



CITY OF DELAND
REGULAR MEETING OF THE TECHNICAL REVIEW COMMITTEE
MARCH 19, 2026 AT 1:30 PM
CITY OF DELAND TRC MEETING ROOM
DELAND, FLORIDA

AGENDA

CALL TO ORDER

ROLL CALL

MINUTES

OLD BUSINESS

1. **Applicant Name:** Albert Munarov – Kingdom Realty Properties, LLC
Project Name: SP25-069 – Class II Site Plan for Plymouth Medical
Project Location: 3.235 acres located on the north side of W Plymouth Ave
Description: 21,470 square feet of Medical Offices
Project Manager: Sam Nelson

NEW BUSINESS

1. **Applicant Name:** Russell Skinner
Project Name: PSB25-222 – Greenway Preliminary Plat
Project Location: 14.4 acres located on Eidson Drive
Description: Grading the site to a pad-ready condition
Project Manager: Sam Nelson

2. **Applicant Name:** Eduardo Carcache
Project Name: SP26-030 – 7 Brew Drive-thru Coffee
Project Location: 0.46 acres located at 1403 N Woodland Blvd
Description: New Drive-thru Coffee Shop
Project Manager: Sam Nelson

3. **Applicant Name:** Michael Wojtuniak
Project Name: SP26-035 – Neighborhood Center – Tiny Homes
Project Location: 0.42 acres located at 114 W Walts Ave
Description: Transitional Housing Tiny Home Community
Project Manager: Chris Carson

ADJOURNMENT

NEXT MEETING



CITY OF DELAND
TECHNICAL REVIEW COMMITTEE MEETING
MEETING MINUTES
THURSDAY, JANUARY 15, 2026 - 1:30 P.M.
CITY HALL

OPENING OF MEETING:

Call to Order: **1:31 pm**

Members Present:

Carol Kuhn, Chairperson
Debi Glick
Chris Carson
Emily Kunkel
Kendall Story
Bill Lawton
Jim Ailes
Scott Zender
Ray Bahrami
Jamie Lunsford
Laureen Kornell
Steve Danskine

OLD BUSINESS:

1. Review of December 18, 2025 TRC Meeting Minutes

*Chris Carson moved to approve the minutes as presented,
Jim Ailes seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

NEW BUSINESS:

1. **Applicant Name:** Andrea Cardo – Interplan LLC
Project Name: SP25-200 – Class II Site Plan for County Club Point
Project Location: 2.64 acres located at 2219 S Woodland Blvd
Description: Redevelopment of existing shopping center
Project Manager: Kendall Story

*Kendall Story moved to continue the application to the February 19th meeting with revisions due by
January 20th,*

Laureen Kornell seconded the motion.

The TRC Committee voted unanimously in favor of motion

Applicants Present:

Chris Blurton – Interplan
Gilberto Corral – Interplan

2. **Applicant Name:** Nipun Gupta– Gupta Ventures LLC
Project Name: SE25-173 – Special Exception for Medical Office
Project Location: 2.43 acres located at 840 W Plymouth Ave
Description: 18,000-sf Medical Office Building
Project Manager: Sam Nelson

Applicants Present:

Nipun Gupta – Gupta Ventures LLC
Christopher Germana – Germana Engineering
Makota McCoy – Germana Engineering

Chris Carson moved to continue the application,

Laureen Kornell seconded the motion.

The TRC Committee voted unanimously in favor of motion.

3. **Applicant Name:** Mateos Dhimosten - R AND C QUALITY PROPERTY
Project Name: SP25-162 – Class II Site Plan for Townhomes
Project Location: 0.52 acres located at N High St & W New York Ave
Description: 5 Townhomes
Project Manager: Chris Carson

Applicants Present:

Ricky Jackson – Legend Engineering
Nathan Aleskovsky – Aleskovsky Engineering

Chris Carson moved to conditionally approve the application, subject to all comments being satisfied,

Laureen Kornell seconded the motion.

The TRC Committee voted unanimously in favor of motion.

4. **Applicant Name:** Tyler Spore - Virtech Systems
Project Name: Z25-206– Planned Development Rezoning
Project Location: 1.9 acres located at 600 N Woodland Blvd
Description: DeLand Atrium Planned Development
Project Manager: Emily Kunkel

Applicants Present:

Soloman Greene – Property Owner
Tyler Spore – Property Owner
Alex Ford – Attorney
Cody Bogart – NEI

*Emily Kunkel moved to forward the application to Planning Board, subject to all comments being satisfied,
Steve Danskine seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

OTHER BUSINESS:

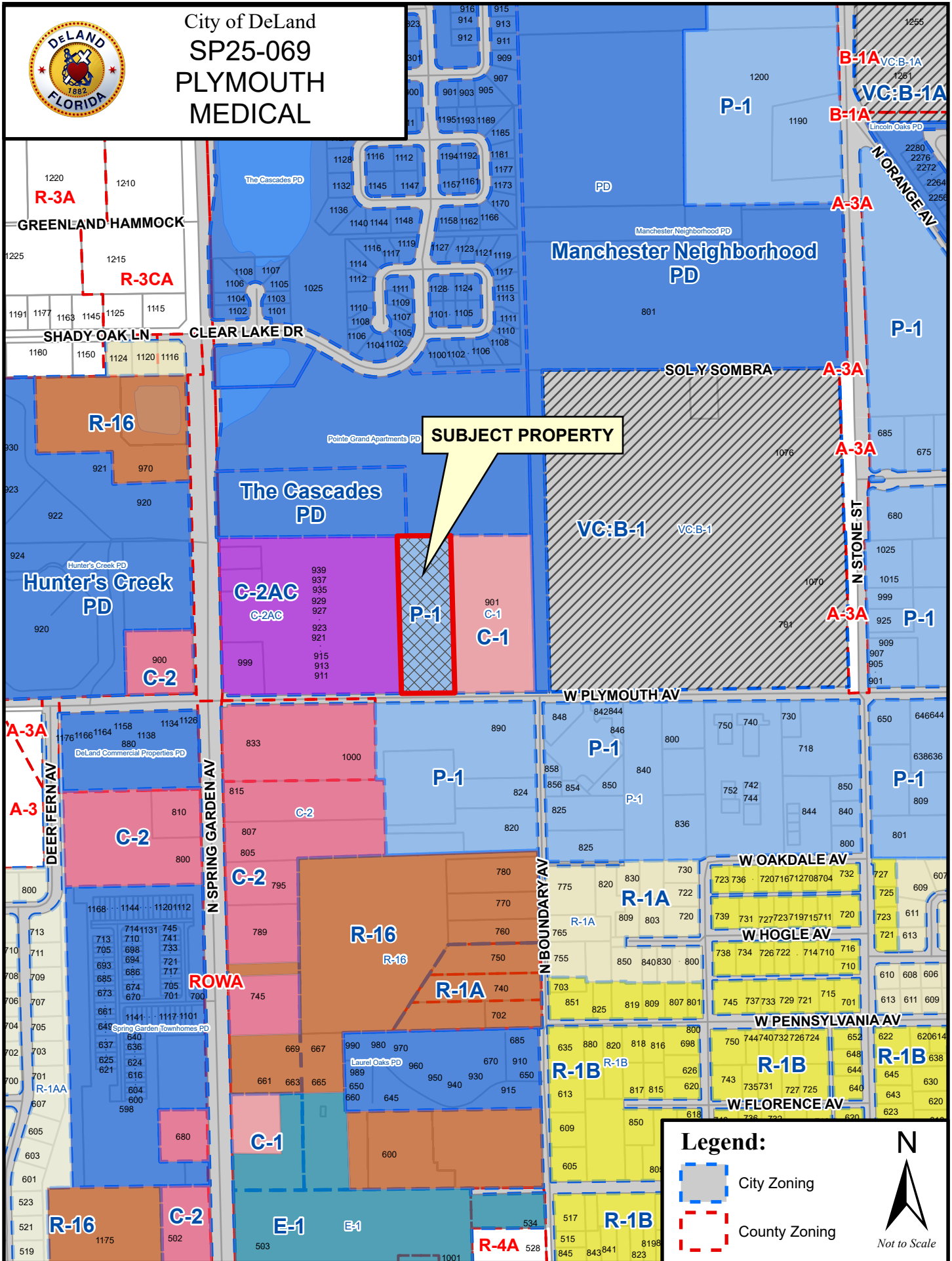
None.

