



CITY OF DELAND
REGULAR MEETING OF THE TECHNICAL REVIEW COMMITTEE
JANUARY 15, 2026 AT 1:30 PM
CITY OF DELAND TRC MEETING ROOM
DELAND, FLORIDA

AGENDA

CALL TO ORDER

ROLL CALL

MINUTES

1. December 18, 2025 TRC Minutes

OLD BUSINESS

NEW BUSINESS

1. **Applicant Name:** Andrea Cardo – Interplan LLC
Project Name: SP25-200 – Class II Site Plan for County Club Point
Project Location: 2.64 acres located at 2219 S Woodland Blvd
Description: Redevelopment of existing shopping center
Project Manager: Kendall Story

2. **Applicant Name:** Nipun Gupta– Gupta Ventures LLC
Project Name: SE25-173 – Special Exception for Medical Office
Project Location: 2.43 acres located at 840 W Plymouth Ave
Description: 18,000-sf Medical Office Building
Project Manager: Sam Nelson

3. **Applicant Name:** Mateos Dhimosten - R AND C QUALITY PROPERTY
Project Name: SP25-162 – Class II Site Plan for Townhomes
Project Location: 0.52 acres located at N High St & W New York Ave
Description: 5 Townhomes
Project Manager: Chris Carson

4. **Applicant Name:** Tyler Spore - Virtech Systems
Project Name: Z25-206– Planned Development Rezoning
Project Location: 1.9 acres located at 600 N Woodland Blvd
Description: DeLand Atrium Planned Development
Project Manager: Emily Kunkel

ADJOURNMENT

NEXT MEETING Thursday, February 19, 2026, at 1:30PM.



CITY OF DELAND
TECHNICAL REVIEW COMMITTEE MEETING
MEETING MINUTES
THURSDAY, DECEMBER 18, 2025 -1:30 P.M.
CITY HALL

OPENING OF MEETING:

Call to Order: **1:32 pm**

Members Present:

Carol Kuhn, Chairperson

Debi Glick

Chris Carson

Samuel Nelson

Belinda Collins

Bill Lawton

Kristian Logan

Jim Ailes

Scott Zender

Ray Bahrami

OLD BUSINESS:

1. Review of October 16, 2025 TRC Meeting Minutes

*Chris Carson moved to approve the minutes as presented,
Ray Bahrami seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

2. **Applicant Name:** Parker Mynchenberg – Parker Mynchenberg & Associates
Project Name: SP25-146 – Class II Site Plan for MT Propeller
Project Location 2.51 acres located at 1650 Old NDB Rd
Description: 2-story building for the assembly and installation of aircraft propellers
Project Manager: Chris Carson

*Sam Nelson moved to conditionally approve the application with the following four conditions:
Add a note to the site plan that the monitoring wells will be abandoned and/or relocated in accordance with
FDEP guidelines, add a note to the site plan sheet that the Skydive Drive right of way is to be vacated,*

*revise the lease line boundary according to the Airport Manager's coordination and recommendation and
revise the plans to address all staff comments,
Jim Ailes seconded the motion.*

The TRC Committee voted unanimously in favor of motion.

Applicants Present:

Peter Marshall – MT Propeller, VP
Gus Spreng – GSE Inc.
Jonathan Kephart – PECK
Vincent Sancho – P&A Construction
Steve Buswell – PMA

NEW BUSINESS:

1. **Applicant Name:** Frank Rojas – Wal-Mart Stores
Project Name: SP25-194 – Class II Site Plan for Walmart Fuel Station
Project Location: 1.9 acres located at 1699 N Woodland Blvd
Description: 1,618 SF Gas Station
Project Manager: Belinda Williams Collins

Applicants Present:

Evan Jackson – CPH

*Belinda Collins moved to conditionally approve the application, subject to all comments being satisfied,
Scott Zender seconded the motion.*

The TRC Committee voted unanimously in favor of motion.

OTHER BUSINESS:

