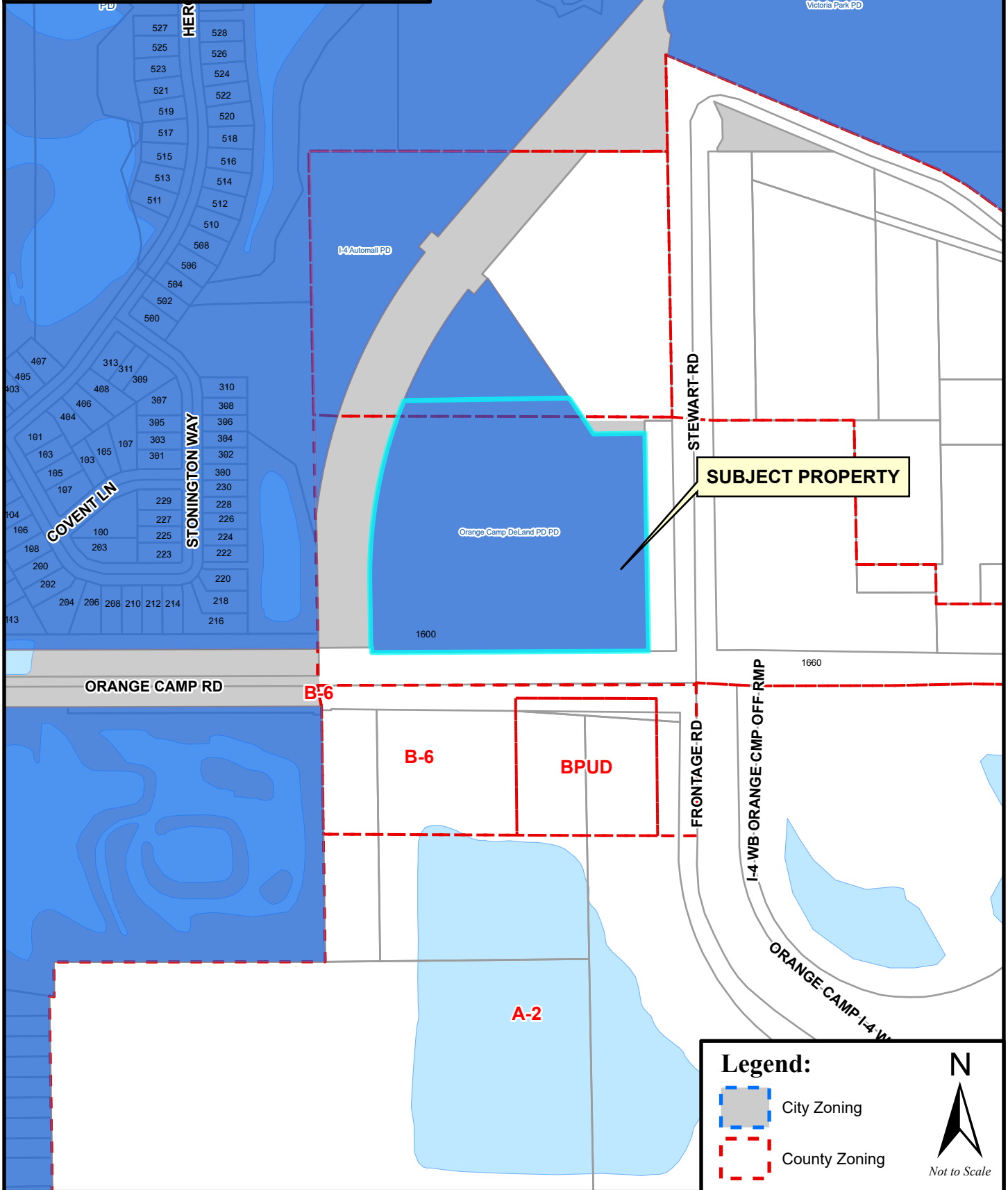
**Legend:**

-  City Zoning
-  County Zoning





City of DeLand  
PSB25-131  
ORANGE CAMP COMMERCIAL  
PHASE I



**Legend:**

- City Zoning
- County Zoning

**N**  
  
Not to Scale

**Issues for record PSB25-131**  
**Job Address: 1600 ORANGE CAMP RD, DELAND FL 32724**  
**Job Description: Includes the construction of a multi-parcel subdivision with associated clearing, mass grading, utilities, access roadways, and a master stormwater system.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	<b>Storm Structures</b> Provide a note that all storm structures that have multiple sections shall be gasketed and sealed appropriately.	C2	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Storm Piping Video Inspection</b> Provide Video Inspection requirements note as described in the response to previous comment.	C8	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>SJRWMD Permit Modification</b> In the process of updating and correcting the Stormwater Calculations and Plans to make them consistent, a SJRWMD Permit Modification should be applied for. Please provide the updated SJRWMD Permit.	C8	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>ADA Detectable Warning Mats</b> Provide the proposed locations for the ADA Detectable Warning Mats. Calling out the FDOT Index is not sufficient.	C6	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Inlet &amp; Piping Callouts</b> Provide callouts and details as appropriate for the Proposed Stormwater Connection boxes and Curb Inlets and piping for the Orange Camp Rd right turn lane as appropriate.	C8	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Peak Stages</b> The Stormwater Calculations list the peak stages for the Mean Annual, 25yr-24hr, and 100yr-24hr storm events as 71.57', 73.65' and 74.74' respectively while the Pond Section lists 71.89', 74.28' and 74.89' respectively. Please review both documents for consistency.	C17	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Drawdown Orifice Diameter</b> The Stormwater Calculations indicate that the Drawdown Orifice is 3.5" while the Drawdown Orifice Detail indicates 5.04" diameter. Please review both documents for consistency.	C11	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Overflow Weir</b> The Stormwater Calculations indicate that the discharge weir is 4.00' in width, however the detail on Sheet C11 indicates 3'. Please review both documents for consistency.	C11	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Discharge Structure</b> The Stormwater Calculations indicate that the outfall of Drop Structure Link: CS-01 is at Invert Elevation 68.50', but ST-16 indicates an Inv El of 69.50'. Additionally, the Stormwater Calculations indicate that the discharge pipe is 48.83' long while the plans indicate 23'. Please review both documents for consistency.	C8	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Bottom of Skimmer Elevation</b> There appears to be a typo on the bottom of skimmer elevation.	C11	Steven Danskine	Steven Danskine	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	<b>100yr-24hr Storm Retention</b> The City of DeLand Comprehensive Plan requires that the 100yr-24hr storm event be retained onsite. The Stormwater Calculations indicate that the peak stage of the 100yr-24hr storm event is 74.74' while the discharge weir in CS-01 is set at 74.50'. Please retain the 100yr-24hr storm event.	C11	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Cross Access Easement</b> Is there a reason that the cross access easement in Lot #1 does not have a radius?	C5	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Leaders</b> The leader that is supposed to point at the proposed rip rap at the outfall for CS-01 is not pointing at the symbol.	C8	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Bleed Down</b> Given that the 4" PVC Pipe and orifice crosses 4-5 contour lines (4:1 slope), would seem to indicate that the pipe extends between 16' and 20' in length. The detail on Sheet C11 indicates a minimum of 1-foot, but does not prescribe a maximum length. Please indicate how this pipe is going to be supported and protected from inadvertent damage during pond maintenance.	C8	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Cross Sections</b> Note 3 indicates that cross sections B-D can be located on sheet C21, however they are represented on Sheet C22. Please provide appropriate QA/QC before resubmittal.	C7	Steven Danskine	Steven Danskine	Yes
Engineering	Not Accepted	<b>Treatment System</b> Stormwater Treatment Systems that contain a bleed down orifice are defined as detention systems, not retention. <b>Last comment from reviewer:</b> Then update the description in the "Treatment System" narrative. <b>Last response:</b> This is a wet detention system.	23193 ORANGE CAMP PH- I STORM CALCS.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Not Accepted	<b>100yr/24hr Storm</b> Except as required for maintenance of adjacent wetland hydroperiod by SJRWMD, the developed site shall retain the 100yr/24hr storm event onsite. The emergency overflow weir should be set at or above that storage volume. <b>Last comment from reviewer:</b> The plans submitted indicate that the weir elevation is at 74.50', not the 74.74' indicated in the response. <b>Last response:</b> The stormwater pond design has been revised to retain the 100yr/24hr storm event onsite. An emergency overflow weir has been incorporated into pond (DA-1) at elevation 74.74 feet.	23193 ORANGE CAMP PH- I STORM CALCS.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Not Accepted	<b>Cross Section A-A</b> 1. The proposed elevations shown in the plan view surrounding ST-7 and ST-8 disagree with elevations shown in Section A-A. <b>Last comment from reviewer:</b> Certain elevations shown in the plan view do not agree with Section A-A, pond bottom elevation, for example. Please review for consistency. <b>Last response:</b> Section A-A has been updated to reflect the correct elevations.	C7	Steven Danskine	Steven Danskine	Yes
Engineering	Not Accepted	<b>100yr/24hr Storm</b> Provide the Pre/Post information for the 100yr/24hr storm event.	23193 ORANGE CAMP PH-	Steven Danskine	Steven Danskine	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		<p><b>Last comment from reviewer:</b> The Design Analysis/Summary supplied on page 4 of the revised Stormwater Calculations submitted does not indicate the 100yr-24hr storm event.</p> <p><b>Last response:</b> Please see the updated stormwater report to include the 100yr/24hr storm event.</p>	I STORM CALCS.pdf			
		<p><b>Proposed Stormwater Connections</b> Provide details pertinent to the proposed future stormwater connections in each lot.</p> <p><b>Last comment from reviewer:</b> Please see the comment on Sheet C8.</p> <p><b>Last response:</b> Each lot has a proposed stub out with a Type C box for future connection.</p>	C7	Steven Danskine	Steven Danskine	Yes
Engineering	Not Accepted	<p><b>Contours</b></p> <ol style="list-style-type: none"> <li>The existing 73' contour at the south end of Lots 2 and 3 should be closed with a proposed contour.</li> <li>Provide information for the future development of Lot 4. As shown, it will be nearly unusable without a retaining wall being constructed.</li> <li>The stormwater pond profile in Section A-A does not accurately reflect the contours shown in the plan view.</li> </ol> <p><b>Last comment from reviewer:</b> As shown, Lot 4 has even less flat area than it did in the last review.</p> <p><b>Last response:</b> 1. Existing 73' contour is closed with a 73' proposed contour.</p> <ol style="list-style-type: none"> <li>Lot 4 grading has been updated to show a pad ready lot for future development.</li> <li>Section A-A has been updated to reflect the correct pond profile.</li> </ol>	C7	Steven Danskine	Steven Danskine	Yes
Engineering	Not Accepted	<p><b>As-Built Requirements</b> As-Built shall be submitted signed and sealed in pdf format, along with CADD files.</p> <p><b>Last comment from reviewer:</b> Please provide a note to this effect.</p> <p><b>Last response:</b> Noted.</p>	C3	Steven Danskine	Steven Danskine	Yes
Engineering	Not Accepted	<p><b>Stormwater Construction Notes</b> All storm pipes shall be video inspected and jump drive provided to the City prior to acceptance.</p> <p><b>Last comment from reviewer:</b> I am unable to locate this note on Sheet C7 as stated.</p> <p><b>Last response:</b> A note has been added to sheet C7, note 4.</p>	C2	Steven Danskine	Steven Danskine	Yes
Forestry	Draft	<p><b>TPA</b> The TPA does not appear to meet the 15% TPA requirement.</p>	C5	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Tree Mitigation Calculations Removal</b> Change 2.722" DBH to 2.750" DBH. See staff's attached Excel Spreadsheet. This will require updating additional mitigation calculations.</p>	LS-03	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Tree Replacement Calculations</b></p> <ol style="list-style-type: none"> <li>Tree #50854 in the Excel spreadsheets under the Attachments File, is calculated incorrectly. It should be ½ diameter replacement instead of 1/3.</li> <li>Throughout the spreadsheet, instead of multiplying by 0.33, please divide by 3 for more accurate calculations.</li> </ol>	LS-03	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
<p>3. These changes will require a change in calculations on the Excel Spreadsheet (see staff's newly updated spreadsheet). Based on staff's revised calculations 2,750 of DBH will be required.</p>						
Forestry	Draft	<p><b>Tree Mitigation - Interior Lot Trees</b> Please provide a table showing the # of trees per lot and provide minimum specifications for the trees.</p> <p><b>Tree Mitigation Replacement Provided</b> In the last line of the tree mitigation calculations, change 946" DBH provided to 747" DBH provided because trees preserved cannot be included in this calculation. Also change 2,722" DBH replacement required 2,750" DBH. This will change the total deficit from -1,776" DBH to -2,003" DBH total. If additional trees are not planted, a contribution of \$150,225. (\$75.00 per inch not planted) into the Tree Reserve Fund will need to be made.</p>	LS-03	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Plant Schedule, Southern Live Oak</b> Change Tree Mitigation inches provided from 44" DBH to 55" DBH for the above (2.5" DBH x 22 = 55" DBH). This will then change the total inches from 534 to 545 when all of the Tree Mitigation Inches Provided are recalculated. The provided total will also change from 736" DBH to 747" DBH.</p>	LS-03	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Plant Schedule</b> Based on new species provided, please make the following changes: AF: Reduce height to 8', and add 4' spread. IVP: Reduce height to 8', and 3.5' spread. JS: Reduce height to 8', and 2' spread. LN: Reduce height to 8', and 3.5' spread. MG2: Add 10' spread. MG: It appears these specs match the 3.5" Cal/2.5" DBH. Please either reduce specs to match the 3" Cal or adjust the caliper size. PD: Reduce height to 8' and reduce spread to 2'. PD2: FG add minimum root ball size 52". PT: Reduce ht. to 8' and add 2' spread. QS: Reduce ht. to 8' and spread to 4'. QS2: Add the root ball size 52"</p>	LS-03	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>TD2</b> Please add 52" B &amp; B root ball diameter to clarify meeting minimum standards for a 6" caliper Type 2 Matrix tree.</p>	LS-03	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	<p><b>Landscape Legend</b> Provide a tree key that shows the symbols for each tree and what corresponding species is represented by each species, i.e. provide a Key. This can either be on this page or add a column to LS-03 showing the graphic representation of each tree.</p> <p><b>Last comment from reviewer:</b> Provide a tree key that shows the symbols for each tree and what corresponding species is represented by each species, i.e. provide a Key. This can either be on this page or add a column to LS-02 showing the graphic representation of each tree.</p> <p><b>Last response:</b> All plants are identified via plant tags on LS-01 and Plant Schedule provided on LS-03.</p>	LS-01	Laureen Kornel	Laureen Kornel	Yes
Forestry	Not Accepted	<p><b>Landscape Notes numbers 2, 4 and 13</b> Add the words "and the City of DeLand".</p> <p><b>Last comment from reviewer:</b> Add the words "and the City of DeLand" Landscape Note #2.</p> <p><b>Last response:</b> Note has been added.</p>	ID-01	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Landscape Specification Notes</b> Should "or" be replaced with "or"?</p> <p><b>Last comment from reviewer:</b> Should "or" be replaced with "or"?</p> <p><b>Last response:</b> Noted.</p>	LS-03	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Landscape Specification Notes</b> Should "changed" be revised to "changes"?</p> <p><b>Last comment from reviewer:</b> Should "changed" be revised to "changes"?</p> <p><b>Last response:</b> Noted.</p>	LS-03	Laureen Kornel	Laureen Kornel	Yes
Forestry	Not Accepted	<p><b>Plant Schedule - Bald Cypress Container Size</b> For bald cypress, the container size is too small. Increase container size from 30 gallon to 45 gallon with a minimum of 8' and minimum 2' spread in accordance with the Florida Grades and Standards for Nursery Plants.</p> <p><b>Last comment from reviewer:</b> Please revise the spread from 3' to 4' wide to 2' feet wide to meet FL Grades and Standards for a Type 2 Matrix species.</p> <p><b>Last response:</b> Noted.</p>	LS-03	Laureen Kornel	Laureen Kornel	Yes