ADJOURNMENT:

3:08 pm

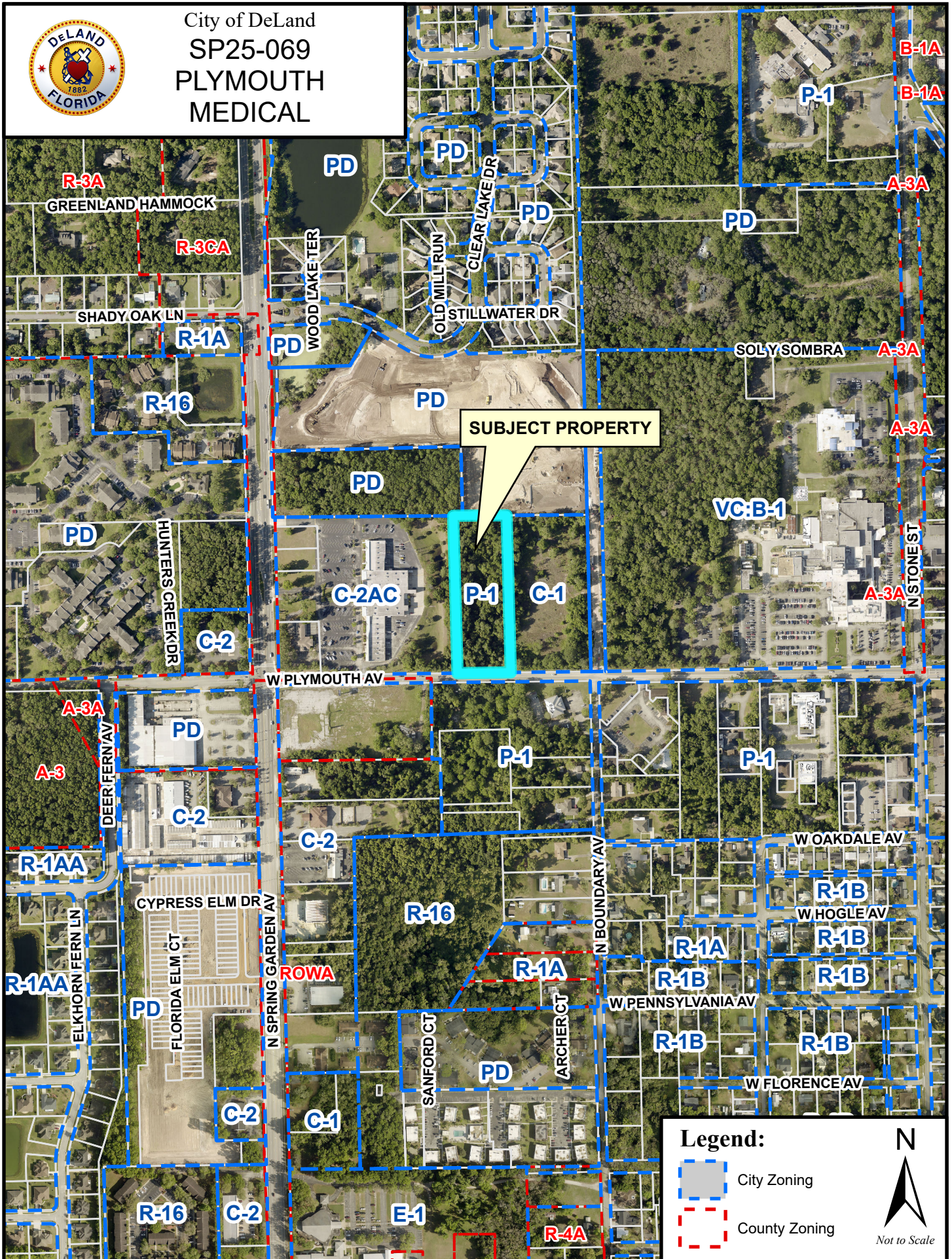


City of DeLand
 SP25-069
 PLYMOUTH
 MEDICAL





City of DeLand
SP25-069
PLYMOUTH
MEDICAL



Issues for record SP25-069
Job Address: 0 W Plymouth AV, DELAND FL 32720
Job Description: Proposes the construction of a medical office including all parking, utility and stormwater infrastructure.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	<p>Joint Sealing Provide the following note in the Stormwater Construction Notes section: All storm structures with multiple sections shall have all joints sealed with ram-nek or by other approved means.</p>	C2	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<p>ICPR Modeling The Stormwater Calculations report dated October 3, 2025 contains numerous inconsistencies as it pertains to structures and pipes when compared to the Drainage Plan. Please review for consistency.</p>	C6	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<p>Off Site Structures If pipes and structures are going to be installed on an adjacent property, a drainage easement will need to be obtained and recorded on said property.</p>	C6	Steven Danskine	Steven Danskine	Yes
Engineering	Not Accepted	<p>Recovery Analysis Please provide a recovery analysis for the system. Last response: A recovery analysis is being completed and will be submitted as soon as possible.</p>	24048 STORM CALCS.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Not Accepted	<p>Pipe Information Various pipe information for Pipes 1, 2, and 3 do not match with what is shown on Plan Sheet C6. Last comment from reviewer: The Stormwater Calculations report dated October 3, 2025 contains numerous inconsistencies as it pertains to structures and pipes when compared to the Drainage Plan. Last response: All pipe information has been updated to correlate with the plans, please see Section V of the Stormwater Calculations.</p>	24048 STORM CALCS.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Not Accepted	<p>As-Builts Signed and Sealed As-Built Drawings shall be submitted electronically to the City of Deland in .pdf format, as well as .dwg format. Last comment from reviewer: Thank you for acknowledging my comment. Please provide a note to this effect in the plans. Last response: Acknowledged, thank you.</p>	C3	Steven Danskine	Steven Danskine	Yes