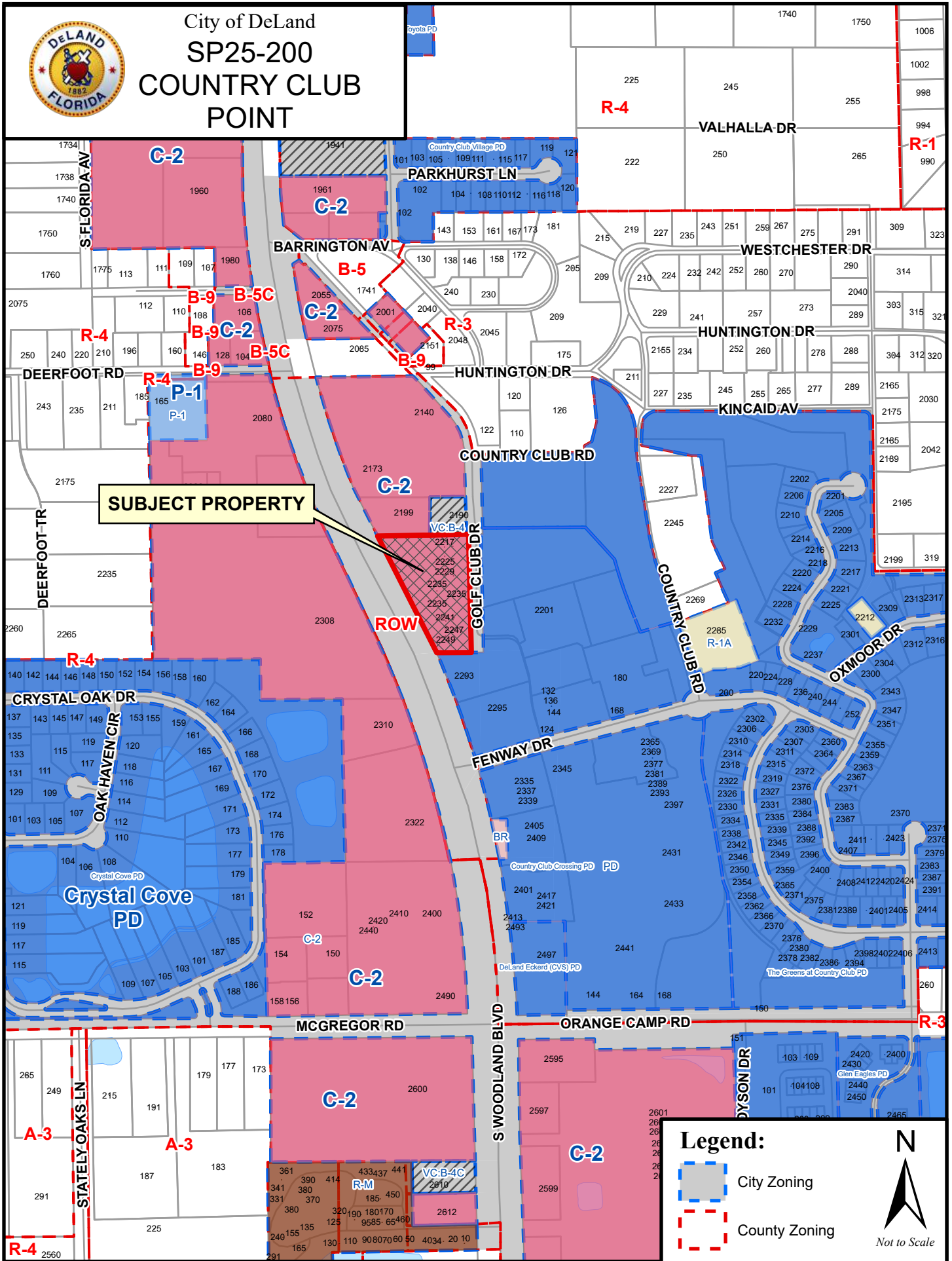
None.

ADJOURNMENT:

2:20 pm



City of DeLand
 SP25-200
 COUNTRY CLUB
 POINT



Legend:

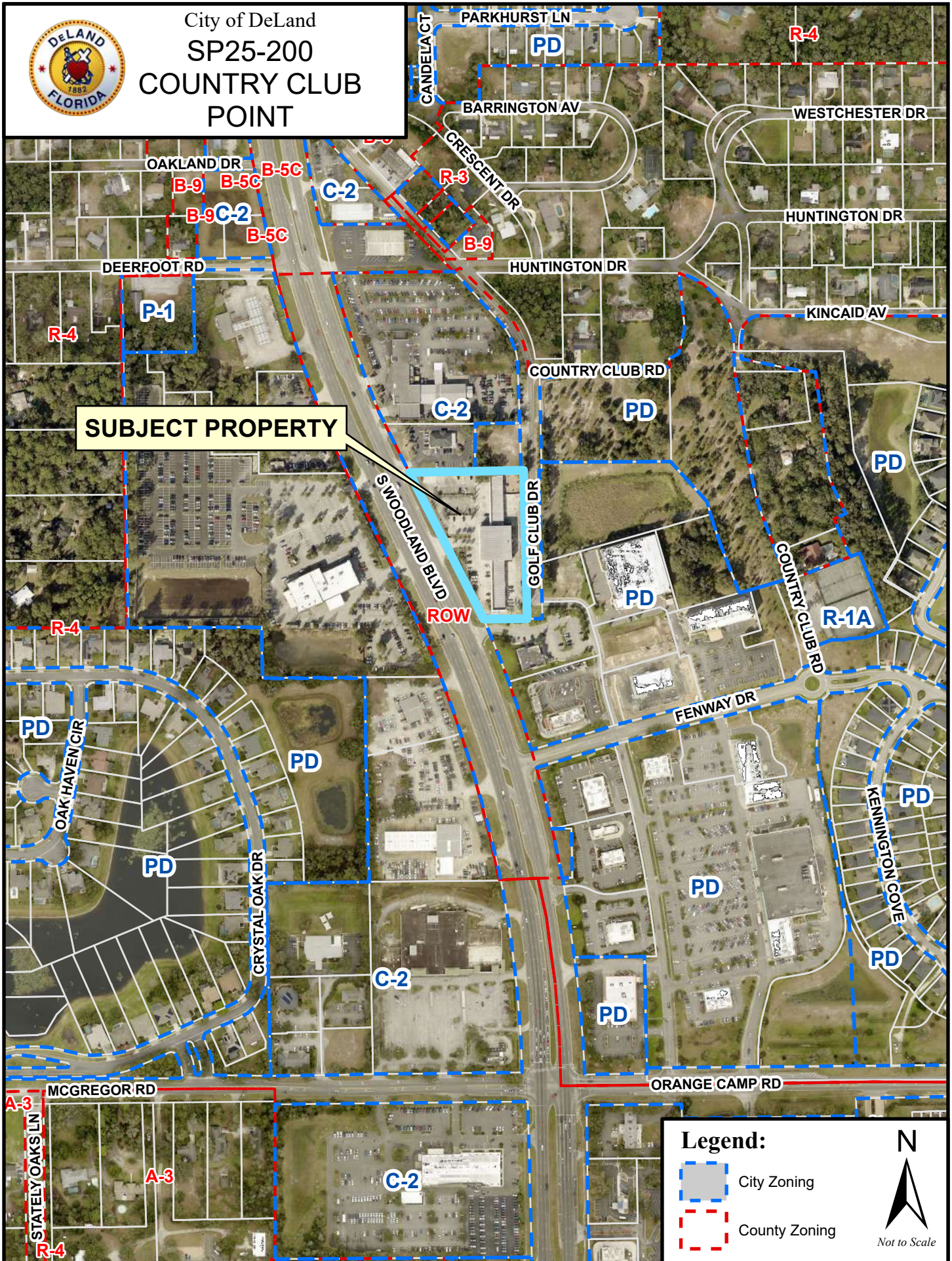
- City Zoning
- County Zoning

N

Not to Scale






City of DeLand
SP25-200
COUNTRY CLUB
POINT



SUBJECT PROPERTY

Legend:

-  City Zoning
-  County Zoning

N

Not to Scale

Issues for record SP25-200

Job Address: 2219 S WOODLAND BLVD, DELAND FL 32720

Job Description: Redevelop existing shopping center to include demolition and rebuild along with all associated site work.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Utilities	Draft	Force Main Per city specification, a check valve needs installed after plug valve.	C2.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Irrigation All irrigation shall be connected up to reclaim and not potable water source. Reclaim is available on Woodland and Gulf Club Drive. A connection exists on Gulf Club at this time.	C2.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Change Info 1102 S. Amelia 386-626-7252	C0.1	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	USA This project will require a utility service agreement to be signed prior to construction.	C0.0	Jim Ailes	Jim Ailes	Yes
Traffic	Draft	Site Circulation Adjust drive aisles and parking configuration to provide better overall site circulation	C1.0	Christopher Carson	Christopher Carson	Yes
Traffic	Draft	Sidewalk Provide sidewalk along Gulf Club Dr. Be sure sidewalks are interconnected. Can the proposed sidewalk be reconfigured to provide more direct pedestrian access.	C1.0	Christopher Carson	Christopher Carson	Yes
Traffic	Draft	Traffic Please add ITE trip generation calcs to sheet C1.0. Since the proposed project generates greater than 1,000 daily trips, a full TIA is required. Please submit a TIA methodology for review.	C1.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Dumpster location Can the dumpster location be swapped with the handicapped spaces? Consider a shared dumpster for all 3 lots.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Manufacturer's colors Please provide the manufacturer's colors and light reflectance value (LRV). See section 33-94.03(e)	A3.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Sign Permits A separate sign permit is required for all signage, including all logos.	A3.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Show dimensions Please add dimensions to the building.	A3.0	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Bypass lane Please label the bypass lane.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	HC Spaces Spaces for handicapped parking shall measure 12 feet wide by 20 feet long and shall be located adjacent to handicap access ramps. The spaces on the site plan are only 19' long. Please revise. 33-91.06(b)6	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Lot Dimensions Please provide the linear dimensions for the lot lines being proposed.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Each lot must stand alone When subdividing, each of the 3 lots must meet the land development regulations individually, including, but not limited to, ISR, FAR, TPA, Parking, stormwater, setbacks, etc.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Site Plan for Lots 2 & 3 A site plan will be required for future improvements/development on lot 1 and/or lot 2.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	FAR Provide the calculations for the floor area ratio. Max. is 1.0 FAR in the Highway Commercial (HC) future land use designation.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	LS Buffers Provide the following details for each landscape buffer location (N/S/E/W): type, linear footage, width, required canopy/understory/shrubs per 100 LF; provided canopy/understory/shrubs. North: 348 LF/width Required: N/A Provided: # canopy; # understory; # shrubs South: 140 LF/width Required: N/A Provided: # canopy; # understory; # shrubs East: Type D, 30' wide, 472 LF Required: 6.8 canopy/100 LF 4.5 canopy/100 LF 33 shrubs/100 LF Provided: # canopy # understory # shrubs West (Redevelopment Gateway): Type D, 30' wide, 404 LF Required: 6.8 canopy/100 LF	L1.0	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		4.5 canopy/100 LF 33 shrubs/100 LF Provided: # canopy # understory # shrubs				
Planning	Draft	Easements Parking and cross access easements are needed if creating new lots.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Bicycle parking Provide a table for the required bike parking calculations, per 33-91.03(l)	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	TPA width The min. TPA width for existing trees is 30' and min. TPA width for proposed area is 20'. This is not being met. (33-57.07b4)	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	floor plan Please provide a floor plan for the coffee shop.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	rooftop equipment to be screened Will there be any rooftop mechanical equipment? If yes, show all rooftop mechanical equipment as dashed lines behind a screen wall.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Parking Calc Table Provide a table with parking space information. Include the calculations for each use, showing how you came up with the number of spaces needed, per code.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	nothing in TPA No signage is permitted in the tree protection area. Please remove this area from your TPA calculations.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Plat required A subdivision plat is required prior to site plan approval. This can be done through the combined preliminary/final plat combination. As part of the plat, all stormwater ponds and tree protection areas must be put into individual tracts.	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Site Data Add to site data: Zoning (C-2) FLU (Highway Commercial) Overlay (Redevelopment) Bldg max. height	C1.0	Kendall Story	Kendall Story	Yes
Planning	Draft	setbacks show the setbacks of the building to each property line.	C1.0	Kendall Story	Kendall Story	Yes