Forestry	Not Accepted	<p><b>Tree Mitigation Calculations - Required Trees</b> The total site area provided is 392,733 square feet or 9.01 acres which does not match the 11.09 acreage figure on the Cover Sheet of the Plan Set. Please clarify the total acreage of Phase I to be consistent throughout the plan set. Upon clarification, the City will be able to verify the project Minimum Tree Coverage and associated calculations within the provided Tree Mitigation Calculations.</p> <p><b>Last comment from reviewer:</b> It is understood the acreage for the project area is 9.02 which is also now consistent with the site plan. Please direct staff to the Sheet that specifies the square footage/acreage of Midpoint Street (fka Street A) so that staff can verify Minimum Tree Coverage.</p>	LS-03	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		<b>Last response:</b> Total site area for tree mitigation is 343, 764sf and does not include Midpoint Street (fka Street A).				
Forestry	Not Accepted	<p><b>Cover Sheet - Sheet Index</b> The Sheet index is missing the following two items: 1. Landscape Plan; and 2. Irrigation Plan Please add the above two items to the Sheet Index List.</p> <p><b>Last comment from reviewer:</b> The Sheet index is missing the following two items: 1. Landscape Plan; and 2. Irrigation Plan Please add the above two items to the Sheet Index List.</p> <p><b>Last response:</b> The sheet index has been updated.</p>	C1	Laureen Kornel	Laureen Kornel	Yes
Planning	Draft	<p><b>Frontage Road Intersection</b> Add concrete traffic separator for safer pedestrian crossing. Can the southbound through and left hand turn lane be shifted north slightly to increase line of sight for vehicles making right turning movements.</p>	C5	Christopher Carson	Christopher Carson	Yes
Planning	Draft	<p><b>Project Limits</b> Be sure to remove all improvements not within the City of DeLand.</p>	C4	Christopher Carson	Christopher Carson	Yes
Planning	Draft	<p><b>Tracts</b> The TPA/ Open Spaces internal to lot 1-4 are being shown as easements and should be separate tracts separate from the developable lots. Provide lot areas for lots 1-4.</p>	SHEET 2	Christopher Carson	Christopher Carson	Yes
Planning	Draft	<p><b>W R/W Line</b> Should this be the west r/w line?</p>	SHEET 2	Christopher Carson	Christopher Carson	Yes
Planning	Draft	<p><b>Midpoint Street</b> Modify the proposed midpoint street to be a private road. Additionally, add turn lanes from midpoint street to Lots 1-4.</p>	C5	Christopher Carson	Christopher Carson	Yes
Planning	Draft	<p><b>TPA linework</b> Verify dimension linework.</p>	C5	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	<p><b>LID</b> Incorporate LID elements into the project. The County's document for guidance can be found at the following link: <a href="https://www.volusia.org/file/6744/5.6.25_Approved_LID_Guidance_Manual_lastrevised_11.8.24.508.pdf">https://www.volusia.org/file/6744/5.6.25_Approved_LID_Guidance_Manual_lastrevised_11.8.24.508.pdf</a> Some other considerations: -utilize the median islands, and planting strips along proposed A for bioretention facilities and/or rain gardens. -permeable pavers for crosswalks</p>	C5	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		-stormwater wetland to mimic the natural environment				
		<p><b>Last comment from reviewer:</b> Please provide a narrative on how LID is being applied.</p> <p><b>Last response:</b> Noted.</p>				
		<p><b>Wetland Impacts</b> Submit the wetland alteration permit application and wetland management plan in accordance with LDR 33-58.</p> <p>Please reconfigure and redesign the site to minimize wetland impacts and preserve the wetlands to the fullest extent possible.</p> <p><b>Last comment from reviewer:</b> Please submit narrative to display compliance with LDR 33-58.</p> <p><b>Last response:</b> The site has been designed to minimize wetland impacts and preserve wetlands to the greatest extent practicable in accordance with LDR 33-58. Further reconfiguration would not result in a meaningful reduction of impacts due to site and regulatory constraints. A Wetland Alteration Permit application and Wetland Management Plan will be submitted in compliance with LDR 33-58.</p>	C4	Christopher Carson	Christopher Carson	Yes
		<p><b>Project Limits - Legal Description</b> A portion of the legal description is describing property not within the City limits. Please clarify. Verify Acreage.</p> <p><b>Last comment from reviewer:</b> Verify legal description, should include construction limits within the limits of the City of Deland only.</p> <p><b>Last response:</b> Legal description has been updated to reflect the correct lots.</p>	C1	Christopher Carson	Christopher Carson	Yes
		<p><b>ERP</b> Informational: Approved ERP required prior to site construction.</p> <p><b>Last response:</b> Noted.</p>	C5	Christopher Carson	Christopher Carson	Yes
		<p><b>Street A</b> Reduce travel lanes to 11' within the proposed Street A right of way.</p> <p>Revise Street A to be consistent with PD concept plan, 2 southbound lanes and 1 northbound.</p> <p><b>Last comment from reviewer:</b> The addition of turn lanes and reduced speed to 25 mph should allow for the travel lane width reduction.</p> <p><b>Last response:</b> Street A has been reviewed against the traffic study recommendations. The proposed 12-foot travel lanes are being maintained to accommodate large truck traffic associated with the gas station and to allow for adequate turning movements.</p>	C6	Christopher Carson	Christopher Carson	Yes
		<p><b>Street A Typical Section</b> Provide Street A Typical section. What is the design speed?</p> <p><b>Last comment from reviewer:</b> Go with posted 25 and design of 30.</p>	C7	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Not Accepted	<p><b>Last response:</b> An appropriate posted speed would be 30 MPH, with a design speed of 35 MPH.</p> <p><b>Project Limits</b> Please clarify the project boundary (52.11 ac. ) , phase 1 Basin Area (11.09 ac.) , Plat boundary limits (9.02 ac.), and Legal Description (16.58 ac.).</p> <p><b>Last comment from reviewer:</b> Do not include portions of Lake Helen in the project boundary.</p> <p><b>Last response:</b> Acreage has been updated on Sheet C5, site information table. The project boundary is 52.11 AC, phase 1 boundary is 9.02 AC.</p>	C1	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	<p><b>Separate Site Plan</b> Are all plantings being proposed as part of this construction plan set?</p> <p>Remove information related to separate site plan to not confuse what is proposed through this plan set.</p> <p><b>Last comment from reviewer:</b> All plantings shown will be required to be constructed with the preliminary plat / construction plans.</p> <p><b>Last response:</b> No, plants shown within the individual lots will be the responsibility of the future commercial owner for installation. However, the plants within these parcels are necessary to be included for mitigation calculations.</p> <p>The plants within the separate parcels need to be included for mitigation calculations.</p>	LS-01	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	<p><b>Stormwater Plantings (Sheet LS-01)</b> All stormwater ponds shall utilize supplemental plantings to enhance the functionality of the stormwater system. Please provide a variety of littoral plantings (trees, shrubs, perennials, and groundcover) around the stormwater pond.</p> <p><b>Last comment from reviewer:</b> Provide plantings throughout the entire pond.</p> <p><b>Last response:</b> Ornamental Native &amp; Aquatic plantings have been added to stormwater pond edge.</p>	LS-01	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	<p><b>R/W Landscaping</b> Provide landscaping (Trees, shrubs, groundcover) in the frontage road median.</p> <p><b>Last comment from reviewer:</b> Thank you for providing the median plantings.</p> <p>Please swap the blue daze for a native groundcover such as dune sunflower or golden beach creeper.</p> <p>Also, please swap the crape myrtles with a native understory tree such as Fringe Tree, Eastern Redbud, Silver Buttonwood, etc.</p> <p>Swapping some of the schillings holly with Muhly grass would create a nice fall bloom effect.</p> <p><b>Last response:</b> Provided</p>	LS-01	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	<p><b>Sidewalk</b> What are the project limits of the sidewalk along the Orange Camp Blvd, right of way?</p> <p>Sidewalks or multi-modal paths shall be located along at least one side of all rights of way and shall provide connectivity with adjacent development. Since there is no existing sidewalk west of the</p>	C5	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Not Accepted	<p>frontage road, extend to connect to the existing sidewalk along Orange Camp Rd. Provide an enhanced pedestrian crossing to connect with the existing pedestrian network to the south.</p> <p><b>Last comment from reviewer:</b> Please extend sidewalk west along the north side of Orange Camp Rd.</p> <p><b>Last response:</b> An easement will need to be around the sidewalk encroaching on Lot #1.</p> <p>The frontage road sidewalk has been connected to South side of Orange Camp Road on the eastern side of the intersection to tie into the existing sidewalk network.</p> <p><b>Street Lighting</b> All streets, driveways, sidewalks, bikeways, parking lots and other common areas and facilities in developments shall provide illumination. Provide dark-sky compliant lighting for the right of way. Include photometric plan.</p> <p><b>Last comment from reviewer:</b> Provide photometric plan &amp; details.</p> <p><b>Last response:</b> The Owner will coordinate with Duke Energy for the design and installation of the site and street lighting. All lighting within the right-of-way will be dark-sky compliant. A photometric plan demonstrating compliance with the City's illumination standards will be provided with the site lighting plans once the layout and fixture specifications are finalized in coordination with the utility provider.</p>	C5	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	<p><b>TPA</b> A minimum of 50 percent of the required minimum number of trees as provided in section 33-57.07(a) shall consist of existing trees within said area. Please display compliance.</p> <p><b>Last response:</b> Noted.</p>	LS-01	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	<p><b>Outside City Limits</b> Remove improvements outside City limits.</p> <p><b>Last comment from reviewer:</b> Be sure to remove the Stewart Road turnaround. This turnaround will need to be designed within the plan boundary.</p> <p><b>Last response:</b> Improvements have been made inside City Limits.</p>	C5	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	<p><b>Tracts</b> Place landscape buffers in open space tracts.</p> <p>Landscape buffers between lots are not needed on plat unless it is desired for them to be open space tracts.</p> <p>Place Tree Preservation Areas in TPA / Open Space tracts.</p> <p><b>Last response:</b> Landscape buffers have been placed in open space tracts.</p> <p>Landscape buffers between lots have been removed.</p> <p>The Tree Preservation Areas are now shown as "TPA/Open Space".</p>	SHEET 2	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	<p><b>Tract Table</b> Please provide tract table and provide columns to demonstrate purpose, acreage, ownership, maintenance.</p>	SHEET 2	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		<p><b>Last comment from reviewer:</b> TPA(1-8) and LB-2 should be Owned &amp; maintained by POA.</p> <p><b>Last response:</b> A Tract Summary Table is shown on Sheet 4 of the Plat.</p>				
Planning	Not Accepted	<p><b>Stormwater Pond / TPA Conflict</b> It appears some of the stormwater pond is located within the Tree protection area. Tree protection areas may not be located inside a stormwater retention facility. Please revise the plan to meet.</p> <p><b>Last comment from reviewer:</b> Comment will be accept once the TPA design is acceptable to forestry.</p> <p><b>Last response:</b> City Staff indicated that they would work with us on allowing planted slopes around ponds to be counted towards the TPA.</p>	C5	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	<p><b>Species Diversity (Sheet LS-03)</b> The proposed planting schedule is representative of a monoculture.</p> <p>Provide more species diversity in the planting schedule. Also provide more species that are naturally found in the area to maintain the existing character. Refer to the EA report for species. Some examples include Slash Pine, Myrtle Oak, American Holly, Sweet Bay, etc.</p> <p>Include groundcover in lieu of bahia. If Bahia is still desired, at to plant schedule.</p> <p><b>Last comment from reviewer:</b> Thank you for increasing the number of species. Please reduce the number of proposed sweet viburnum and replace with additional native shrubs such as Walter's Viburnum, Simpson Stopper, Horizontal Cocoplum, etc.</p> <p><b>Last response:</b> Noted.</p> <p>Noted.</p> <p>Noted.</p>	LS-03	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	<p><b>Tree removal / preservation spreadsheet</b> In the spreadsheet, be sure to include what specific species are shown. For example instead of listing just pine, what type of pine. There seems to be a number of specimen trees listed for removal that were not identified as specimen. Please revise.</p> <p><b>Last comment from reviewer:</b> What about the Oaks &amp; Bay trees?</p> <p><b>Last response:</b> All Pine on site are Slash Pine.</p>	LS-03	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	<p><b>Accessory Structures Setback (Sheet C6)</b> Remove the accessory structures setback line from all sheets.</p> <p><b>Last comment from reviewer:</b> See markup.</p> <p><b>Last response:</b> No accessory structure setbacks.</p>	C6	Christopher Carson	Christopher Carson	Yes