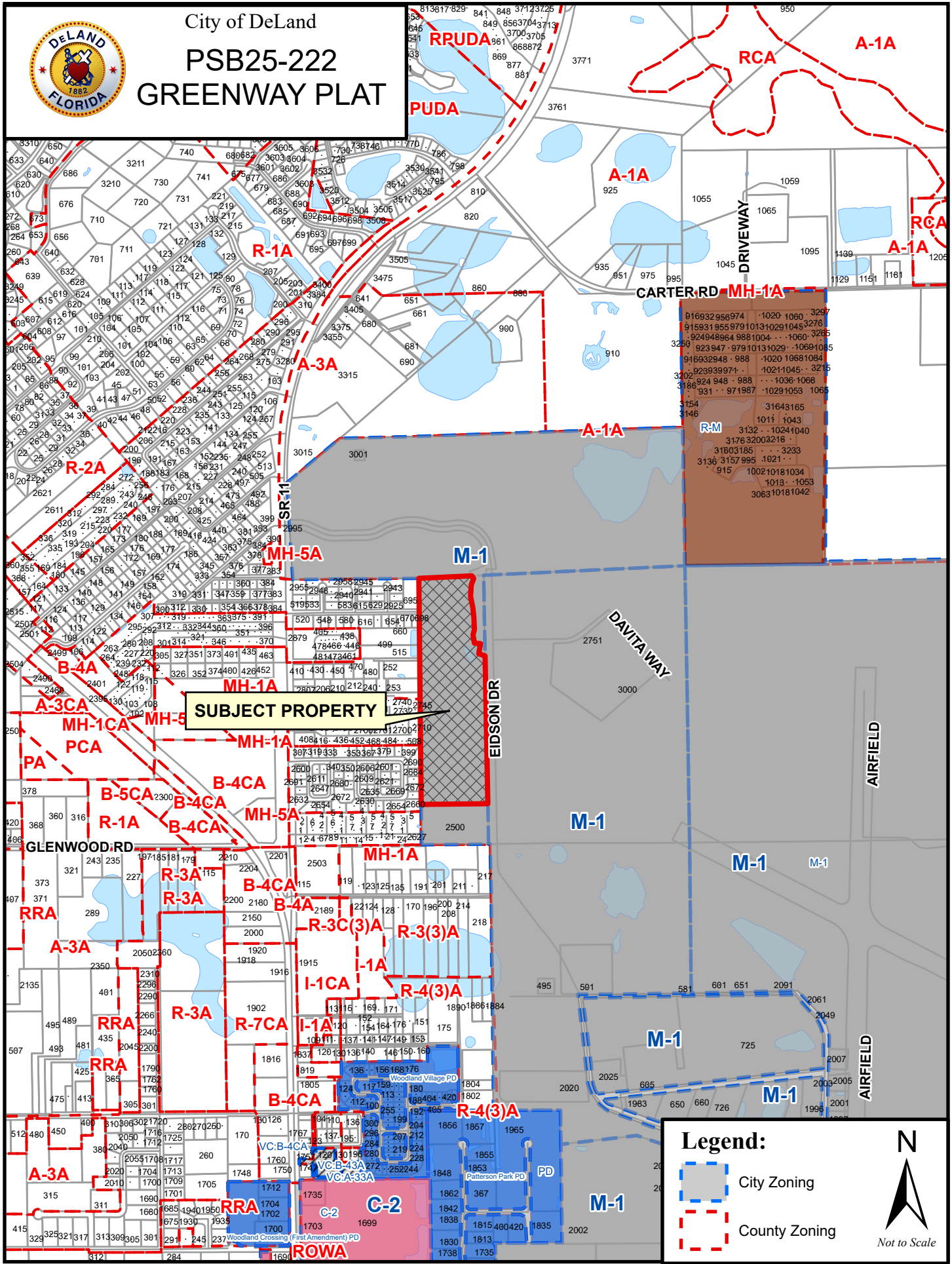
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Minimum On-site Trees Inches Table 1. Change "196" to "219". 2. Change "1,220" to "1391".	TP1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Calculations 1. Change "1210" to "1172". 2. Based on the tree removal table provided on Sheet TP-1, it appears that Cherry Laurels were not included in your calculation. As a result, please change "593" to "607". 3. Based on the Landscape Plan, it appears that 219" DBH of replacement will be provided. Change "205" to "219". 4. Change "382" to "388".	TP1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Trees Planted for Tree Replacement Table Either remove this Table or ensure that it is consistent with the entire Landscape Plan (Sheet L101)	TP1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Renumeration Required Optional Change "Renumeration Required Optional" to "Tree Replacement Reserve Account Contribution Required".	TP1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Consistent Calculations Calculations on TP1 need to match what is presented on the landscape plan and other calculations throughout the plan set.	TP1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Deteriorated Laurel Oaks Reducing replacement for deteriorated Laural Oaks is only an option with an Arborist Report provided.	TP1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	West Side Buffer 4 Trees lie along the area that will be trenched for installation of the silt fence/tree barricade. Please mark them as removed unless there is a methodology to preserve sufficient root area. Please mark them as removed and please adjust the calculations based on the 4 removals if necessary.	TP1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Replacement Reserve Account Change "\$78" to "75".	TP1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	15% Tree Protection Area Table Row 2 - Change "Preservation" area to "Protection" area. Row 3 - Change "Natural Preservation Area" to "Tree Protection Area".	TP1	Laureen Kornel	Laureen Kornel	Yes
Planning	Draft	Building Height Please show include the building height on the plans.	Plymouth Medical Center-04 Small	Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
			Elevations & Floor Plan (36x24).pdf			
Planning	Not Accepted	<p>Pedestrian Crossing There does not appear to be sidewalk connectivity or pedestrian crossing between the western and eastern buildings. Please show how pedestrian crossing across the parking lot will be provided.</p> <p>Last comment from reviewer: Are additional pedestrian crossing markings able to be placed in these locations?</p> <p>Last response: Sidewalks have been added to provide connectivity between the buildings, please see sheet C5 of the Civil Plans.</p>	C5	Samuel Nelson	Samuel Nelson	Yes
Planning	Not Accepted	<p>Bicycle Parking Bicycle parking is required subject to Sec. 33-91.03 (I). Buildings totaling 21,470 square feet of floor area require a minimum of 3 bicycle parking spaces. Please show where these will be provided on the plan and include the total # of spaces in the calculation.</p> <p>Last comment from reviewer: Please provide dimensions for the bike racks on the site plan.</p> <p>Last response: Bicycle parking has been added near the southern building, please see sheet C5 of the Civil Plans.</p>	C1	Samuel Nelson	Samuel Nelson	Yes
Planning	Not Accepted	<p>Mechanical Equipment Please show the location of any proposed mechanical equipment and confirm how it will be screened from public view.</p> <p>Last comment from reviewer: I could not locate the mechanical equipment on sheet C5. Please confirm the location.</p> <p>Last response: Mechanical equipment locations have been added to the plans, please see sheet C5.</p>	C5	Samuel Nelson	Samuel Nelson	Yes
Planning	Not Accepted	<p>Building Elevations Please provide the color, material, and dimensions for all exterior building facades as required by Sec. 33-94.02 (c)</p> <p>33-94.02(c) Required submittal items. Minimum submittal requirements are: 1. Architectural building elevations, in color, of all facades of buildings with material and texture indications, and with any exterior building signage illustrated, together with color swatches corresponding to the actual colors of the proposed building. 2. A set of clearly-labeled and dimensioned building elevations which demonstrate consistency and compliance with the required design standards. Such elevations shall include dimensions, colors, and materials for all building façade lengths; building heights; window, door, and entryway openings and features; fenestrations; wall articulations;</p>	Deland Medical Center-Elevation G.pdf	Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		<p>façade features; vertical and horizontal transitions; building heights; roof heights, profiles, materials, and appearance; and historical styles clearly dimensioned and illustrated through the use of call-outs, dimensions, labeling, and other methods.</p> <p>3.. In addition to the above building elevation requirements, the following must also be submitted, if applicable: exterior lighting scheme, lighting photometric design, fences and walls, landscaping, site furnishings, building landscaping design, specified pedestrian access paving and/or marking details and building signage.</p> <p>Last comment from reviewer: Please provide the paint swatch #s for all exterior paint to be used.</p> <p>Last response: 1. Please see the Building Elevations included with this submittal. 2. Please see the Building Elevations included with this submittal. 3. Please see the Photometric Plan.</p>				
Planning	Not Accepted	<p>Building Setbacks Please provide the setback distances from property lines for each building (including the dumpster enclosure) on the property.</p> <p>Last comment from reviewer: Please show the provided rear-yard setback for the westernmost building.</p> <p>Last response: The setbacks have been added to sheet C5 of the Civil Plans.</p>	C5	Samuel Nelson	Samuel Nelson	Yes
Utilities	Not Accepted	<p>Reclaim Extension a Reclaim Extension from Spring Garden down the east property line is required. A 6" stubout is just south of the Pointe Grand Apts. Roughly 900 Ft.</p> <p>Last response: We would like to propose an irrigation well or potable meter. The reclaim line in question is much further away and would be a hardship tot his project.</p>	IR1	Jim Ailes	Jim Ailes	Yes
Utilities	Not Accepted	<p>Irrigation How will site be irrigated?</p> <p>Last response: The site will be irrigated by a well.</p>	IR1	Jim Ailes	Jim Ailes	Yes
Utilities	Not Accepted	<p>North Building Shows to potable water connections if correct. Middle building would share a 2" meter.</p> <p>Last comment from reviewer: Do you plan to run a separate line or leave them being billed off of same meter?</p> <p>Last response: Acknowledged, thank you.</p>	C7	Jim Ailes	Jim Ailes	Yes