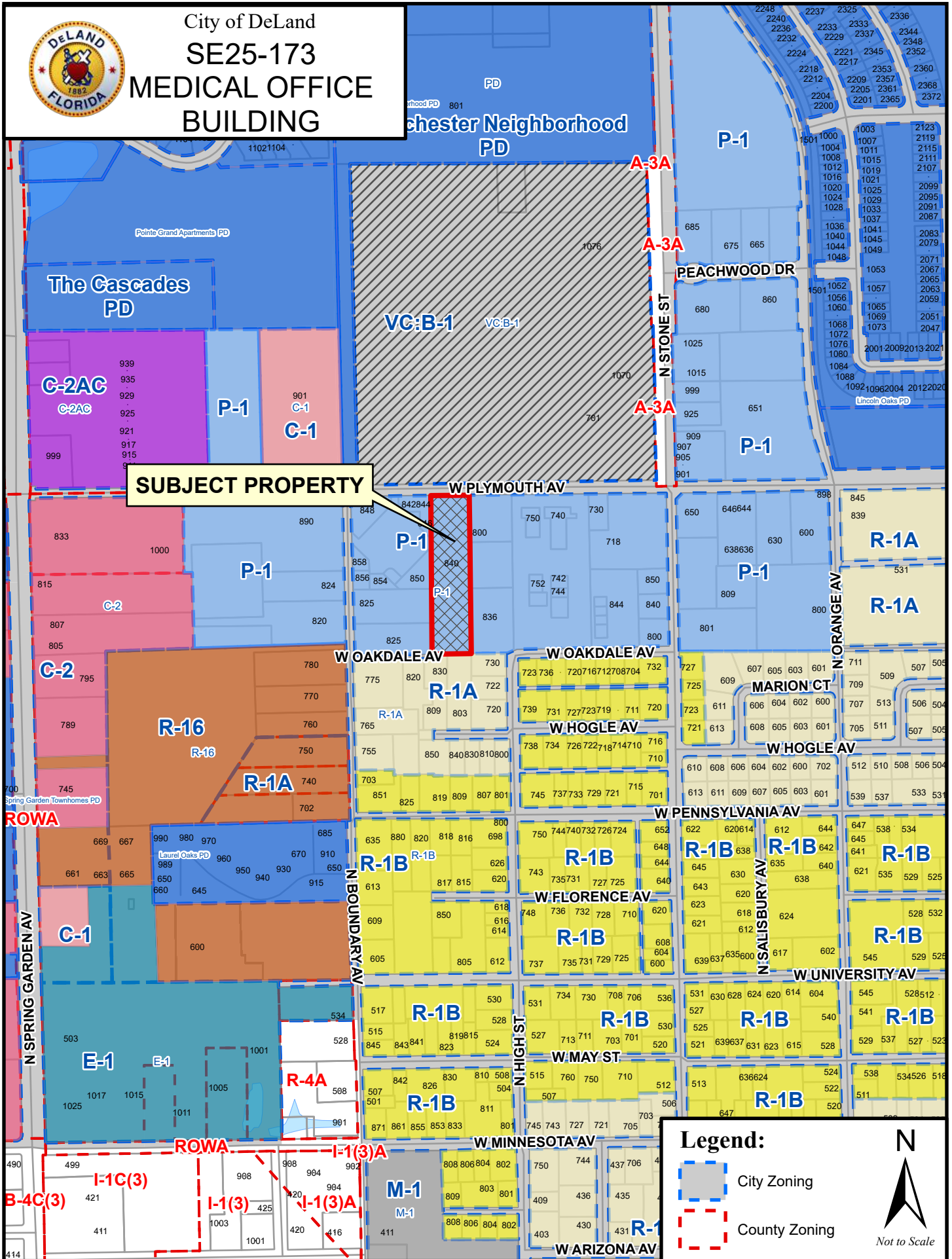
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Building dimensions Add building dimensions on the site plan	C1.0	Kendall Story	Kendall Story	Yes
Forestry	Draft	Minimum Coverage The minimum tree coverage requirement is 276" DBH. Based on the trees proposed to remain, it appears that minimum coverage requirements will be met on this site.	C0.0	Laureen Kornel	Laureen Kornel	No
Forestry	Draft	Replacement Trees Once the size requirements are adjusted on the Plant List, the project will meet the tree replacement requirement.	L1.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Plant List This tree is listed on the City's Approved Tree List. Furthermore, it is not in DeLand's USDA hardiness zone. You may plant this on site, but it may not be counted towards the replacement or buffer requirement.	L1.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Address on Cover Sheet The address on the cover sheet reads "2235". The address on the application reads "2219". Which address will be used for this project?	C0.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Protection Plan Change "PRESERVATION" to "PROTECTION".	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Protection Plan Change "PRESERVATION" to "PROTECTION"	C0.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Historic Live Oak On 12.01.2025 city staff verified this live oak tree located outside the boundaries of the subject property is historic with a 38" DBH. The tree lies just to the North of the property on the other side of a fence and wall. A tree barricade for an historic tree will be required in accordance with the City's Historic Tree Barricade Detail. Since a portion of the tree crown hangs over the building roof proposed for demolition, the City has concerns about damage to the crown of the historic tree during demolition. Please ensure a private ISA Certified Arborist is on site during demolition. 1. Besides the required tree barricade, what additional measures/care will be taken to avoid damaging the crown of the historic tree? 2. How will the roof of the existing structure proposed for demolition be removed? 3. Verify if the fence and wall are planned to remain.	C0.2	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Minimum Caliper Requirement The LDR caliper requirement is not less than 3" (2"DBH). Please revise the minimum size requirement. Also include the crown diameter (spread) and the gallon size in accordance with the FL Grades and Standards	L1.0	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	<p>Tree Protection Area (TPA) Demonstrate that the required TPA is met for this project.</p> <p>TPA: 115,173 sq. ft. x .15 = 17,276 sq. ft.</p> <p>Please add the total tree protection area square footage to the legend on the plan.</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p>Minimum Coverage Demonstrate minimum coverage is being met. Minimum coverage is calculated by multiplying the # of trees required by 6" DBH for a total of 276" DBH required.</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p>Laurel Oak Staff verified this tree is a Laurel Oak on 12.01.2025</p>	VC28-17-30PARCEL240 Tree & Topo Survey.pdf	Laureen Kornel	Laureen Kornel	No
Forestry	Draft	<p>Tree Barricade Details Use the City's tree barricade details for historic and protected trees.</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p>Historic Tree On 12.01.2025 city staff verified this live oak tree located outside the boundaries of the subject property is historic with a 38" DBH. The tree lies just to the North of the property on the other side of a fence and wall. A tree barricade for an historic tree will be required in accordance with the City's Historic Tree Barricade Detail. Since a portion of the tree crown hangs over the building roof proposed for demolition the City has concerns about damage to the crown of the historic tree during demolition.</p> <p>1. Besides the required tree barricade what additional measures/care will be taken to avoid damaging the crown of the historic tree? 2. How will the roof of the existing structure proposed for demolition be removed? 3. Verify if the fence and wall are planned to remain.</p>	VC28-17-30PARCEL240 Tree & Topo Survey.pdf	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p>TPA Add to the legend the Tree Protection Area to clearly identify those areas called out for tree protection.</p>	L3.0	Laureen Kornel	Laureen Kornel	Yes
Fire	Draft	<p>Fire Hydrant An additional fire hydrant will be need on site (see areas indicated)</p>	C1.0	Jamie Lunsford	Jamie Lunsford	Yes
Engineering	Draft	<p>Stormwater Discharge Although the site will retain the 100yr/24hr storm event, where will larger storm events discharge to?</p>	C3.0	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	<p>FDOT Utility Permit Required Obtain and provide an FDOT Utility Permit.</p>	C2.0	Steven Danskine	Steven Danskine	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Permits Provide the FDOT Drainage Connection and St Johns River Water Management District ERP Permit prior to construction.	2025.0815 - Stormwater Report.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Flood Zone X According to the FIRM Panel listed, the entire site lies in Flood Zone "X", not the majority.	2025.0815 - Stormwater Report.pdf	Steven Danskine	Steven Danskine	Yes