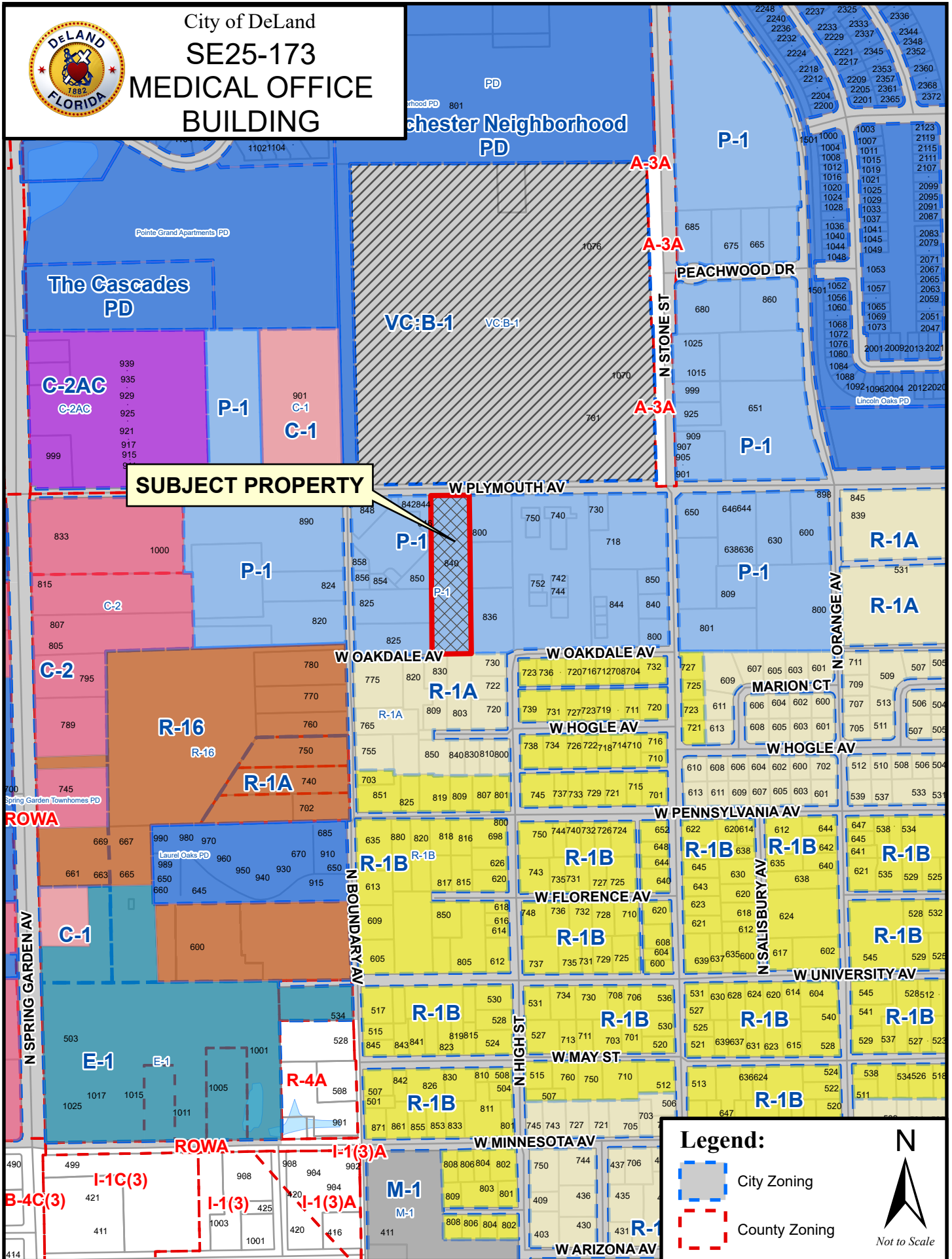
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Not Accepted	<p><b>Limit of Tree Protection Area (Sheet LS-01)</b> There shall be no grading or hardscape work inside this zone.</p> <p><b>Last comment from reviewer:</b> Comment will be accept once the TPA design is acceptable to forestry.</p> <p><b>Last response:</b> Noted.</p>	LS-01	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	<p><b>TPA</b> Of the 756 trees on site, only 22 are being preserved. Why are so many trees being removed?</p> <p>The applicant must demonstrate that a reasonable effort has been made to situate the improvements so as to save as many of the existing trees as possible and to work with the existing grade to the greatest extent possible.</p> <p>Can the site be designed in a more efficient manner to preserve more existing trees?</p> <p><b>Last comment from reviewer:</b> There only appears to be minor changes from the first submittal. Are there design changes that can be made to save some of the larger trees?</p> <p><b>Last response:</b> Due to the stringent stormwater regulations enforced by the City, the proposed pond is larger compared to the typical commercial development resulting in the site to be cleared and filled to meet the requirement.</p> <p>Noted.</p> <p>Unfortunately, due to the reasons outlined above, the clearing of the site is required to meet the requirements of the Land Development Code.</p>	C6	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	<p><b>Tree Preservation Exhibit</b> Add sheets to the construction plans to indicate compliance with the resource protection standards. At minimum this is one sheet identifying the tree protection areas (with acreages identifying each area) and proposed/existing grades. Be sure to show all trees and indicate which are to be removed and which are to be preserved.</p> <p>A separate sheet should be a list of all the trees. Be sure to provide a column with the health of the tree, and a column indicating the reason for removal.</p> <p><b>Last comment from reviewer:</b> Due to the number of trees proposed for removal, please provide a separate tree preservation exhibit with existing and proposed grading.</p> <p>On the tree removal spreadsheet, include a column with the reason for removal.</p> <p><b>Last response:</b> Tree protection area acreages have been added to the site data table on Sheet C5 Excel spreadsheet provided with list of trees.</p>	C6	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Not Accepted	<p><b>TPA</b> Provide acreages for the tree protection areas.</p> <p>Be sure to add to the Site Data Table.</p> <p><b>Last comment from reviewer:</b> 15 % of the property shall be TPA.</p> <p><b>Last response:</b> Tree protection area acreages have been added to the site data table.</p>	C5	Christopher Carson	Christopher Carson	Yes
Utilities	Draft	<p><b>Water Stub-Out</b> Need to install a 10"x 10"x10" Tee with two 6" GV one to east and one to the north. A 10" pipe needs to be stubbed to the north of road way and capped with a 2" BO.</p>	C9	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	<p><b>FM Stub-Out</b> Need to install a 6"x6"x6" Tee with two 6" GV for isolation north and to east. North needs to be capped with a 2" BO.</p>	C9	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	<p><b>Reclaim</b> Show where the reclaim changes from 12" to 8" piping and how. Need a 12"X 12" X8" Tee installed with one 12" GV with cap and 2" BO to north. Need one 8" GV to the east of Tee for isolation.</p>	C8	Jim Ailes	Jim Ailes	Yes
Utilities	Not Accepted	<p><b>Reclaim Stub Out</b> Again Phase I shows no support for future phases. Need to add a Tee and Valve with a cap and B/O.</p> <p><b>Last response:</b> Please see sheet C9 for proposed future connections north on Frontage Road and West along Street A.</p>	C8	Jim Ailes	Jim Ailes	Yes
Utilities	Not Accepted	<p><b>Gravity sewer</b> It appears that the Phase 1 project is being built to stand on its own with no ability to future connection. System is designed to shallow and not stubbed out to either future frontage road nor Lake Helen</p> <p><b>Last comment from reviewer:</b> Do not see any gravity sewer connections.</p> <p><b>Last response:</b> Please see sheet C9 for proposed future connections north on Frontage Road and West along Street A.</p>	C8	Jim Ailes	Jim Ailes	Yes





City of DeLand  
SE25-173  
MEDICAL OFFICE  
BUILDING



Legend:

- City Zoning
- County Zoning

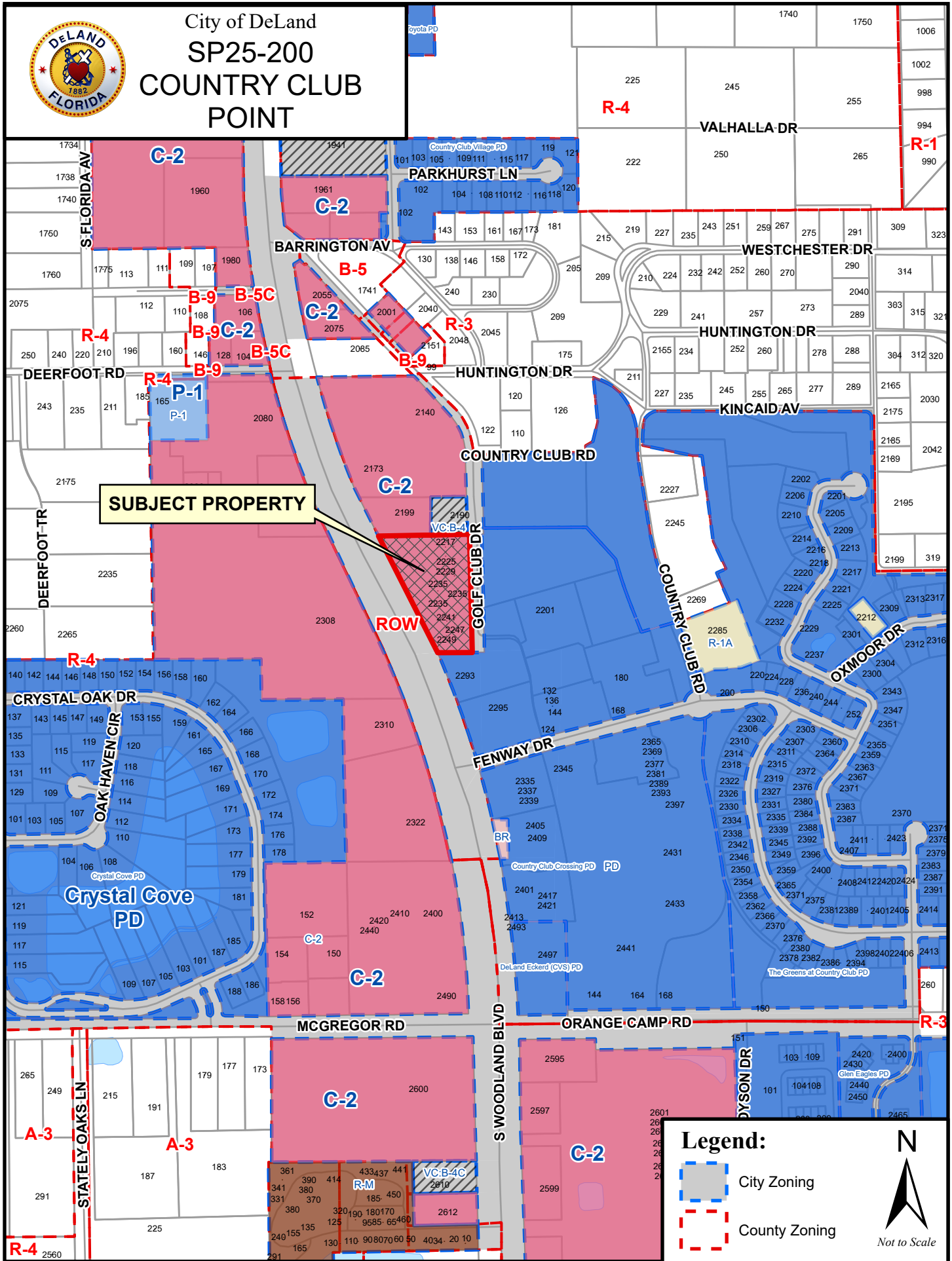


**Issues for record SE25-173**  
**Job Address: 840 W PLYMOUTH AV, DELAND FL 32720**  
**Job Description: ~18,000 SF Medical Office and parking lot and stormwater pond.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		<p><b>Proposed Structure and Site</b></p> <ol style="list-style-type: none"> <li>1. Building will require Fire Sprinkler and Fire Alarm Installation.</li> <li>2. Project will require the installation of at least one and possibly two fire hydrants.</li> <li>3. Measurements on drive lanes needed to determine adequate fire apparatus access.</li> </ol> <p><b>Last comment from reviewer:</b> Same issues exist. Will also be addressed in the site plan review</p>				
Fire	Not Accepted		C-102	Jamie Lunsford	Jamie Lunsford	Yes
		<p><b>General Site Plan Comment</b></p> <p>Sec. 33-134.07. The development and use of the site of an approved special exception shall be in accordance with the approved site plan and application materials. To ensure this, please submit a concurrent site plan application.</p> <p><b>Last comment from reviewer:</b> Comments must be addressed on SP26-029 prior to Planning Board and City Commission.</p>				
Planning	Not Accepted			Samuel Nelson	Samuel Nelson	Yes
		<p><b>Utilities</b></p> <p>Site will be required to hook up to water, sewer, and reclaim. Project may require a utility service agreement.</p> <p><b>Last comment from reviewer:</b> No response provided to address.</p>				
Utilities	Not Accepted		C-102	Jim Ailes	Jim Ailes	Yes



# City of DeLand SP25-200 COUNTRY CLUB POINT



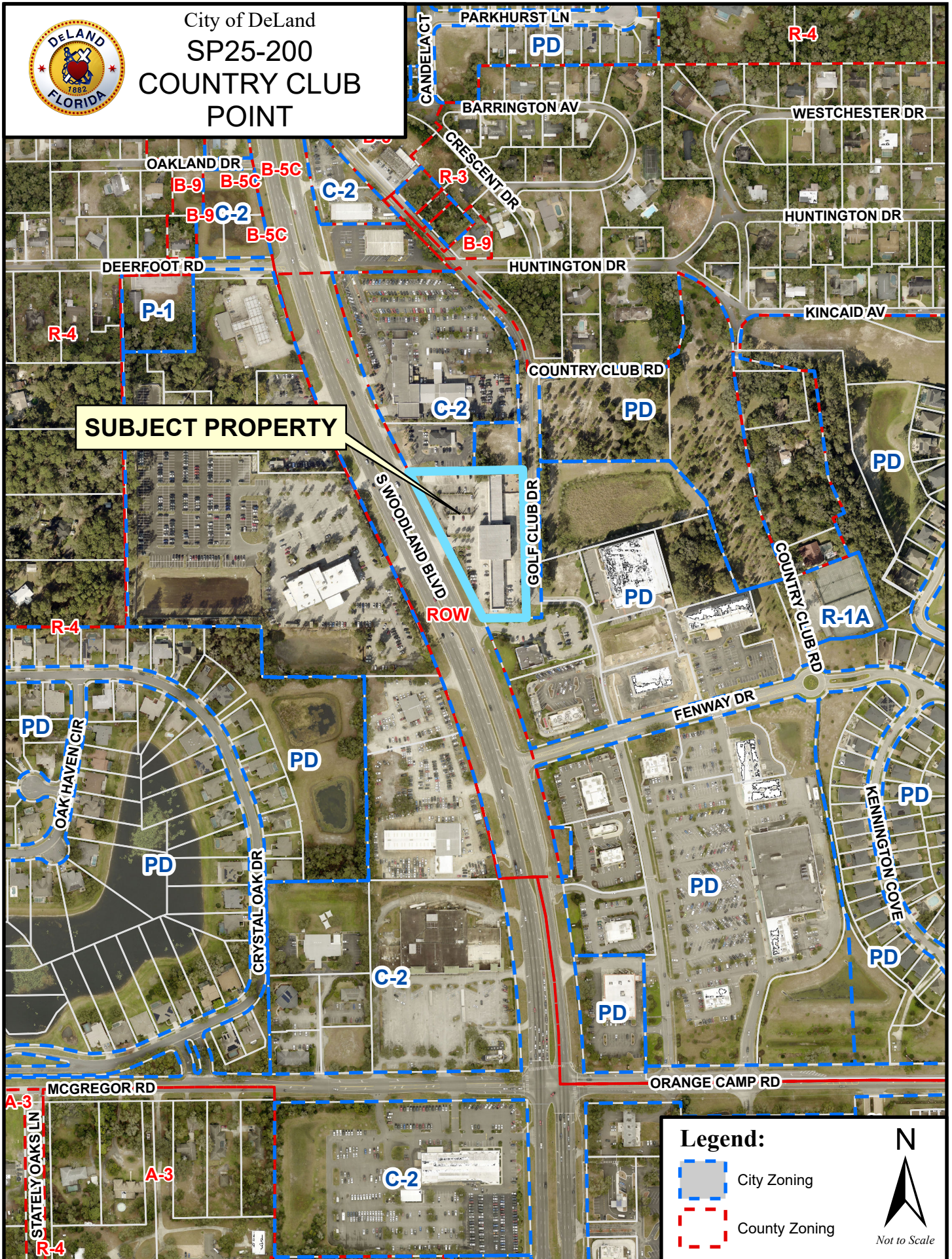
### Legend:

- City Zoning
- County Zoning





City of DeLand  
SP25-200  
COUNTRY CLUB  
POINT



**SUBJECT PROPERTY**

**Legend:**

- City Zoning
- County Zoning

**N**  
  
Not to Scale

**Issues for record SP25-200****Job Address: 2219 S WOODLAND BLVD, DELAND FL 32720****Job Description: Redevelop existing shopping center to include demolition and rebuild along with all associated site work.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Fire	Not Accepted	<p><b>Fire Hydrant</b> An additional fire hydrant will be need on site (see areas indicated)</p> <p><b>Last comment from reviewer:</b> Proposed fire hydrant needs to be placed closer to buildings in parking area. See Highlighted Areas</p> <p><b>Last response:</b> A new fire hydrant is proposed closer to Lot 1, please see sheet C2.0.</p>	C1.0	Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	<p><b>Tree Replacement Requirements</b> Because the minimum coverage deficiency is only 33" DBH and the proposed plan provides substantially more DBH than what is required, there is an option to reduce the proposed 4" DBH material proposed to 2" DBH (3" Caliper).</p>	L1.0	Laureen Kornel	Laureen Kornel	No
Forestry	Draft	<p><b>Tree Chart/Tree Replacement Requirements</b> Once the species for Oaks has been updated, the total tree replacement requirement will be between 19" DBH and 25" DBH depending on whether the Oak trees are specimen or not. These inches will need to be provided on the Landscape Plan. Because the project requires planting 33" DBH to meet minimum tree coverage requirement, once this requirement has been met, the project will meet the tree replacement requirement whether the requirement is 19" DBH or 25" DBH.</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Tree Chart</b> Please use the Debit/Credit column to show the Tree Replacement Requirement and rename the column as such. For example, the 18" oak would require either 6" DBH or 9" DBH replacement depending on the species of oak (Laurel/Live).</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Tree Chart</b> Please remove reference to debits and credits as this is not how tree replacement is calculated per LDR.</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Tree Chart</b> Identify all oaks 10" by species so that it can be differentiated between historic, specimen and other protected trees.</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Tree Legend</b> Please differentiate between Historic Tree Barricade Detail and other Tree Barricade Details. i.e. On the Legend for the Existing Tree to Remain on the graphic to the left, change the label to "Historic Trees to Remain, Tree Barricade Location (TYP)". To the right change the label to "Protected Trees to Remain, Tree Barricade Location (TYP.) if that is what the graphics are intended to represent.</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	<p><b>Historic Tree Dripline</b> In accordance with the LDR, please show 1.5 x the dripline on this sheet.</p> <p><b>Replacement Trees</b> Once the size requirements are adjusted on the Plant List, the project will meet the tree replacement requirement.</p> <p><b>Last comment from reviewer:</b> Once the size requirements on the Plant List, please recalculate the tree replacement requirement and verify the project will meet the requirement.</p> <p><b>Last response:</b> Plant List tree sizes (DBH) has been revised to 4" DBH. MIN. See Plant List sheet L 1.0.</p> <p><b>Historic Live Oak</b> On 12.01.2025 city staff verified this live oak tree located outside the boundaries of the subject property is historic with a 38" DBH. The tree lies just to the North of the property on the other side of a fence and wall. A tree barricade for an historic tree will be required in accordance with the City's Historic Tree Barricade Detail. Since a portion of the tree crown hangs over the building roof proposed for demolition, the City has concerns about damage to the crown of the historic tree during demolition. Please ensure a private ISA Certified Arborist is on site during demolition.</p> <ol style="list-style-type: none"> <li>Besides the required tree barricade, what additional measures/care will be taken to avoid damaging the crown of the historic tree?</li> <li>How will the roof of the existing structure proposed for demolition be removed?</li> <li>Verify if the fence and wall are planned to remain.</li> </ol> <p><b>Last comment from reviewer:</b> Roughly 25% of the tree canopy hangs over the existing building. Please consider working with a Certified Arborist who can assist in putting together a meaningful narrative to provide responses to the questions below:</p> <ol style="list-style-type: none"> <li>Please demonstrate how the contractor will protect the historic tree during demolition and construction.</li> <li>Demonstrate/describe how the roof of the existing structure proposed for demolition will be removed so that there will be no damage to the crown of the tree.</li> <li>Verify if the fence and wall are planned to remain.</li> </ol> <p><b>Last response:</b> Existing tree has been labeled with note to be pruned prior to demolition of existing building, as per ANSI standards. No heavy equipment shall be used within the dripline of the existing tree. Based upon virtual site visit (Google Earth Imaging), the existing tree is elevated, and upon pruning (1) branch that is hanging over the building to be demolished, should not pose any complications with the demolishing of said building.</p>	C0.2	Laureen Kornel	Laureen Kornel	Yes
Forestry	Not Accepted	<p><b>Minimum Caliper Requirement</b> The LDR caliper requirement is not less than 3" (2"DBH). Please revise the minimum size requirement. Also include the crown diameter (spread) and the gallon size in accordance with the FL Grades and Standards</p> <p><b>Last comment from reviewer:</b> For Oak, and Elm, if using 4" DBH (5' cal.) change the</p>	L 1.0	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	<p>spread to 8 feet and the gallon size to 100-gallon to meet FL Grades and Standards. For Cypress, if using 4" DBH (5' cal.) change the spread to 4.5 feet and the gallon size to 100-gallon to meet FL Grades and Standards.</p> <p>For Magnolia, if using 2" DBH (3' cal.) change the height to 8', spread to 4 feet and the gallon size to 45-gallon to meet FL Grades and Standards.</p> <p>For Grape Myrtle, the proposed 2" Caliper does meet the 3" caliper minimum requirement. At a minimum a 2" DBH (3" Cal.) would require 8' ht., 3.5' spread and 45-gallon to meet FL Grades and Standards.</p> <p>For Red Bay, the proposed 2" Caliper does meet the 3" caliper minimum requirement. At a minimum a 2" DBH (3" Cal.) would require 8' ht., 4' spread and 45-gallon to meet FL Grades and Standards.</p> <p><b>Last response:</b> Plant List has been revised, sizes (DBH, MIN.), crown spread and gallon sizes are now present. See Plant List sheet L1.0.</p> <p><b>Minimum Coverage</b>                      Demonstrate minimum coverage is being met. Minimum coverage is calculated by multiplying the # of trees required by 6" DBH for a total of 276" DBH required.</p> <p>Minimum coverage calculations have been updated on this sheet. Existing trees proposed to remain will account for 243" DBH of the 276" DBH required. The remaining 33" DBH deficit may be provided by the Landscape Plan. Please update all calculations below "Proposed Trees" to reflect corrections needed in the Landscape Plan.</p> <p><b>Last comment from reviewer:</b> Existing trees proposed to remain will account for 243" DBH of the 276" DBH required. The remaining 33" DBH deficit may be provided by the Landscape Plan. Please update all calculations below "Proposed Trees" to reflect corrections needed in the Landscape Plan.</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Not Accepted	<p><b>Historic Tree</b>                      On 12.01.2025 city staff verified this live oak tree located outside the boundaries of the subject property is historic with a 38" DBH. The tree lies just to the North of the property on the other side of a fence and wall. A tree barricade for an historic tree will be required in accordance with the City's Historic Tree Barricade Detail. Since a portion of the tree crown hangs over the building roof proposed for demolition the City has concerns about damage to the crown of the historic tree during demolition.</p> <ol style="list-style-type: none"> <li>Besides the required tree barricade what additional measures/care will be taken to avoid damaging the crown of the historic tree?</li> <li>How will the roof of the existing structure proposed for demolition be removed?</li> <li>Verify if the fence and wall are planned to remain.</li> </ol> <p><b>Last comment from reviewer:</b> Based on a field review of the site and tree, staff believes a minimum of 25% of the canopy lies over a substantial portion of the northern part of the existing building. In accordance with Section 33-57 of the LDR no construction shall occur within 1.5 times the dripline of an historic tree. Please provide a narrative further explaining the location of this tree relative to the existing building. This narrative</p>	VC28-17-30PARCEL24 0 Tree & Topo Survey.pdf	Laureen Kornel	Laureen Kornel	Yes