City of DeLand PSB25-222 GREENWAY PLAT



Legend:

- City Zoning
- County Zoning

Legend:

- N
- Not to Scale*

Issues for record PSB25-222

Job Address: 0 Eidson DR, Deland FL 32724

Job Description: The project consists of grading the site to a pad-ready condition for future development and constructing a stormwater pond sized to accommodate a future assumed impervious area of 70%. No vertical construction is proposed at this time. The site will be stabilized and prepared for sale and build-out by others.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Legend Add in the total square footage of the Tree Protection Area for TP6 of 6.	TP6	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Legend Add in the total square footage of the Tree Protection Area for TP5 of 6.	TP5	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Legend Add in the total square footage (0) of the Tree Protection Area for TP3 of 6.	TP4	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Legend Add in the total square footage of the Tree Protection Area for TP3 of 6.	TP3	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	15% Tree Protection Area Please note: Planning has identified an acreage discrepancy. If the acreage changes from 11.81 are to 14 acres, the calculations for this project will need to be re-done.	TP1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	15% Tree Protection Area Change "Preservation" to "Protection".	TP1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Open	Tree #82 and #83 Campion trees are not classified as a protected. As a result, they are not included in the calculations for trees designated for preservation.	TP2	Chris Jackson	Chris Jackson	Yes
Forestry	Open	Tree #13 The tree has a DBH that is less than 6 inches therefore it shouldn't be in the chart.	TP2	Chris Jackson	Chris Jackson	Yes
Forestry	Open	DBH PRESERVED I am getting 2,389 for DBH preserved instead of the 2,402 that you are showing.	TP2	Chris Jackson	Chris Jackson	Yes
Planning	Draft	Additional Comments Due to plans containing conflicting project scopes, some departments have not been able to complete an accurate review. Once the scope is clarified, additional comments will be generated.		Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Preservation Update to be Tree Protection Area throughout	P-1	Emily Kunkel	Emily Kunkel	Yes