City of DeLand
SE25-173
MEDICAL OFFICE
BUILDING



Legend:

- City Zoning
- County Zoning

Not to Scale

Issues for record SE25-173**Job Address: 840 W PLYMOUTH AV, DELAND FL 32720****Job Description: ~18,000 SF Medical Office and parking lot and stormwater pond.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Drainage 1. The site as it currently exists appears to collect stormwater from adjacent properties. This existing on site flow must be accommodated in the post development condition. 2. The stormwater design must retain the 100yr/24hr storm event on site.	C-102	Steven Danskine	Steven Danskine	Yes
Fire	Draft	Proposed Structure and Site 1. Building will required Fire Sprinkler and Fire Alarm Installation. 2. Project will require the installation of at least one and possibly two fire hydrants. 3. Measurements on drive lanes needed to determine adequate fire apparatus access.	C-102	Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	Landscape Plan Prior to the Site Plan stage, a Landscape Plan is required in accordance with Section 33-57 of the LDR.	C-102	Laureen Kornel	Laureen Kornel	No
Forestry	Draft	Tree Replacement/Landscaping Based on the data provided, there is not sufficient information to review the tree replacement/landscaping requirements for the project.	C-102	Laureen Kornel	Laureen Kornel	No
Forestry	Draft	Historic Trees Verify if there are any historic trees. The LDR lists the following trees as historic: 1. Bald Cypress if 20" DBH or larger 2. Live oak and sand live oak if 25" or larger DBH 3. Red cedar if 25" or larger DBH The tree survey shall identify oaks by species during future submissions. This project may impact historic trees. Historic tree removals are reviewed by the Tree Advisory Committee and approved by the City Commission. You may need to modify your proposed design to avoid impacting these trees if their removal is not approved.	C-102	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	General Comments for Site Plan Stage a. During future submissions, a tree survey, completed tree worksheets, landscape plan, and an irrigation plan will be required. b. At least 15 percent of the site will need to be designated as tree protection area, and a minimum of one tree per 2,500 square feet will need to remain or be planted on the site. c. Removal of trees will require at least one third diameter replacement. Removal of specimen trees will require 50% replacement of the DBH inches lost. Unhealthy	C-102	Laureen Kornel	Laureen Kornel	No