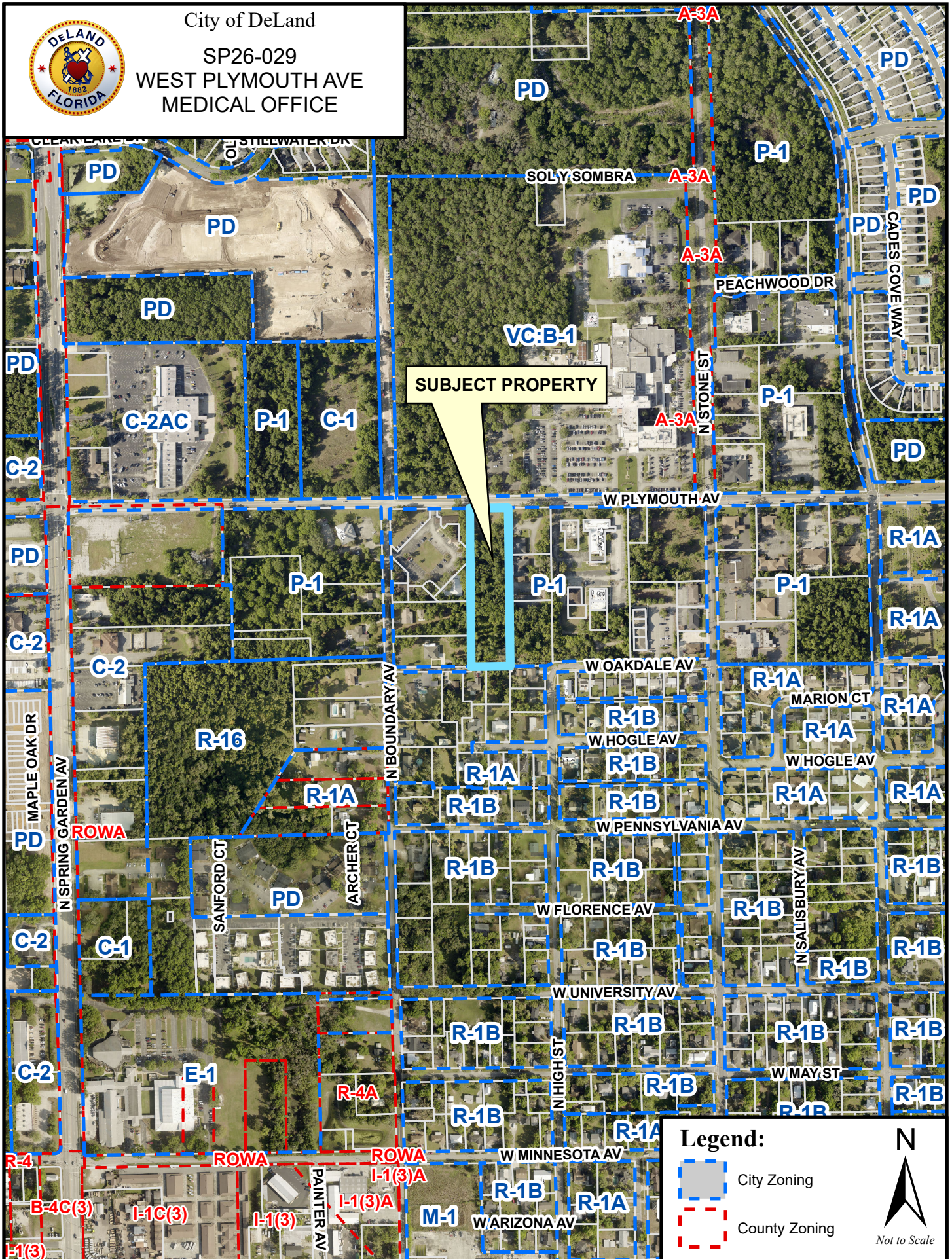
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Not Accepted	<p>needs to further explain the Historic Tree Protection Plan during the stated pruning operation. Staff recommends that the plan include having a private ISA Certified Arborist on-site either conducting or supervising any pruning activity on the historic tree. Please answer the following questions:</p> <ol style="list-style-type: none"> <li>1. Please advise where the note regarding pruning has been added.</li> <li>2. How will the roof of the existing structure proposed for demolition be removed?</li> <li>3. Verify if the fence and wall are planned to remain.</li> </ol> <p><b>Last response:</b> Existing tree has been labeled with note to be pruned prior to demolition of existing building, as per ANSI standards. No heavy equipment shall be used within the dripline of the existing tree. Based upon virtual site visit (Google Earth Imaging), the existing tree is elevated, and upon pruning (1) branch that is hanging over the building to be demolished, should not pose any complications with the demolishing of said building.</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes
Planning	Draft	<p><b>TPA</b> Add to the legend the Tree Protection Area to clearly identify those areas called out for tree protection.</p> <p><b>Last comment from reviewer:</b> The tree legend still does not include a symbol for the boundaries of the TPA. Please revise the Legend to identify those areas called out for tree protection. ie. show hatching pattern.</p> <p><b>Last response:</b> Tree Protection Area has been labeled on the Tree Protection sheet. See sheet L3.0.</p>	A3.0A	Kendall Story	Kendall Story	Yes
Planning	Not Accepted	<p><b>Sheet numbers</b> Please update the sheet numbers for sheets A3.0A and A3.1A at the bottom right corner of the new sheets.</p> <p><b>LS Buffers</b> Provide the following details for each landscape buffer location (N/S/E/W): type, linear footage, width, required canopy/understory/shrubs per 100 LF; provided canopy/understory/shrubs.</p> <p>North: 348 LF/width Required: N/A Provided: # canopy; # understory; # shrubs</p> <p>South: 140 LF/width Required: N/A Provided: # canopy; # understory; # shrubs</p> <p>East: Type D, 30' wide, 472 LF ***Type D 30' wide confirmed per 33-92.02(b)4** Required: 6.8 canopy/100 LF 4.5 canopy/100 LF 33 shrubs/100 LF Provided: # canopy # understory</p>	L1.0	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		<p># shrubs</p> <p>West (Redevelopment Gateway): Type D, 30' wide, 404 LF Required:  6.8 canopy/100 LF  4.5 canopy/100 LF  33 shrubs/100 LF  Provided:  # canopy  # understory  # shrubs</p> <p><b>Last comment from reviewer:</b> Any reductions must be voted on and approved by TRC. If approved, this comment will be updated after the meeting.</p> <p><b>Last response:</b> The buffers have been revised and labeled according to stated calculations above. See sheet L1.0. We discussed the width of the east buffer at the TRC meeting and we were under the impression it was 10', but if that is not correct we would respectfully request the right to use a 10' buffer along that frontage for this redevelopment project. Please note that the existing buffer varies from 8-9' wide, so this is an improvement over existing conditions.</p>				
		<p><b>TPA width</b>  The min. TPA width for existing trees is 30' and min. TPA width for proposed area is 20'. This is not being met. (33-57.07b4)</p> <p><b>Last comment from reviewer:</b> Any reductions must be voted on and approved by TRC. This can be discussed at the meeting.</p> <p><b>Last response:</b> Tree protection area for existing on the north and east sides of the site reflect the existing conditions of the shopping center, from the property line to the existing retaining wall or the proposed curbing, respectively. Please note that the eastern TPA is an increase in the existing width of those landscape buffers, the existing width is approximately 8-9', and the proposed width is 10'.</p>	C1.0	Kendall Story	Kendall Story	Yes
Planning	Not Accepted					
		<p><b>Site Circulation</b>  Adjust drive aisles and parking configuration to provide better overall site circulation</p> <p><b>Last comment from reviewer:</b> Besides the additional building with access &amp; parking wrapped around, the site layout was not modified.</p> <p><b>Last response:</b> An updated site plan is now shown on the plans with additional roads which should help provide better site circulation, please see sheet C1.0.</p>	C1.0	Christopher Carson	Christopher Carson	Yes
Traffic	Not Accepted					
		<p><b>Sidewalk</b>  Provide sidewalk along Gulf Club Dr. Be sure sidewalks are interconnected. Can the proposed sidewalk be reconfigured to provide more direct pedestrian access.</p> <p><b>Last comment from reviewer:</b> Please add note that "payment in lieu will be paid to the City of DeLand for " _ linear feet of sidewalk prior to the issuance of the final plat.</p>	C1.0	Christopher Carson	Christopher Carson	Yes
Traffic	Not Accepted					

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		<p><b>Last response:</b> Per our conversation with the City of Deland, because of the space constraints between the site's property line and the existing roadway we would like to provide the city with payment in lieu for the equivalent value of constructing the sidewalk instead of constructing it. The existing utility infrastructure and drainage swale prevent the installation of a sidewalk here.</p>				
Utilities	Draft	<p><b>Utility Standards</b> Please update to the latest version 1/7/2026</p>	C4.1	Jim Ailes	Jim Ailes	Yes
		<p><b>Force Main</b> Per city specification, a check valve needs installed after plug valve.</p>				
Utilities	Not Accepted	<p><b>Last comment from reviewer:</b> Please install 2" gate valve in place of the plug valve. <b>Last response:</b> A check valve is now specified after the plug valve, please see sheet C2.0.</p>	C2.0	Jim Ailes	Jim Ailes	Yes