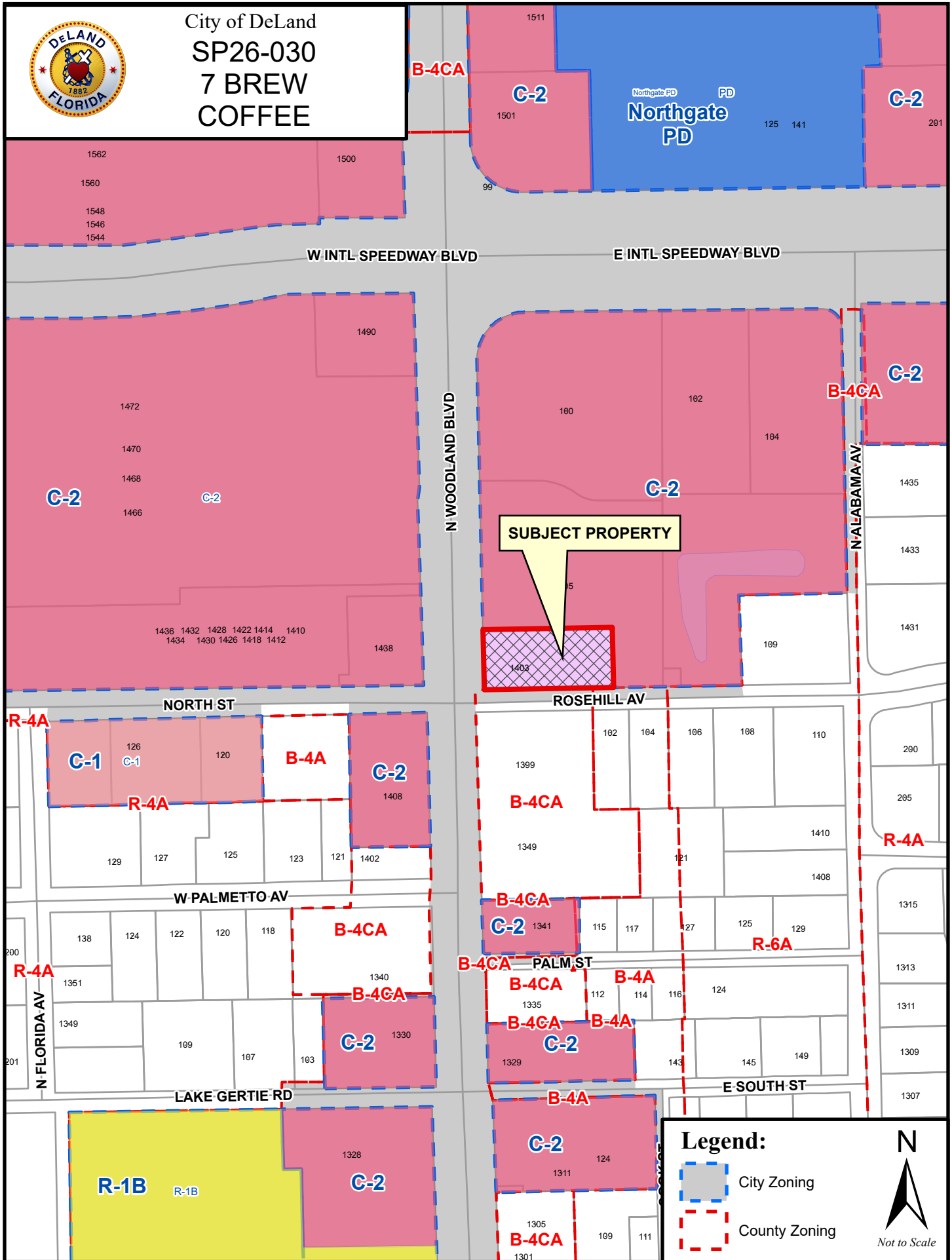
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Tracts This cover page calls out the Tree protection area tract and stormwater tract, but the previous plan pages do not. Please clarify	P-1	Emily Kunkel	Emily Kunkel	Yes
Planning	Draft	City Clerk Signature Block Add a city clerk signature block	P-1	Emily Kunkel	Emily Kunkel	Yes
Planning	Draft	Owner Signature Block Notarization block will need to be updated to include all information.	P-1	Emily Kunkel	Emily Kunkel	Yes
Planning	Draft	Preliminary Plat This plat cover page includes a larger project area and a different name. This looks to be similar to previous discussions on what the preliminary plat plan was. Please clarify.	P-1	Emily Kunkel	Emily Kunkel	Yes
Planning	Draft	TPA Is this TPA proposed to be joint or provided for only one lot? if joint, then it needs to be in its own tract with ownership and maintenance details provided.	TP1	Emily Kunkel	Emily Kunkel	Yes
Planning	Draft	Stormwater Pond Is this pond proposed to be a joint pond or provided for only one lot? if a joint pond, then it needs to be in its own tract with ownership and maintenance details provided.	C6	Emily Kunkel	Emily Kunkel	Yes
Planning	Draft	Number of lots How many developable lots are you proposing? These plans are unclear.	C6	Emily Kunkel	Emily Kunkel	Yes
Planning	Draft	Project If proposing to only develop this 14.44 acres, then the site will need to stand on its own for Tree Protection Area (15% of the overall site) and stormwater (meeting the 100-year/24-hour storm event, on-site)	C1	Emily Kunkel	Emily Kunkel	Yes
Planning	Draft	Project Description Previous conversations referenced platting the entire 41 acres into a joint stormwater tract, a joint Tree Protection Area tract and then 2 or 3 building lots. This project description and plat do not reflect this. We need an updated clearly identified project narrative.	C1	Emily Kunkel	Emily Kunkel	Yes
Planning	Draft	Endangered Species Report Please provide an endangered species report as required by Sec. 33-60. of the code. An example for the Dupont project to the south was provided.		Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Tree Protection Please changes all instances of "Tree Preservation" to "Tree Protection".	P-2	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Boundary Survey The provided boundary survey is for the southern Dupont parcel, which is not included within the scope of this proposal. Please provide a boundary survey for the project area.	3-15-24 Boundary Survey.pdf	Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Proposed Improvements Per the project description, no construction is proposed at this time. Where do the impervious totals come from?	C1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Wetlands There is a significant wetland area on the provided plan. Please update the table to show this wetland area.	C1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Legal Description The legal description appears to reference the southern Dupont property. Please update to show the correct description.	C1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Wetland Buffer Zone A 25-ft Wetland Buffer Zone is required adjacent wetland areas. Please show that this 25-ft buffer is provided adjacent to the northern wetland area. Note: Activities or construction which do not have adverse effect on the natural function of the buffer may be allowed within the buffer. The activities or construction include but are not limited to pruning, planting of suitable native vegetation, removal of exotic and pioneer plant species, and the creation and maintaining of walking trails.	C6	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Low Impact Development The incorporation of Low Impact Development (LID) features is required for surface water management facilities. The design should meet the objectives of Sec. 33-19.14 (d) 16. Please demonstrate how this requirement is met.	C6	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Volusia County offers a helpful LID guidance manual which may be found at https://www.volusia.org/file/6744/5.6.25_Approved_LID_Guidance_Manual_lastrevised_11.8.24.508.pdf	C6	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Sidewalks Sec. 33-90.04.0 requires sidewalks be provided along all street frontages when adjacent to collector or arterial streets. If desired, a fee may be paid in lieu of providing the sidewalk. This fee is based on the cost per linear foot of any required sidewalk.		Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Landscape Buffer Areas Please show the required landscape buffer areas on the plan. A minimum 30-ft Class "D" landscape buffer is required along the rear property line which borders residential and a minimum 15-ft Class "B" landscape buffer is required along the Eidson frontage.	C6	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Dimensions Please clearly indicate dimensions for any proposed property lines on the plan.	C6	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Project Scope The scope of the project is unclear. There are references to the southern DuPont parcel which has been split off and different acreages are provided on the plans. How many parcels are intended to be	C1	Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		created and sold? Is the project area the entire 31-acre parcel or just the 14 acres shown? Please provide a detailed narrative of the proposal.				
		Western Landscape Buffer - Additional Requirements In addition to the specific requirements for Buffer "D" contained in Table 33-92.02(b), the buffer must also include a 100 percent opaque screen (fence or wall) along the rear lot line when adjacent to a single-family residential use. Chain link, open mesh, or similar fencing shall not be used to satisfy this requirement. The screen shall be a minimum of six feet high and a maximum of eight feet high. The screen shall be located no closer than ten feet to the abutting property line and landscape materials shall be located between the screen and the abutting property line.	C6	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft					
		South Landscape Buffer The property borders another industrial use to the south. Landscape buffers are not required between the same type of use. Please adjust the data table to reflect the required 0 ft buffer.	C1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft					
		Site Area Discrepancy Per the cover sheet, the site is 14.44 acres in size. The tree protections sheets show the site as being 11.81 acres in size. Please correct the discrepancy in the plans.	TP1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft					



City of DeLand
SP26-030
7 BREW
COFFEE



Legend:

- City Zoning
- County Zoning

Legend:

- N
- Not to Scale*



City of DeLand
SP26-030
7 BREW
COFFEE



Issues for record SP26-030
Job Address: 1403 N WOODLAND BLVD, DELAND FL 32720
Job Description: New 7 Brew Coffee drive thru facility to replace existing Pizza Hut Restaurant