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		<p>specimen trees, as determined by the city forester, will be replaced at the same rate as non-specimen protected trees.</p> <p>d. The City's current list of specimen trees can be found in Section 33-57.05(c)1 at: ARTICLE VI. - RESOURCE PROTECTION STANDARDS Code of Ordinances DeLand, FL Municode Library Laurel Oaks (<i>Quercus laurifolia</i>) which are larger than 20" DBH and in deteriorated condition may be replaced by one two-inch DBH (three-inch caliper) minimum sized canopy tree from the "List of Permitted Shrubs and Trees for Landscaping and Tree Protection." An Arborist Report documenting the deteriorated trees will be required to receive reduced replacement. Removal of all other non-specimen protected trees greater than 6" DBH will require the replacement of one third of the DBH inches lost.</p> <p>e. Any historic tree that is proposed for removal will require a review by this office, recommendation by the City Tree Advisory Committee and approval by City Commission. The developer must demonstrate that the tree is a hazard or that it is not economically or practically feasible to develop the parcel without removing the historic tree. Historic trees are defined as Bald Cypress 20-inches or larger DBH, Live Oak 25-inches or larger DBH, and Red Cedar 25-inches or larger DBH.</p> <p>i. For historic trees that will be preserved, tree protection fence must be installed by the contractor and inspected by the City Forester prior to any land disturbing activity.</p> <p>ii. Unless the applicant proposes a method of root protection which is acceptable to the City, no construction activity shall take place within an area equal to one and one-half times the area of the drip line.</p> <p>2. All new Class II and Class III site plans require the following statement: "Tree barricades are required around all trees which have been designated on the site plan to be retained and protected. Prior to any clearing or construction activity occurring on the site, tree barricades shall be constructed by the contractor and approved by the City."</p> <p>g. A Tree Barricade detail showing how remaining trees will be protected needs to be included on all Site Plans. A barrier needs to be constructed around your Tree Protection Area and at the drip line or ten feet from each tree that will remain, whichever area is larger. An example of a Tree Barricade detail can be found at: Tree Permitting DeLand, FL</p>				
Planning	Draft	<p>General Site Plan Comment Sec. 33-134.07. The development and use of the site of an approved special exception shall be in accordance with the approved site plan and application materials. To ensure this, please submit a concurrent site plan application.</p>		Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p>Building Height Please provide the proposed building height on the plan.</p>	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p>Building Perimeter Sidewalk Is the sidewalk surrounding the building required? If not, please remove the unneeded portions to improve landscaping/drainage/tree preservation.</p>	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	<p>Parking Stall Length Parking stalls are required to be a minimum of 9-ft wide by 19-ft long, and 12-ft wide by 20-ft long for ADA stalls. Two feet of vehicle overhang is permitted, but any area where vehicle overhang is used may not count towards landscaping area.</p>	C-102	Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		As the parking stalls are shorter than the requirement, please confirm that any vehicle overhand does not encroach into required landscaping area.				
Planning	Draft	Pedestrian Connectivity Please provide pedestrian connectivity from W. Plymouth Ave to the medical office building.	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Dumpster Enclosure Please provide the dimensioned location of any dumpster/trash/waste enclosures on the plan.	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Drive Aisle Width Please show the widths of drive-aisles on the plan. Note, drive aisles are required to be a minimum of 24'.	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Mixed Office - Residential: Adjacent Residential Single-family residential uses border this property to the south and southwest. The Mixed office/residential land use designation requires buffers to minimize visual impacts when residential is adjacent to nonresidential. Please provide enhances plantings or screening walls/fencing when adjacent to these residential areas.	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Landscape Buffer This property is located in the Core Gateway District, which requires a minimum 15' Class "B" Landscape Buffer along street frontages and incompatible land uses. Additional plantings/buffering is permitted. A landscaping plan must be provided at the time of site plan.	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Parking When calculating the number of required parking spaces, the code calculates the net area at 85%. Based on my calculations, 105 parking spaces $((18,370 \times 0.85) / 150 = 104.096)$ are required. Please update the calculation to show the 85% net area and provide the updated parking count.	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Impervious Coverage Please show the provided impervious surface ratio on the site plan.	C-102	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Tree Protection Area Per 33-57.07., fifteen percent of the square footage of any new development shall be designated for the protection of trees. Please show the proposed tree protection area on the plan.	C-102	Samuel Nelson	Samuel Nelson	Yes