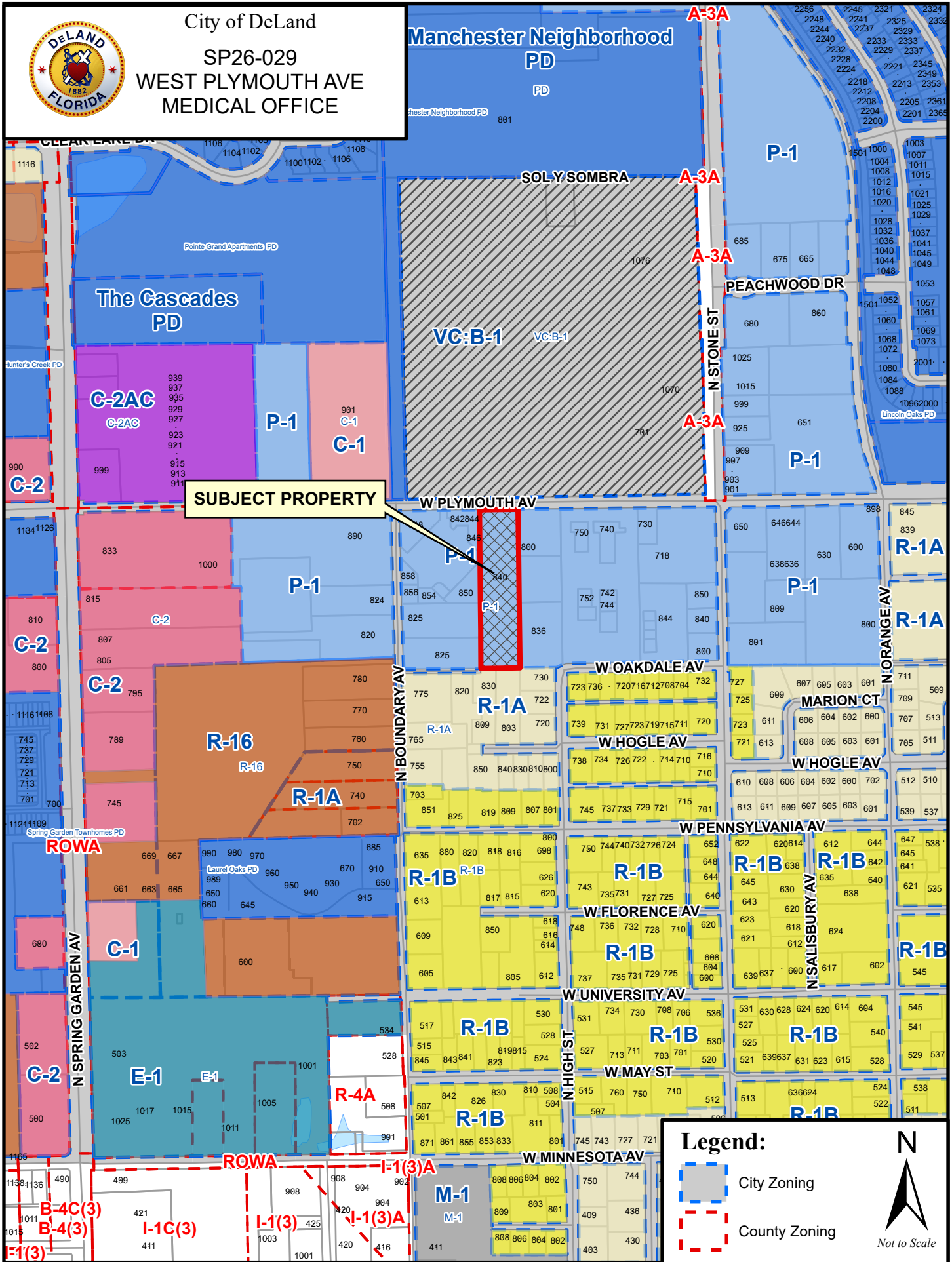


City of DeLand  
SP26-029  
WEST PLYMOUTH AVE  
MEDICAL OFFICE





City of DeLand  
 SP26-029  
 WEST PLYMOUTH AVE  
 MEDICAL OFFICE



**Legend:**

- City Zoning
- County Zoning

**Legend:**

- N

*Not to Scale*

**Issues for record SP26-029**  
**Job Address: 840 W PLYMOUTH AV, DELAND FL 32720**  
**Job Description: Development of a 24,299 SF office building with associated parking , stormwater, and utility infrastructure**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	<b>Roof Drains</b> How is roof runoff intended to be routed to the stormwater pond?	C-103	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Boardwalk</b> Provide boardwalk details. It appears that fall protection may be required.	C-103	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>FFE</b> Please specify the proposed Finished Floor Elevation. It should be at least 1' above the highest stormwater retention stage.	C-103	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Peak Stage</b> According to the Stormwater Calculations, the Up Stream Peak Stage for CS IC, which appears to correlate with the Type C Inlet near the northwest corner of the building, is 69.95'. This elevation is nearly 2' higher than the pond top of wall at 67.0', which would cause discharge out of the driveway and into Plymouth Avenue, rather than into Depression 2. Please clarify how treated stormwater is intended to flow in the post development condition. This inlet is shown to be in Basin Post-Dep 2	C-103	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Parking Boundaries</b> There appears to be no means of keeping vehicles from departing the paved surface when parking, i.e. wheel stops, raised curb, bollards, etc.	C-102	Steven Danskine	Steven Danskine	Yes
Fire	Draft	<b>Fire Hydrants</b> Provide location of hydrants located within 500 ft of building. A fire hydrant will need to be added in the parking lot as well	C-104	Jamie Lunsford	Jamie Lunsford	Yes
Fire	Draft	<b>Fire Sprinkler System</b> Building is required to be protected by Fire Sprinkler and Fire Alarm. Provide location of backflow, fire line and FDC on site plan.	C-102	Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	<b>Landscape Legend</b> With the revisions suggested, the current Landscape Plan would provide 99" DBH. Without additional data, staff cannot confirm whether this will be sufficient replacement. In the event that sufficient tree replacement cannot be achieved, the applicant would have the option to contribute \$75.00 per inch DBH not planted into the Tree Replacement Reserve Account.	L-101	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	<p><b>Existing Tree Legend</b> Add a graphic representation of the proposed tree protection area. This area should be hatched and clearly delineated so that the location of the tree protection area is clearly identified.</p>	L-101	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Tree Protection Area Table</b> The last two lines on the page appear to be specimen tree calculations. These calculations cannot be reviewed without the data requested on Sheet L102.</p>	L-101	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Tree Replacemement</b> Once calculations have been provided, provide inches of replacement required for removed historic, specimen, and other protected trees. In addition, please provide total inches of historic, specimen, and protected trees that will remain.</p>	L-102	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>2. Plant Material, D.</b> Add the language "and upon review and approval by the City Forester."</p>	L-501	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Plant Specification Notes 2. B.</b> Please add "in accordance with FL Grades and Standards.</p>	L-501	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Large Tree Planting Detail</b> Please use the City's Planting Detail which may be downloaded from: <a href="https://www.deland.org/441/Tree-Permitting">https://www.deland.org/441/Tree-Permitting</a></p>	L-501	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Tree Worksheets</b> Please complete and submit Tree Worksheets. Worksheets may be downloaded at: <a href="https://www.deland.org/441/Tree-Permitting">https://www.deland.org/441/Tree-Permitting</a></p>	L-001	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Irrigation</b> An irrigation plan as not been provided. Once provided, be sure to add it into the Sheet Index and L-001 and also on the Cover.</p>	L-001	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Tree Survey</b> On the tree survey, please provide the location, drip line, diameter at 4.5 feet (DBH), and common name of all trees measuring six inches or greater DBH located within the property or with 10 feet of the property, including rights-of-way. Please show the location, exact number and common names of trees to be removed, relocated, or replanted on the property. a. The tree survey should also provide tabular data (excel spreadsheet) concerning the total DBH of specimen and non-specimen trees to be removed from the property. Replacement is one half of the specimen tree inches DBH lost and one third of the inches DBH of other trees lost. b. The tree survey must identify oaks by species to assist in determination whether trees meet the requirements to be considered specimen or historic trees. Live Oak (Quercus virginiana) is considered specimen at 10 inches or greater and Turkey Oak (Quercus laevis) is considered specimen at 12 inches or greater. Live Oak greater than 25" DBH is</p>	L-102	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		considered historic. No palm trees were noted on your tree survey. Palms with more than 5 feet clear trunk must also be included in tree surveys.				
		<b>Historic Trees</b> There are multiple historic trees on the property. Each historic tree and the limits of its dripline need to be clearly identified on the site plans. Any historic tree that is proposed for removal will require a review by this office, the City Tree Advisory Committee and approval by City Commission. The developer must demonstrate that the tree is a hazard or that it is not economically or practically feasible to develop the parcel without removing the historic tree. For historic trees that will be preserved, tree protection fence must be installed by the contractor and inspected by the City Forester prior to any land disturbing activity. Unless the applicant proposes a method of root protection which is acceptable to the City, no construction activity shall take place within an area equal to one and one-half times the area of the drip line.				
Forestry	Draft		L-102	Laureen Kornel	Laureen Kornel	Yes
		<b>Existing Tree Legend</b> Unknown trees shall be identified. Oak trees shall be identified by species (Live or Laurel)				
Forestry	Draft		L-102	Laureen Kornel	Laureen Kornel	Yes
		<b>Details</b> Please use the City's Historic Tree Barricade Detail, and the City's Tree Barricade Detail. Make these larger. Both can be downloaded from: <a href="https://www.deland.org/441/Tree-Permitting">https://www.deland.org/441/Tree-Permitting</a>				
Forestry	Draft		L-102	Laureen Kornel	Laureen Kornel	Yes
		<b>Landscape Legend</b> Revise Live Oak in accordance with FL Grades and Standards: For a 3" caliper Live Oak - 8' ht., 4' spread, 45-gallon.				
Forestry	Draft	Revise Holly in accordance with FL Grades and Standards: Minimum required caliper is 3". For 3" Caliper Holly, the standards would read 8' ht., 3.5' spread, 45-gallon.  With the requested changes, the plan would provide 99" DBH.	L-101	Laureen Kornel	Laureen Kornel	Yes
		<b>Existing Tree Legend</b> Oak Trees shall be identified by species (Live or Laurel).				
Forestry	Draft		L-101	Laureen Kornel	Laureen Kornel	Yes
		<b>Existing Tree Legend</b> Unknown trees must be identified.				
Forestry	Draft	<b>Tree Protection Table - Minimum Tree Coverage</b> Minimum coverage is measured in DBH inches. Show the minimum coverage calculation as follows: 105,851 SF/2,5000 = 42.3 x 6 = 254" DBH to meet minimum coverage. Please revise the highlighted section to reflect the inches rather than the number of trees.	L-101	Laureen Kornel	Laureen Kornel	Yes