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Permits FDOT Drainage and Access Permits will be required prior to issuance of a Site Development (INF) Permit by the City.	CS	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Duplicate Details Various details are also represented on Sheet C-7. Please review.	C-4	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Max Slope Typical Swale Section Figure 4 indicates slopes may be as steep as 3:1. The maximum slope allowed in the City of DeLand is 4:1.	C-6.1	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Elevations 1. Existing spot elevations within the parking area could be confused with proposed spot elevations. Reducing the clutter by removing the existing elevations may prevent confusion during construction. 2. The Rim Elevations for C.B. 3 and C.B. 6 are 74.0 while the bottom face of curb midway between them is also at 74.0. Provide grading such that water does not collect along the face of curb and is sloped toward the inlets. 3. Flow arrows near the western entrance/exit are conflicting.	C-2	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	General Notes The General Notes adjacent to the Asphalt-Concrete Joint Detail appears to be duplicated on Sheet C-5, and may be inappropriate in this location.	C-4	Steven Danskine	Steven Danskine	Yes
Forestry	Draft	Landscape Specifications, Note 31 Remove the phrase "flush with the trunk or adjacent branches", and replace according to the ANSI A300 pruning standards which no longer allow flush cuts.	L-2	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Landscape Specifications, Fertilizer The city does not recommend fertilizing at the time of planting unless soil testing indicates that it is appropriate.	L-2	Laureen Kornel	Laureen Kornel	No
Forestry	Draft	Landscape Specification, Note 22 All substitutions shall be approved by the City Forest. Please add this language.	L-2	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Landscape Specifications, Note 9 Replace "Lirio Can" with "containerized".	L-2	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Landscape Specification, Note 11 add "and City Forester"	L-2	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Landscape Specifications, Note 9 Please revise to 3" in accordance with the City's requirements.	L-2	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	St. Lucie County Reference Please delete the entire reference as this practice is not required.	L-2	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Protection Detail Please use the City's "Tree Barricade Detail" in place of the Tree Protection Detail show on this page. In addition, it appears there may be an historic tree on or within 10' of the property boundaries. If this is the case, please include the City's Historic Barricade detail.	L-2	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Total Tree Protection Area (TPA) Demonstrate actual TPA provided.	L-1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	TPA The total square footage of this project is reported as 19,369 sq. ft. Therefore 15% of the total square footage is 2,905 sq. ft. Please revise to show 2,905 sq. ft. of total Tree Protection Area and call out the boundaries of the TPA on the Landscape Plan rendering.	L-1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Landscape Legend Please label the trees and shrubs to show separation. The minimum requirement for Tree Replacement is 3" caliper (2" DBH). Please refer to Florida Grades and Standards to show correct height, spread and root ball size if field grown material is proposed. Please add a column that shows how much total DBH is proposed for each tree species.	L-1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Volusia County's Please revise this section to specify City of DeLand standards	L-1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Disposition Table Add a column that lists whether these trees are protected, specimen or historic.	TD-1.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Minimum Required Coverage Demonstrate Minimum Coverage Calculation. Demonstrate how minimum coverage is being met. 19,639 sq. ft. divided by 2,500 sq. ft. x 6" = 48" DBH total inches to meet minimum coverage. It appears this project will have sufficient trees to meet minimum coverage requirements based on approx. 154" DBH proposed to remain.	L-1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Protection Area Demonstrate the Tree Protection Area calculation by adding the Total TPA on this sheet.. Total TPA: 19,369 sq. ft. x .15 = 2,905.4 sq. ft.	L-1	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Fire Hydrant Zone Remove Fire Hydrant zone from this sheet.	L-1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Root Barrier Detail Remove. Already included with Sheet L-2.	L-1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Location Map and Legal Description Remove Location Map and Legal Description. Please use the extra space to make the Landscape Plan rendering larger.	L-1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Landscape Plan Enlarge this rendering. It's too cluttered for it to be legible in the field.	L-1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Protection Detail Remove this detail. It is already included with the planting details on L2.	L-1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Irrigation Schedule Remove Irrigation Schedule from the Landscape Plan. It is already included with Sheet IR-1.	L-1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Disposition Table Please include on the Tree Disposition Table all trees on the property and within 10' of the property boundary.	TD-1.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Historic Tree Verification Please field verify the DBH of this tree. If the tree has a DBH 25" or greater, the tree will be classified historic. Existing historic trees shown to remain shall be protected during construction. Chain link fencing (min. 6' height) shall be installed at a distance of 1½ x the dripline of all trees or tree groups to remain. Please add an Historic Tree Barricade Detail to the Landscaping Details sheet.	L-1	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Barricade Notes, Note #2 Add "in accordance with the City's Tree Barricade Detail", after the word "barricaded".	TD-1.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Notes #9. and #10. Change "Not" to "DO NOT" twice in both notes #9 and #10.	TD-1.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Note #8. Change "A" to "AND".	TD-1.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Note #4 Change "Landscape Department" to "Forester".	TD-1.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Protection Detail Please use the City's Tree Barricade Detail which can be downloaded at:	TD-1.0	Laureen Kornel	Laureen Kornel	Yes