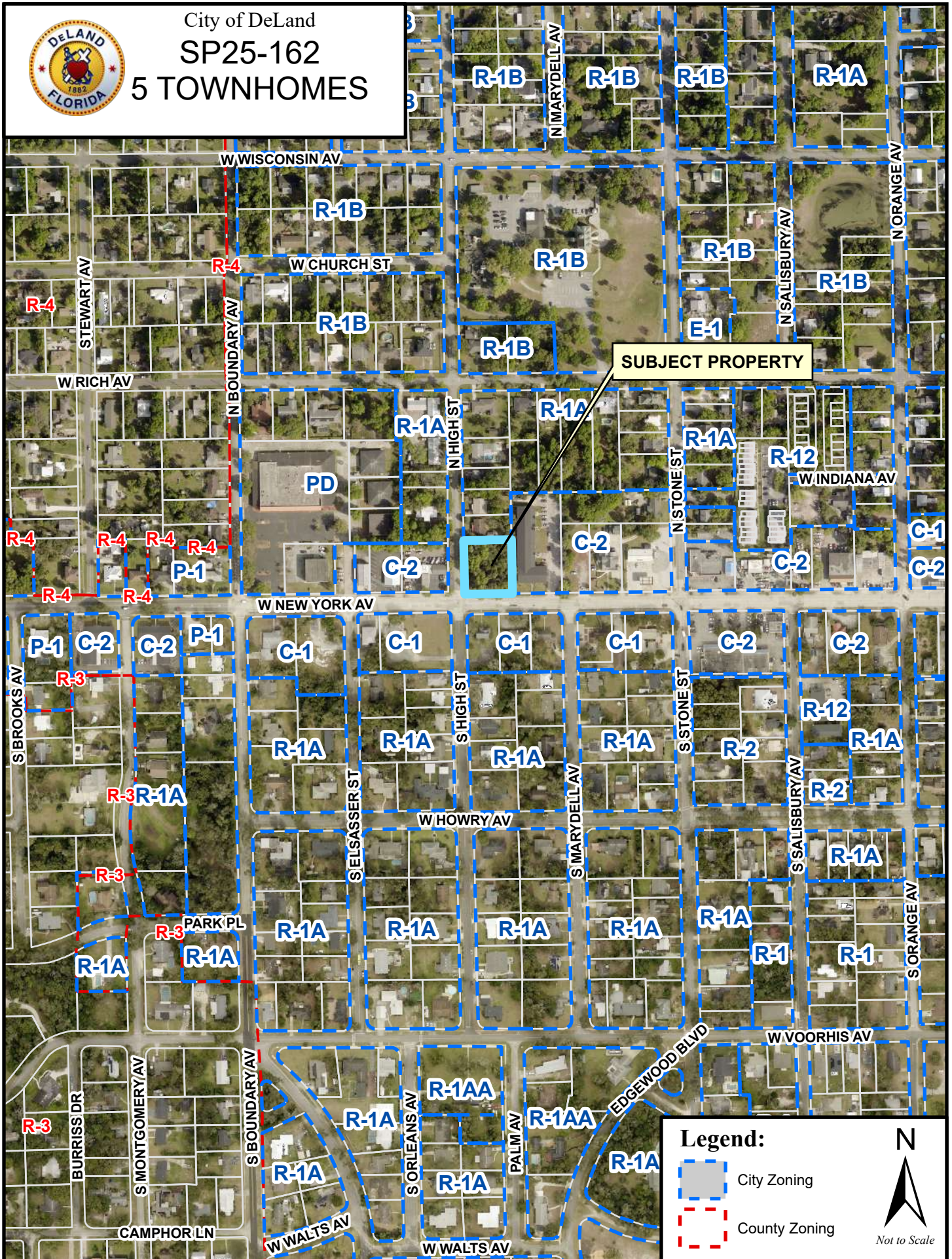
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Utilities	Draft	Utilities Site will be required to hook up to water, sewer, and reclaim. Project may require a utility service agreement.	C-102	Jim Ailes	Jim Ailes	Yes

Conditions and notes for record SE25-173**Job Address: 840 W PLYMOUTH AV, DELAND FL 32720****Job Description: ~18,000 SF Medical Office and parking lot and stormwater pond.**

Discipline	Status	Type	Details	Attached To	Created By
			Special Exception Criteria Please note the criteria for the medical office special exception:		
Planning	Draft	Note	Sec. 33-18.15. Medical and dental clinics. Such clinics should be built to the minimum requirements for the promotion of public health, safety, and general welfare of the community, while conforming to the provisions herein enumerated in this section, and must comply with all applicable city, county and state health regulations. Each application shall be granted only after specific review and consideration by the city commission.	C-102	Samuel Nelson
			Medical Service Overlay District - Voluntary		
Planning	Draft	Note	This property is located within the Medical Service Overlay District, which may provide allowances for medical development subject to additional standards. Opting to use the medical service overlay standards is voluntary. If not used, a medical clinic over 5,000sf requires a special exception.	C-102	Samuel Nelson
			Transportation		
			Informational: The project will not exceed the threshold for requiring a TIA.		
			For the site plan submittal:		
Traffic	Draft	Note	*Include the ITE trip generation calculation on the same sheet as the site data table. *Ensure a continuous pedestrian path from the sidewalk along the right of way to the front door. *Realign the driveway to reduce the number of conflict points with the driveway across the street. *Please provide cross-access with the property to the east.	C-102	Christopher Carson