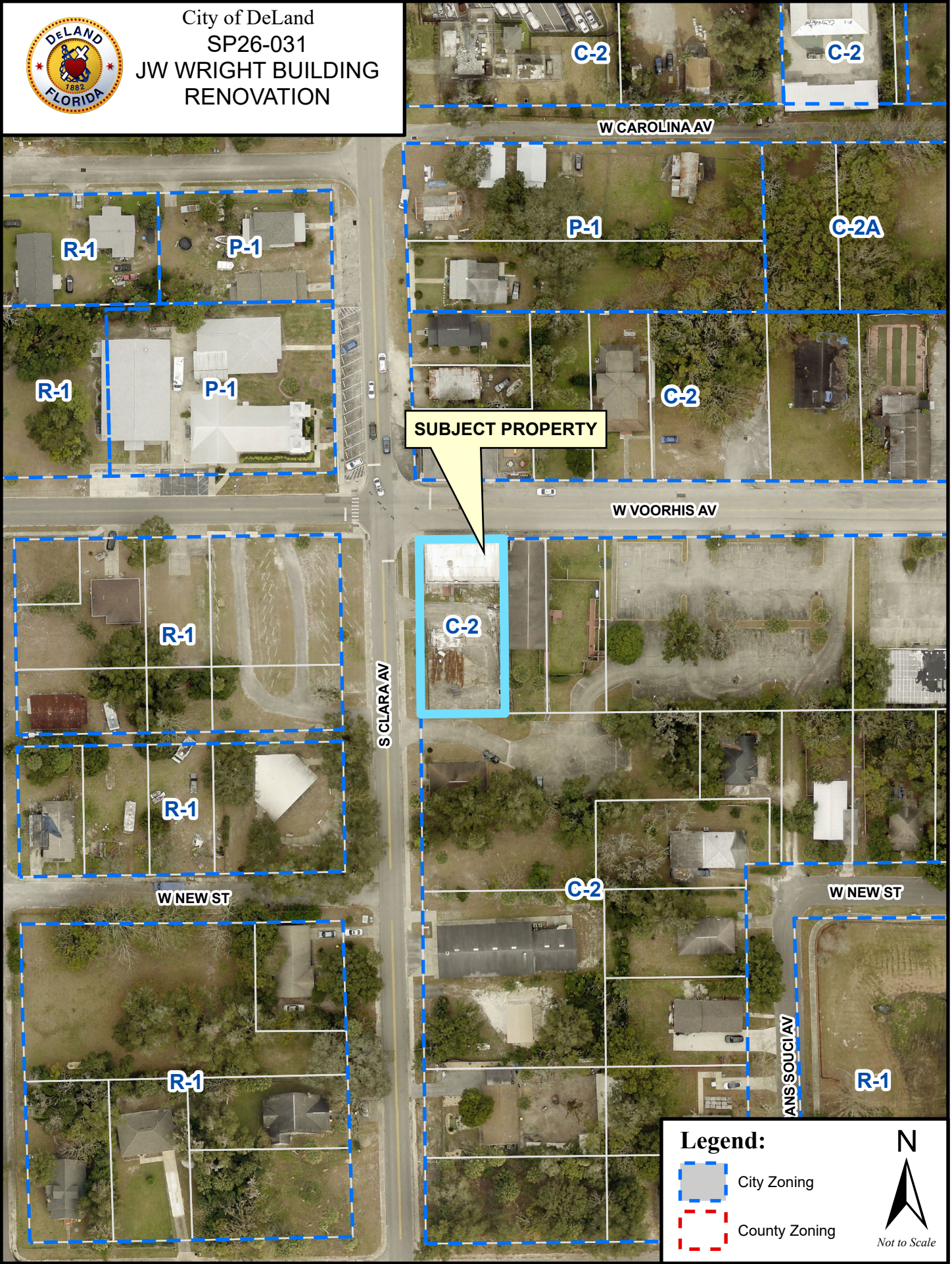
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Without the data requested on Sheet 101, staff cannot determine whether minimum coverage will be met.				
		<b>Site Data</b> The acreage figure does not match the square footage value provided on the Site Data Table. Please confirm whether the square footage or the acreage is the more accurate value.	C-102	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft					
		<b>Sheet List</b> Add the Landscape Plan, Tree Removal Plan and Irrigation to the Plan Index.	C-001	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft					
		<b>Lighting Detail</b> Please provide details for any parking lot, landscaping, or wall-mounted lighting and show them on the photometric plan.  Note: All lighting shall be downward and of the full cut off shield variety in which the light source is recessed and shielded in a manner which prohibits upward light overspill into the night sky. Upward illumination is prohibited except: a. Ground level light fixtures, which shall be of the burial vault type and shall be fully screened by landscaping. Illumination from ground level light fixtures shall not exceed the roof line of the illuminated structure by greater than 0.01 foot-candles. b. Illumination from building wall lights providing architectural detail where a component of the lighting is designed to illuminate the building in an upward manner as part of the building aesthetic design shall not exceed the roof line of the illuminated structure by greater than 0.01 foot-candles.				
Planning	Draft			Samuel Nelson	Samuel Nelson	Yes
		<b>Bicycle Parking</b> A minimum of two bicycle parking spaces are required. Please show the dimensioned location of bicycle parking on the plan.	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft					
		<b>Front Setback</b> Please show the provided front-setback on the site plan.	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft					
		<b>Special Exception Approval</b> Special Exception application SE25-173 must be approved by the City Commission prior to final site plan approval.				
Planning	Draft			Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	<p><b>Southern Buffer - Required Plantings</b> The minimum required plantings for the southern landscape buffer (165-ft length) are:</p> <p>Canopy Trees: 6 (Minimum height of 14-ft) Understory Trees: 2 Shrubs: 20</p> <p>Please provide an additional canopy tree in this area to meet the minimum required plantings, and please provide additional shrubs.</p>	L-101	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p><b>Southwestern Buffer - Required Plantings</b> The minimum required plantings for the southwest landscape buffer (265-ft length) are:</p> <p>Canopy Trees: 10 (Minimum height of 14-ft) Understory Trees: 3 Shrubs: 32</p> <p>Please provide an additional canopy tree in this area to meet the minimum required plantings.</p>	L-101	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p><b>Camphor Tree - Invasive</b> Please remove the camphor tree as it is invasive.</p>	L-101	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p><b>Trip Generation Table</b> Please add the trip generation table to the site plan sheet.</p>	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p><b>Landscape Legend</b> Please add a column to the landscape legend indicating whether the planting is native and it's water usage.</p>	L-101	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p><b>Sweet Viburnum</b> Please swap the sweet viburnum with a native species, such as Walter's Viburnum, Simpson Stopper, or Cocoplum.</p>	L-101	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p><b>Fence Detail</b> Please provide a detail for the wall &amp; fence which includes material and color to be used. Note: Chain-link is not a permitted fence material.</p>	C-501	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p><b>Mechanical Equipment</b> Please show the dimensioned location of any mechanical equipment, which is required to be screened. If rooftop mechanical equipment is proposed, please show it as dashed lines behind a screen wall on the building elevations.</p>	C-102	Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	<b>Electricity Provider</b> SECO Energy does not provide service in DeLand. Please update the plan to reflect the local electricity provider.	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<b>Garbage Disposal</b> Garbage disposal in the City of DeLand is provided by GFL Environmental Inc. Please update the plan to no longer reflect the City of Wildwood.	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<b>Dimensioned Building Elevation</b> Please provide a dimensioned (including height) elevation of the proposed building.	A0.1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<b>Sidewalk - Tree Protection Area</b> Paved sidewalks are not permitted to be within Tree Protection Area, only unpaved pathways (Sec. 33-57.07. (b) 2.) Please relocate the sidewalk or otherwise revise the plan.	L-101	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<b>Dumpster Enclosure</b> Please show any proposed dumpster enclosures on the plan with dimensions. Also, please provide details for any enclosures.  Otherwise, please state how waste disposition will be managed.	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<b>Net Area Calculation</b> Please provide a floor plan of the building showing the areas of corridors/bathrooms/storage taken subtracted from the total.	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<b>Parking Stall Length</b> Parking stalls are required to be a minimum of 19'x9'. Vehicle overhang can be considered 2' of the required length provided the minimum landscape buffer/sidewalk widths are provided.  In a few areas the 17'-long parking stalls about 5'-wide sidewalks. Please increase the sidewalk widths or stall lengths by 2' in these areas.	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<b>Adjacent Residential - Screening</b> Single-family residential uses border this property to the south and southwest. The Mixed office/residential land use designation requires buffers to minimize visual impacts when residential is adjacent to nonresidential.  Please provide enhanced plantings or screening walls/fencing when adjacent to these residential areas.	L-101	Samuel Nelson	Samuel Nelson	Yes