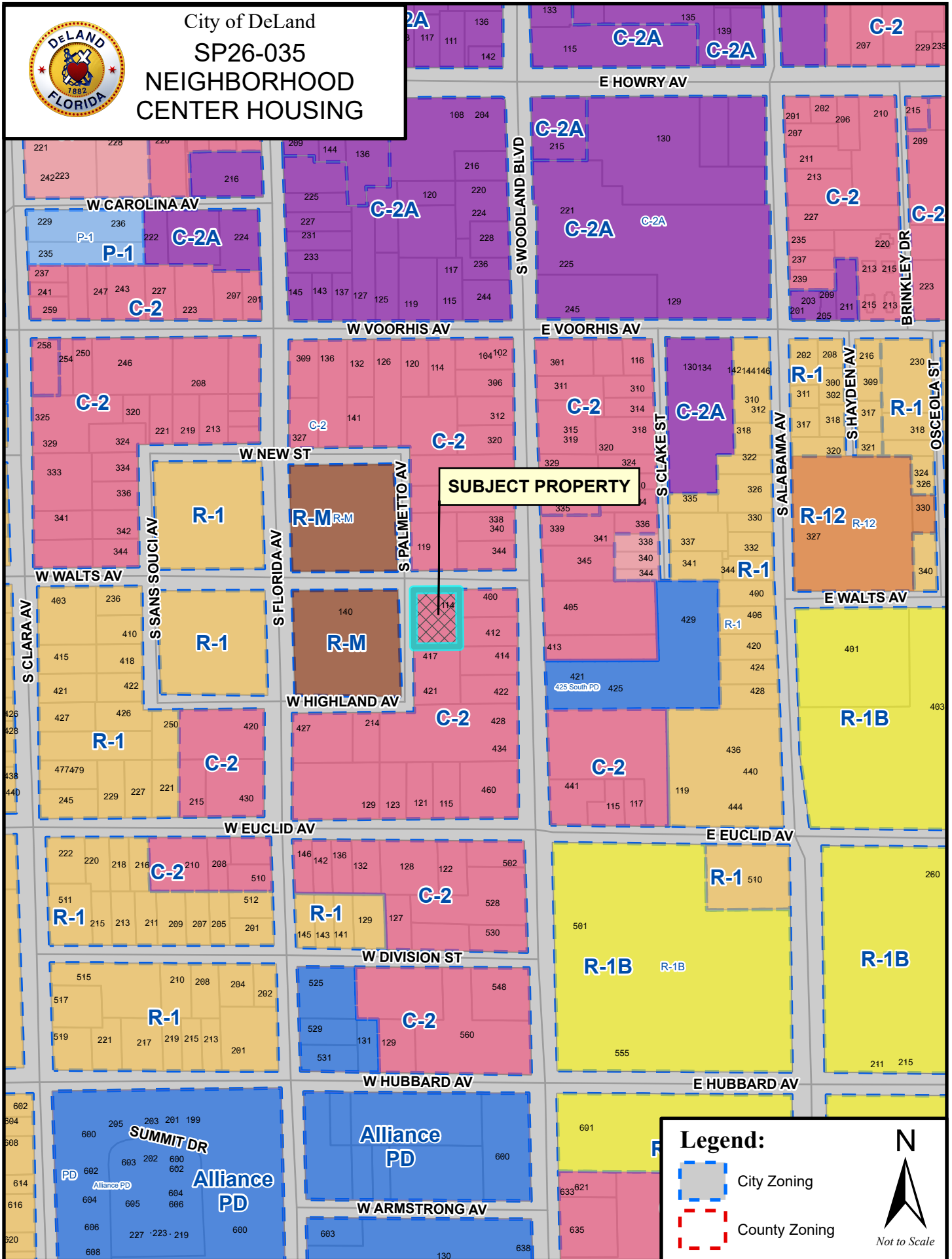
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		https://www.deland.org/DocumentCenter/View/2217/M112-TREE-BARRICADE-DETAIL-01-11-2024				
Forestry	Draft	Statement of Intent Please provide a Statement of Intent on the cover. "Demolition of existing Pizza Hut with Drive-thru Coffee Shop.	CS	Laureen Kornel	Laureen Kornel	Yes
Planning	Draft	Tree Protection Please show the required 15% tree protection area on the plan. Note: the minimum width for TPA is 20'. If needed, drive-aisle widths can be reduced.	L-1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Drive-Aisle Dimensions The provided drive-aisles are larger than the code required 12' minimum. Please consider reducing the drive-aisle widths to increase the southern buffer area.	C-1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Signage Please indicate the location of any proposed ground/monument signage. Note: Any signage shown is for illustrative purposes only. Separate sign permits are required.	C-1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Parallel Parking Spaces Parallel parking spaces are only required to be 8.5-ft wide and 20-ft long. The size of the three spaces provided may be reduced if desired.	C-1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Cooler Elevations Please provide dimensioned and color elevations for the proposed cooler. The cooler is required to comply with the Community Design Standards.	C-1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Southern Landscape Buffer - Required Planting Please provide a calculation showing what is required in the southern "D" buffer, and what is proposed, similar to what is shown for the western buffer.	L-1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	ADA Space Size The minimum required length for an ADA parking space is 20-ft. Please revise the plan to incorporate the required length.	C-7	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Western Landscape Buffer The western boundary of this property fronts the Redevelopment Gateway Corridor, which requires a minimum 30-ft "D" buffer. The following plantings are the minimum required: Canopy Trees (min of 4" dbh) - 7 Understory Trees - 5 Shrubs - 33 Please update the buffer reference and provide the required plantings.	L-1	Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	<p>Monument Signage Please show the dimensioned location of any monument signage on the site plan.</p> <p>Note: Any signage shown is for illustrative purposes only. Separate sign permits are required.</p>	C-1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p>Maximum Foot-Candles The maximum foot-candles at the property line is 0.5. This is exceeded on every property line. Please revise the lighting plan to reduce the light spillage onto adjacent properties.</p>	CE-1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p>Rooftop Mechanical Equipment Any rooftop mechanical equipment shall be screened from public view. If proposed, please show any rooftop mechanical equipment as dashed lines behind a screen wall.</p>	A-2.1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p>Provided Impervious Coverage Please show the provided impervious coverage as a percentage in the data summary.</p>	C-1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p>Parking Requirement The parking requirement for fast food restaurants is 1 space per 100 square feet of net floor area. The net floor area can either be taken by using 85% the total area or by subtracting the square footages of areas such as halls, restrooms, elevators and other such areas.</p> <p>Please update the table and calculations to reflect the net floor area.</p>	C-1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p>Street Side Setback The C-2 district requires a minimum street-side setback of 20-ft. Please show this in the data table.</p>	C-1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p>Maximum Impervious/Lot Coverage The maximum impervious surface coverage for a C-2 zoned property in the Highway Commercial land use is 70%. Please update the table to only show the 70%.</p>	C-1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p>LED Raceway Lighting LED raceway lighting is not permitted. Please confirm that all lighting shall be downward and of the full cut off shield variety in which the light source is recessed and shielded in a manner which prohibits upward light overspill into the night sky.</p>	A-2.1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p>ADA Space Length Please show the length of the ADA space on the site plan.</p> <p>Note: The required length is 20-ft.</p>	C-1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p>Building Setbacks Please show the setbacks from adjacent property lines for any building/structure on the site plan.</p>	C-1	Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Building Dimensions Please show the dimensions of the building on the site plan.	C-1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Landscape Buffers Rose Hill is a local road, and restaurants are required to provide a minimum 30' Class D landscape buffer when adjacent to local roads. The site plan must be updated to provide this buffer.	C-1	Samuel Nelson	Samuel Nelson	Yes
Traffic	Draft	Cross Access Can cross-access be incorporated with the property to the north?	C-1	Christopher Carson	Christopher Carson	Yes
Traffic	Draft	Sidewalk Please provide sidewalk along the Rose Hill Avenue right of way.	C-1	Christopher Carson	Christopher Carson	Yes
Traffic	Draft	Trip Gen Calculations Please provide the trip generation summary table on this sheet. No traffic study required.	C-1	Christopher Carson	Christopher Carson	Yes
Utilities	Draft	Irrigation Separate irrigation meter is not allowed. Irrigation must hook up after the main meter and backflow. Reclaim is available to the north on International Speedway.	IR-1	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Utility Details Update to latest version dated 1/7/2026	C3.1	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Private Lift station Lift Station currently pumps west across 1/92 Woodland Blvd. Gravity sewer and a city lift station is now currently to the east of this project. Since this is an old force main and station, you might want to look at option to the east.	C-3	Jim Ailes	Jim Ailes	Yes



City of DeLand
 SP26-035
 NEIGHBORHOOD
 CENTER HOUSING



SUBJECT PROPERTY

Legend:

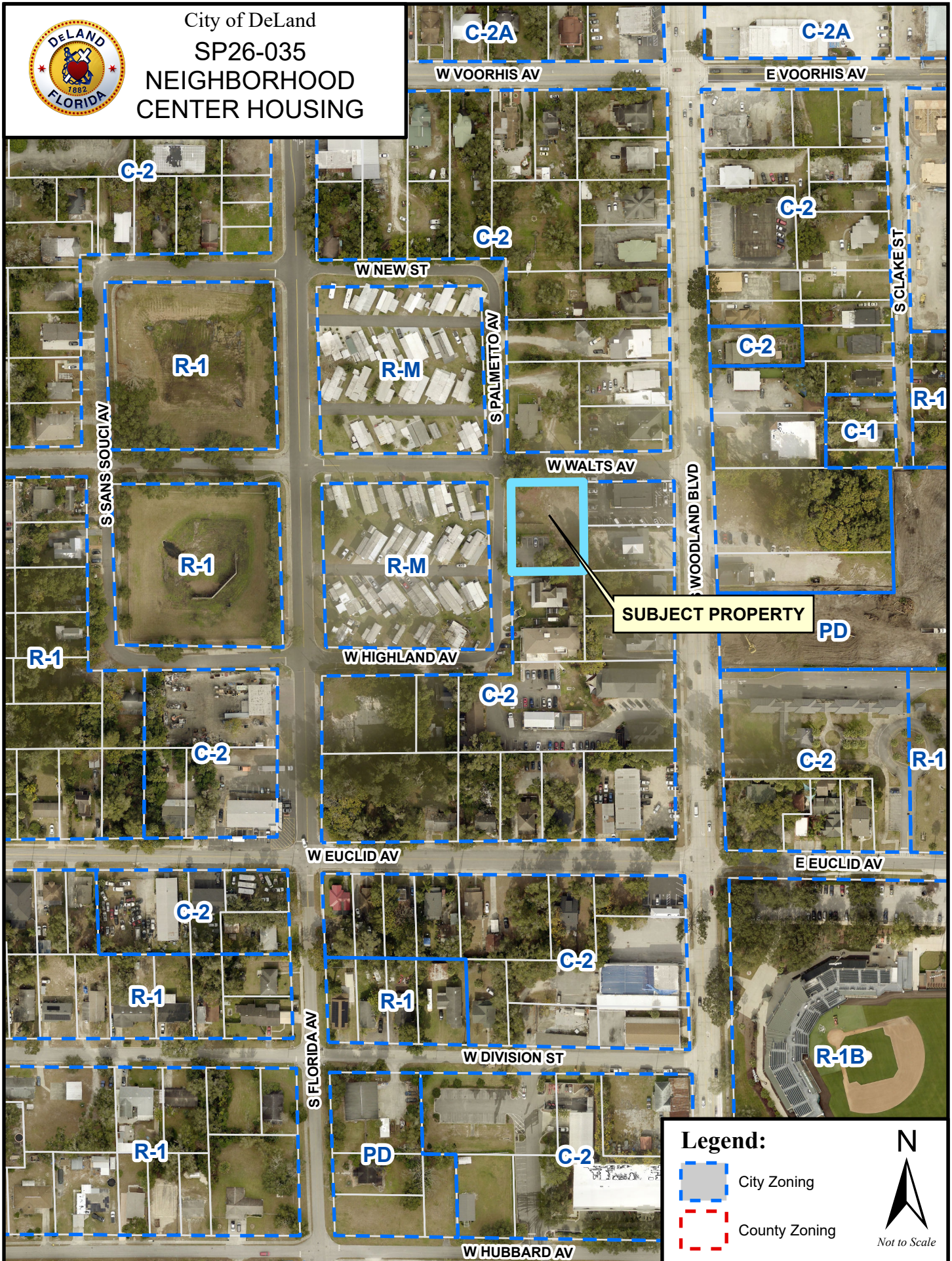
- City Zoning
- County Zoning

N

 Not to Scale





City of DeLand
SP26-035
NEIGHBORHOOD
CENTER HOUSING



SUBJECT PROPERTY

Legend:

-  City Zoning
-  County Zoning



Issues for record SP26-035**Job Address: 114 W WALTERS AV, DELAND FL 32720****Job Description: This project will construct affordable housing "Tiny House" living for the local residents. The project replaces an existing single family home with multiple "Tiny Homes". The site will be served by a low impact storm water system.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Weir The plan calls for a concrete weir, but the detail does not provide specific representation of the concrete and how it is supposed to be constructed. Please clarify.	05	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Driveway Apron If the driveway apron becomes damaged during construction, it will need to be replaced with minimum 6" thick, 3,000 psi concrete within the right of way.	04	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Bldg 8 Although the Pavilion/Shop may not require water or sewer, it would likely benefit from electricity.	07	Steven Danskine	Steven Danskine	Yes
Fire	Draft	Fire Protection Systems Provide details for Fire Sprinkler Systems that will be required for the structures.		Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	Separate Trees from Shrubs Please separate trees from shrubs.	10	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Minimum Tree Coverage It would be helpful to include these calculations: 7 x 3 = 21 7 x 3 = 21 6 x 3 = 18 14 x 2 = 28 14 x 2 = 28 Total Minimum Tree Coverage = 116" DBH	10	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Landscape Legend Please change the height of the Yaupon Holly and the Grape Myrtle to 8'. While 7' is acceptable in accordance with the Florida Grades and Standards for Nursery Plants, the DeLand's LDR requires 8'.	10	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Planting Detail Please add a City of DeLand Tree Barricade Detail to this sheet (Sheet 10 of 14).	10	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Trees to be planted Please revise to match what is proposed on Sheet 10 of 14 (Landscape Legend).	09	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Barricade Please show tree barricade on trees 1 and 2. Please include the tree barricade with the legend.	09	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Total TPA It may be possible to reduce total TPA. However, this would require TRC approval.	09	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	TPA On the rendering, call out the acreages of each individual TPA and then provide a calculation for Total acreage of TPA.	09	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	TPA in Stormwater Pond Stormwater areas cannot be located in a TPA area. Please revise	09	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Minimum Tree Coverage Applicant proposes to remove 72" DBH divided by 1/3 = 24" DBH required DBH replacement. 18,106 sq. ft divided by 2,500 = 7.24 x 6 = 43" DBH. The landscape plan provides 1116" DBH replacement. Therefore, the project meets minimum tree coverage. Please provide a statement showing these calculations.	09	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Protection Area (TPA) The project calculations are correct and the project meets the City's TPA requirements.	09	Laureen Kornel	Laureen Kornel	No
Forestry	Draft	Substitution approval by City Forester Changes in planting due to unforeseen conflicts and substitutions shall be approved in advance by the City Forestry. Please revise Note No. 13 to reflect this requirement.	10	Laureen Kornel	Laureen Kornel	Yes
Planning	Draft	Landscape Buffers West Landscape Buffer 1.5058 factor Trees (5.421) Understory (1.807) Shrubs (18.07) *looks to be short on shrubs, consider swapping crape myrtle for native shrubs such as Simpson stopper to meet shrub requirement. North Landscape Buffer 1.2025 factor Trees (4.329) Understory (1.443) Shrubs (14.43) *looks to be short on shrubs, consider swapping crape myrtle for native shrubs to meet shrub requirement.	10	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		<p>East Landscape Buffer 3 trees, 15 shrubs required (*shrubs needed)</p> <p>South Landscape Buffer (met) 2 trees, 10 shrubs required</p> <p>Please provide a table to display compliance.</p>				
Planning	Draft	<p>Bicycle Parking 0.5 bicycle parking spaces are required per Tiny Home. This may already be exceeded or meeting the requirement, just need to confirm the number of tiny homes.</p>	01	Christopher Carson	Christopher Carson	Yes
Planning	Draft	<p>Parking Since the project meets the requirements of a transitional housing project, parking shall be provided at 0.5 parking spaces per Tiny Home unit. A fifty (50) percent reduction may be applied since the development is within 0.25 miles of a transit stop. Additionally, can reduce the office parking from the calculation.</p>	01	Christopher Carson	Samuel Nelson	Yes
Planning	Draft	<p>Tiny Home Units / Density Please provide the number of Tiny Home units as well as the overall project density. How many kitchens are there?</p>	01	Christopher Carson	Christopher Carson	Yes
Planning	Draft	<p>Building Separation A minimum 10' building separation is required. Please revise to meet the required building separation.</p>	04	Christopher Carson	Samuel Nelson	Yes
Utilities	Draft	<p>Utility Service Agreement A signed agreement will be required prior to preconstruction meeting.</p>	01	Jim Alles	Jim Alles	Yes
Utilities	Draft	<p>Update Edward Zamora</p>	01	Jim Alles	Jim Alles	Yes
Utilities	Draft	<p>Sewer Connection Will tying in the 6" sanitary sewer line to the 4" lateral work?</p>	07	Scott Zender	Scott Zender	Yes
Utilities	Draft	<p>Details Please use most current details dated 1/7/26</p>	13	Scott Zender	Scott Zender	Yes

Conditions and notes for record SP26-035

Job Address: 114 W WALTERS AV, DELAND FL 32720

Job Description: This project will construct affordable housing "Tiny House" living for the local residents. The project replaces an existing single family home with multiple "Tiny Homes". The site will be served by a low impact storm water system.

Discipline	Status	Type	Details	Attached To	Created By
Utilities	Draft	Note	Water Service Will a 1 1/2" meter be capable of feeding all the buildings	07	Scott Zender