City of DeLand  
SP26-031  
JW WRIGHT BUILDING  
RENOVATION



SUBJECT PROPERTY

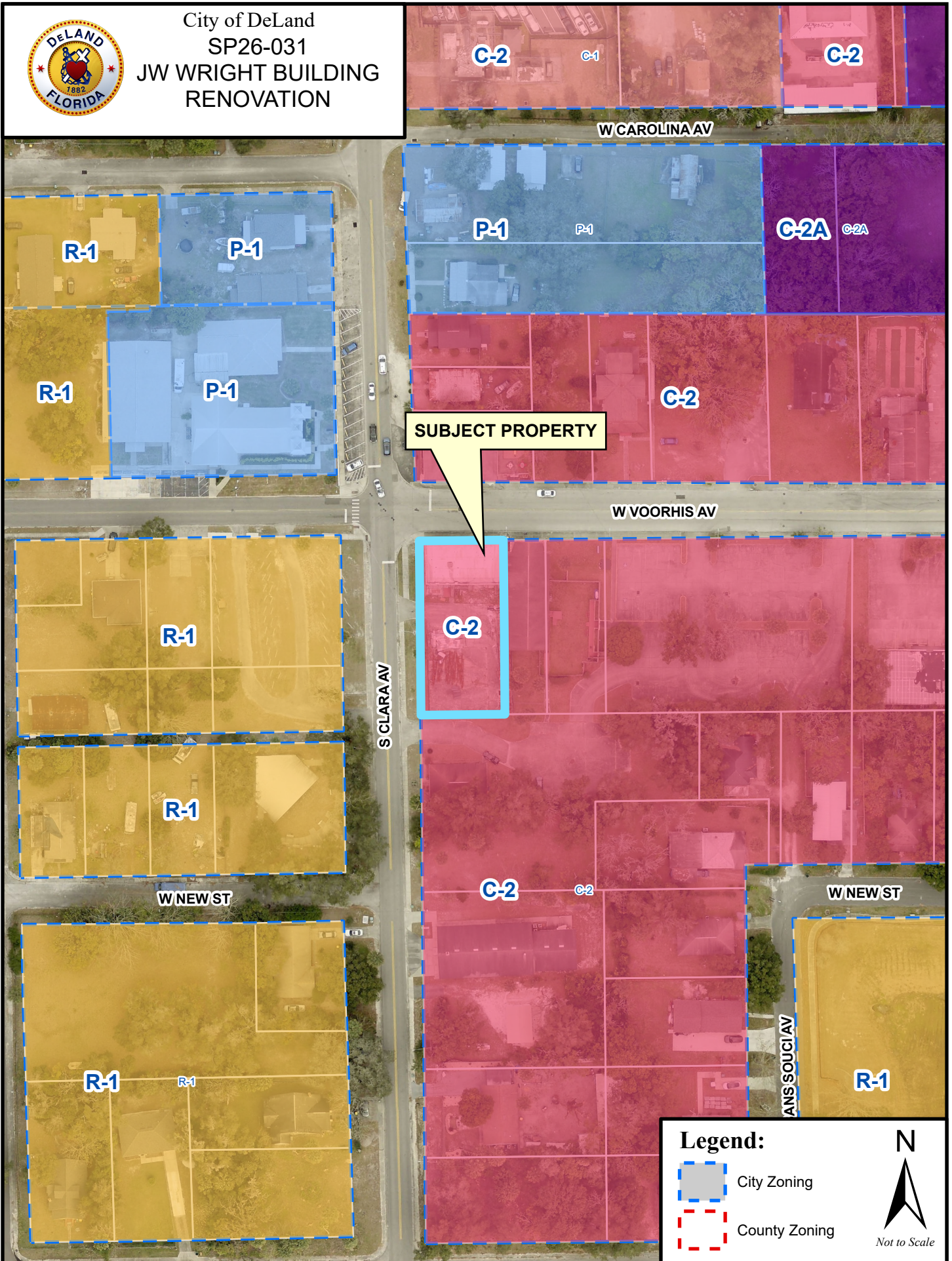
**Legend:**

- City Zoning
- County Zoning

**N**  
  
Not to Scale



City of DeLand  
SP26-031  
JW WRIGHT BUILDING  
RENOVATION



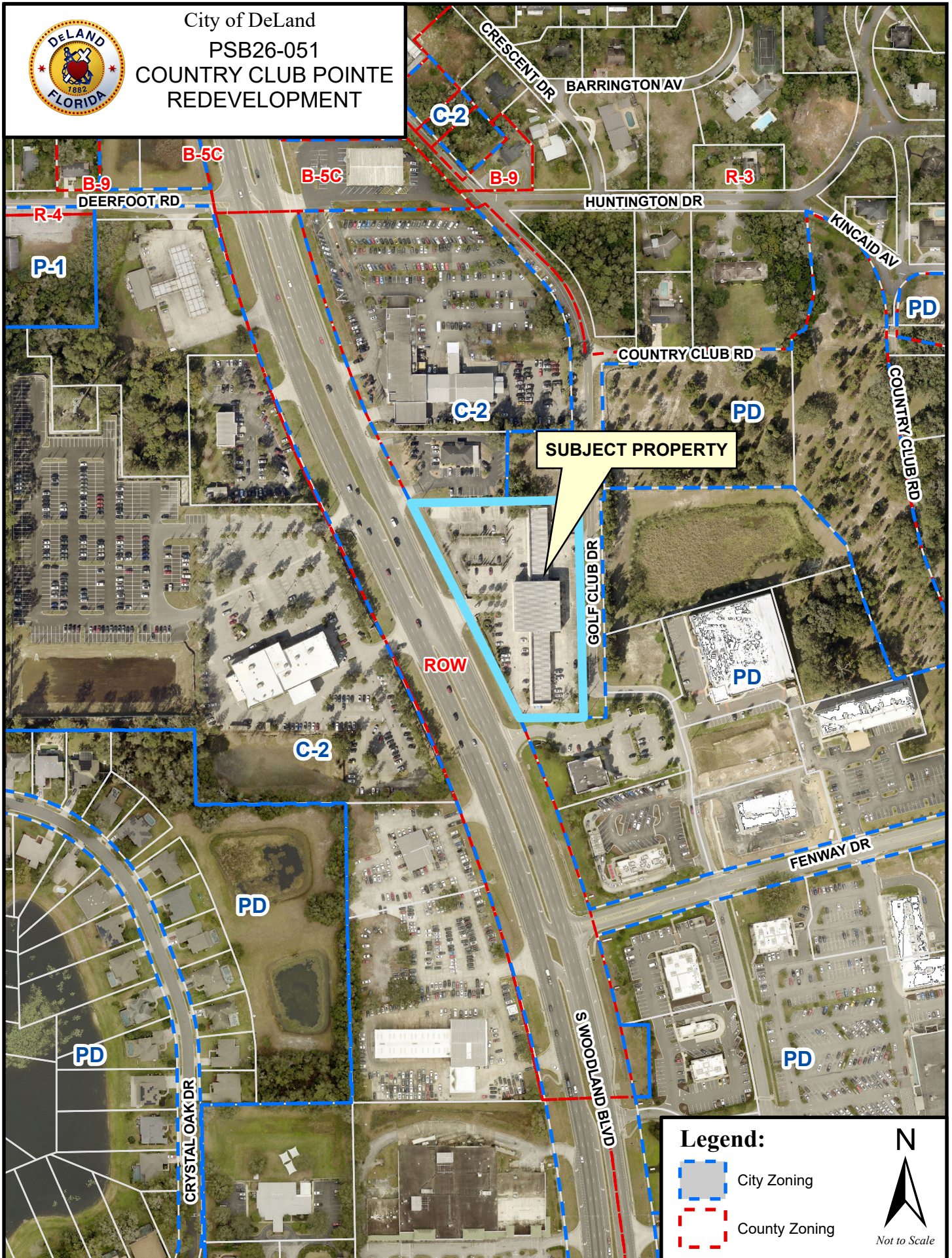
**Issues for record SP26-031**  
**Job Address: 258 W VOORHIS AV, DELAND FL 32720**  
**Job Description: The renovation and restoration of the historic JW Wright building. Project to include renovation of parking, building exterior and interior renovation.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	<b>Driveway Apron</b> Provide a note that the driveway apron and sidewalk contained within it shall be a minimum of 6" thick, 3,000 psi concrete.	C104	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Drainage</b> The survey indicates the presence of a stormwater inlet that is filled up with debris and sediment. The inlet should be cleaned out and the downstream piping should be inspected and cleaned as appropriate. Subsequent repairs may be required.	C104	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Legend</b> The legend describes items to be demolished or removed; however those symbols are not shown on the plan. Please clarify.	C103	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Driveway Apron</b> Provide a note that the driveway apron and sidewalk contained within it shall be a minimum of 6" thick, 3,000 psi concrete.	C-4	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Drainage</b> The survey indicates the presence of a stormwater inlet that is filled up with debris and sediment. The inlet should be cleaned out and the downstream piping should be inspected and cleaned as appropriate. Subsequent repairs may be required.	C-4	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<b>Unclear</b> The legend describes items to be demolished or removed; however those symbols are not shown on the plan. Please clarify.	C-2.0	Steven Danskine	Steven Danskine	Yes
Planning	Draft	<b>Dimensions</b> Please provide dimensions of the building (including height) on the plan.	A-2	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<b>Landscape Buffers</b> As the property is located within the Core Gateway Overlay, landscape buffering along street frontages is required to be a minimum of 15-ft wide, with the following plantings:  North (71-ft) Canopy: 3 Understory: 1 Shrubs: 9	C108	Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		West (147-ft) Canopy: 5 Understory: 2 Shrubs: 18				
		As this is a redevelopment project, the Technical Review Committee may vote to reduce the buffer with.				
Planning	Draft	<b>Parking Requirement</b> Per the provided calculation, the parking requirement for this property will not be met.  As this property has been placed on the Local Register of Historic Places, a parking reduction can be requested from the Technical Review Committee.	C-4	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<b>Parking Calculation</b> The required parking calculation is based on the proposed use. The provided calculation assumes that the entire building is proposed to be professional offices. If other uses, such as retail or medical offices, are proposed, then the parking requirement changes.  Please confirm the intended uses of the property.	C-4	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<b>Lighting</b> Per Sec. 33-94.03. (g), illumination onto adjacent properties or the right-of-way shall not exceed 0.5 foot-candles. This is exceeded on the northern, eastern, and southern property lines. Please revise the plan to reduce off-site illumination.	P-1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<b>Color</b> Per approved Certificate of Appropriateness application COA20-168, exterior brick is to be painted yellow buff and exterior windows are to be painted medium green. If deviation from this scheme is proposed, additional Historic Preservation review will be required.	A-2	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<b>Historic Preservation</b> This property is designated as historic both nationally and locally. Any updates to the elevations beyond what was previously approved may require additional review and approval from the Historic Preservation Board.	A-2	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<b>Impervious Coverage</b> The maximum impervious coverage percentage for a property zoned C-2 with a Mixed Commercial land use designation is 60%.  As this is a redevelopment project, the Technical Review Committee can vote to increase this maximum.	C-4	Samuel Nelson	Samuel Nelson	Yes



City of DeLand  
PSB26-051  
COUNTRY CLUB POINTE  
REDEVELOPMENT



**Legend:**

- City Zoning
- County Zoning

**N**

*Not to Scale*



**Issues for record PSB26-051**

**Job Address: 2217 S WOODLAND BLVD, DELAND FL 32720**

**Job Description: The project calls for demolishing the existing plaza, including buildings and pavement in order to create 3 separate parcels with 3 different buildings and all associated infrastructure.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	<p><b>Stormwater</b> Provide a note to the following effect: As the stormwater retention system will serve all 3 lots, the overall system shall be installed during the development of the first lot to be constructed. Regardless of ownership of the individual lots, the stormwater treatment shall be maintained by all concerned.</p>	PLAT 1	Steven Danskine	Steven Danskine	Yes
Fire	Draft	<p><b>Fire Hydrant</b> Proposed fire hydrant needs to be placed closer to buildings in parking area.</p>	C2.0	Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	<p><b>Tree Legend</b> Please differentiate between Historic Tree Barricade Detail and other Tree Barricade Details. i.e. On the Legend for the Existing Tree to Remain on the graphic to the left, change the label to "Historic Trees to Remain, Tree Barricade Location (TYP.)". To the right, change the label to "Protected Trees to Remain, Tree Barricade Location (TYP.)" if that is what the graphics are intended to represent.</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Tree Chart</b> Identify all oaks 10" by species so that it can be differentiated between historic, specimen and other protected trees.</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Tre Chart</b> Please remove reference to debits and credits as this is not how tree replacement is calculated per LDR.</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Tree Chart</b> Please use the Debit/Credit column to show the Tree Replacement Requirement and rename the column as such. For example, the 18" oak would require either 6" DBH or 9" DBH replacement depending on the species of oak (Laurel/Live).</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p><b>Tree Chart/Tree Replacement Requirements</b> Once the species for Oaks has been updated, the total tree replacement requirement will be between 19" DBH and 25" DBH depending on whether the Oak trees are specimen or not. These inches will need to be provided on the Landscape Plan. Because the project requires planting 33" DBH to meet minimum tree coverage requirement, once this requirement has been met, the project will meet the tree replacement requirement whether the requirement is 19" DBH or 25" DBH.</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	<b>Minimum Coverage</b> Existing trees proposed to remain will account for 243" DBH of the 276" DBH required. The remaining 33" DBH deficit may be provided by the Landscape Plan. Please update all calculations to reflect corrections needed in the Landscape Plan.	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<b>Legend - TPA</b> Add to the legend the Tree Protection Area to clearly identify those areas called out for tree protection.	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<b>Replacement Trees</b> Once the size requirements on the Plant List, please re-calculate the tree replacement requirement and verify the project will meet the requirement.	L1.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<b>Historic Tree Dripline</b> In accordance with the LDR, please show 1.5 x the dripline on this sheet.	C0.2	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<b>Tree Protection Area</b> Revise so that the tree legend includes a symbol for the boundaries of the TPA.	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<b>Historic Tree</b> Please consult with a Certified Arborist that demonstrates best practices to ensure the care of the crown of this historic tree during demolition and construction. It is not enough to state that the tree will be pruned because at least 25% (field verified) of the crown of this tree lies over top of the existing building. How will the height of the new building impact the existing historic tree? What will be the height of the new building? What is the distance between the ground where the crown begins. Describe the current and projected relationship between the existing tree and the height of the proposed building.	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Open	<b>Plant List</b> Please revise in accordance with the Site Plan comments. The minimum size spacing does not meet FL Grades and Standards.  <b>Last comment from reviewer:</b> For Oak, and Elm, if using 4" DBH (5' cal.) change the spread to 8 feet and the gallon size to 100-gallon to meet FL Grades and Standards. For Cypress, if using 4" DBH (5' cal.) change the spread to 4.5 feet and the gallon size to 100-gallon to meet FL Grades and Standards. For Magnolia, if using 2" DBH (3' cal.) change the height to 8', spread to 4 feet and the gallon size to 45-gallon to meet FL Grades and Standards. For Grape Myrtle, the proposed 2" Caliper does meet the 3" caliper minimum requirement. At a minimum a 2" DBH (3" Cal.) would require 8' ht., 3.5' spread and 45-gallon to meet FL Grades and Standards. For Red Bay, the proposed 2" Caliper does meet the 3" caliper minimum requirement. At a minimum a 2" DBH (3" Cal.) would require 8' ht., 4' spread and 45-gallon to meet FL Grades and Standards.	L1.0	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	<p><b>Historic Tree</b> Roughly 25% of the tree canopy hangs over the existing building. Please consider working with a Certified Arborist who can assist in putting together a meaningful narrative to provide responses to the questions below:</p> <ol style="list-style-type: none"> <li>1. Please demonstrate how the contractor will protect the historic tree during demolition and construction.</li> <li>2. Demonstrate/describe how the roof of the existing structure proposed for demolition will be removed so that there will be no damage to the crown of the tree.</li> <li>3. Verify if the fence and wall are planned to remain.</li> </ol>	C0.2	Laureen Kornel	Laureen Kornel	Yes
Planning	Draft	<p><b>Rooftop Screening Sheet A3.1</b> The rooftop mechanical equipment is beyond the roofline. However, it is supposed to be fully screened. Please revise.</p>	DUTCH BROS A3.1	Kendall Story	Kendall Story	Yes
Planning	Draft	<p><b>Two sheets A3.0</b> You have 2 sheets named A3.0. Please revise.</p>	PAC DENTAL A3.0	Kendall Story	Kendall Story	Yes
Planning	Draft	<p><b>Rooftop Screening Sheet A3.0</b> The rooftop mechanical equipment is beyond the roofline. However, it is supposed to be fully screened. Please revise.</p>	DUTCH BROS A3.0	Kendall Story	Kendall Story	Yes
Planning	Draft	<p><b>Rooftop Screening A3.1</b> The rooftop mechanical equipment is beyond the roofline. However, it is supposed to be fully screened. Please revise.</p>	PAC DENTAL A3.1	Kendall Story	Kendall Story	Yes
Planning	Draft	<p><b>Rooftop Screening</b> The rooftop mechanical equipment is beyond the roofline. However, it is supposed to be fully screened. Please revise.</p>	PAC DENTAL A3.0	Kendall Story	Kendall Story	Yes
Planning	Draft	<p><b>Owner's Cert &amp; Dedication</b> Why does it only refer to lots 1 and 3? What about lot 2?</p>	PLAT 1	Kendall Story	Kendall Story	Yes
Planning	Draft	<p><b>Planning Director</b> Please remove the City Commission as the approving body and replace with Planning Director.</p>	PLAT 1	Kendall Story	Kendall Story	Yes
Planning	Draft	<p><b>Tree coverage</b> Please provide a table that shows how each lot is providing 1 canopy tree per 2,500 sf.</p>	L3.0	Kendall Story	Kendall Story	Yes
Planning	Draft	<p><b>TPA Table</b> Each lot must contain a min. of 15% tree protection area. Please provide a chart that clearly shows how each lot is meeting the minimum TPA requirements. It should not be calculated based on the entire site. It must be per lot.</p>	L3.0	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	<b>Rooftop Mechanical Equipment</b> Confirm all rooftop mechanical equipment will be behind a screened wall.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	<b>stormwater easement</b> An easement for the stormwater will be required.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	<b>Cross access easement</b> A cross-access easement and a parking easement area required.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	<b>East buffer</b> A 30' wide LS buffer is required on the east property boundary. Any reductions must be voted on and approved by TRC.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	<b>TPA too small</b> Tree protection area should be a minimum of 20' wide.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	<b>Clouding</b> This is a new project and shouldn't have any clouding.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	<b>Parking</b> Add parking calcs to the site plan sheet	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	<b>Photometric plan</b> The max. light candles at the property line 0.5. There are multiple places where this is exceeded.	SL1	Kendall Story	Kendall Story	Yes
Utilities	Draft	<b>Utility Standards</b> Need to use latest version dated 1/7/2026	C4.1	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	<b>Note #20</b> Replace plug valve with gate valve.	C2.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	<b>Note 31</b> Mark as not used.	C2.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	<b>Utility Service Agreement</b> This project will require a Utility Service Agreement to be signed prior to precon construction starting.	C0.0	Jim Ailes	Jim Ailes	Yes