City of DeLand
SP25-162
5 TOWNHOMES



Issues for record SP25-162

Job Address: 0 N High ST, Deland FL 32720

Job Description: Development of (5) Townhomes on the corner of W. New York Ave and North High Street with associated private road, driveways, utility connections, and on-site stormwater treatment.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Runoff Not all stormwater runoff will percolate through the Permeable Pavers. There should be a curb or other means of containing and directing runoff to the Type E Catch Basin.	10	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	100 Yr Rainfall Amount The Stormwater Summary table lists the 100-Yr rainfall amount as 12.2" while the ICPR 4 Model input is 11.2". Please review for consistencies.	Drainage Report - N High St - TH - ESS.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Drainage Report 1. It is not clear how pipe lengths, inverts, weirs, etc. can be validated against the Drainage Report. There appear to be inconsistencies. Please clarify.	10	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	CN A site visit and the survey indicate that the site is not "Open Space," but forested. Please revise the Pre-Development CN accordingly.	Drainage Report - N High St - TH - ESS.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	CN While the Permeable Pavers will retain a certain amount of runoff immediately, a Post-Development CN of 0 seems unlikely. Please substantiate why a CN of 0 is appropriate.	Drainage Report - N High St - TH - ESS.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Outfall Weir 1. According to the Drainage Report, the peak stage of the 100yr/24hr storm event is 75.25', and the weir elevation is 75.00'. This would mean that the pond would overflow before the 100yr storm event is contained. 2. Please provide overflow weir details including a skimmer to retain oils and floatables on site.	10	Steven Danskine	Steven Danskine	Yes
Forestry	Draft	DBH Replacement Requirement It does not appear that sufficient tree replacement has been provided. Please provide sufficient trees such that at least 1/3 diameter of any tree removed is replaced. Once the minimum coverage requirement has been met, any inches not planted on site can be	18	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		mitigated by a contribution of \$75.00/inch not planted into the Tree Replacement Account.				
Forestry	Draft	Tree Species Identification Based on a field review by City Staff, 12.04.2025, it appears that all trees on the property are Laurel Oaks. Please confirm species identification and update the Existing Tree Chart.	18	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Landscape Plan Change "desirable" to "protected" throughout the plan.	18	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Required Tree Protection Area Revise the wording from "Tree Protective Area" to "Tree Protection Area" in the first line of the Tree Summary Table. Revise the wording from "Landscape Preservation Buffer" to "Tree Protection Area/Landscape Buffer Provided" in the second line of the Table.	18	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Protection Area Clearly show the limits of the Tree Protection Area. The required landscape buffer can be included as Tree Protection Area.	18	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Note: The location of the trees shown on this plan do not appear to match the trees shown on Sheet C8.0. Please update with correct information.	4	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Protection Change "tree protection" to "tree barricade" and show the trees on this plan or create a separate tree protection plan page.	4	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Minimum Coverage Demonstrate how minimum coverage is being met. 22,613 divided by 2,500 sq. ft. = 9 trees x 6" DBH = 54" total replacement inches to meet minimum coverage. Include this with the Tree Summary Table. It appears that you will have sufficient trees to meet minimum coverage requirements based on the 97" DBH proposed to remain.	18	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Replacement Chart Please include the following data in this chart: Species, trunk caliper or DBH, tree height, crown spread and gallon size in accordance with the Florida Grades and Standards	18	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Survey Provide a separate Tree Survey for property. The tree survey should provide the location, drip line, diameter at 4.5 feet (DBH), and common name of all trees measuring six inches	4	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		<p>or greater DBH located within the property or with 10 feet of the property, including rights-of-way. Please show the location, exact number and common names of trees to be removed, relocated, or replanted on the property.</p> <p>The tree survey should also provide tabular data concerning the total DBH of specimen and non-specimen trees to be removed from the property. You will need to replace one half of the specimen tree inches DBH lost and one third of the inches DBH of other trees lost.</p> <p>The tree survey should identify oaks by species to assist in determination whether trees meet the requirements to be considered specimen or historic trees. Live Oak (<i>Quercus virginiana</i>) is considered specimen at 10 inches or greater and Turkey Oak (<i>Quercus laevis</i>) is considered specimen at 12 inches or greater. Live Oak greater than 25" DBH is considered historic.</p> <p>Palms with more than 5 feet clear trunk must also be included in tree surveys.</p>				
Forestry	Draft	<p>Landscape Plan Notes Add Landscape Notes and include a statement that all replacement trees will be Florida #1 or better.</p> <p>All trees planted will need to meet the criteria for a Florida #1 tree as described in the most current edition of the Florida Department of Agriculture and Consumer Services Grades and Standards for Nursery Plants. The minimum size for replacement trees is 3" caliper and eight feet in height.</p> <p>Section 33-57.05(d) requires 100 percent DBH replacement of historic trees and replacement stock of 6" caliper canopy trees.</p>	18	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p>Historic Tree(s) Section 33-57.05(d) requires 100 percent DBH replacement of historic trees and replacement stock of 6" caliper canopy trees. Please provide a summary of historic tree removal and add sufficient trees to your landscape plan to replace the historic trees removed. None of the trees currently proposed meet the historic tree replacement requirement.</p> <p>Tree calculations and tables will need to be revised based on new calculations.</p>	18	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	<p>Historic Tree(s) Any historic tree that is proposed for removal will require a review by this office, recommendation by the City Tree Advisory Committee and approval by City Commission. The developer must demonstrate that the tree is a hazard or that it is not economically or practically feasible to develop the parcel without removing the historic tree. Historic trees are defined as Bald Cypress 20-inches or larger DBH, Live Oak 25-inches or larger DBH, and Red Cedar 25-inches or larger DBH.</p> <p>i. For historic trees that will be preserved, tree protection fence must be installed by the contractor and inspected by the City Forester prior to any land disturbing activity.</p> <p>ii. Unless the applicant proposes a method of root protection which is acceptable to the City, no construction activity shall take place within an area equal to one and one-half</p>	18	Laureen Kornel	Laureen Kornel	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		times the area of the drip line. 2. All new Class II and Class III site plans require the following statement: "Tree barricades are required around all trees which have been designated on the site plan to be retained and protected. Prior to any clearing or construction activity occurring on the site, tree barricades shall be constructed by the contractor and approved by the City." g. A Tree Barricade detail showing how remaining trees will be protected needs to be included on all Site Plans. A barrier needs to be constructed around your Tree Protection Area and at the drip line or ten feet from each tree that will remain, whichever area is larger. An example of a Tree Barricade detail can be found at: Tree Permitting DeLand, FL				
		Tree Barricade Details Use the City's tree barricade details for historic and protected trees.				
Forestry	Draft	The following statement is required to be placed on all new Class II and Class III site plans: "Tree barricades are required around all trees which have been designated on the site plan to be retained and protected. Prior to any clearing or construction activity occurring on the site, tree barricades shall be constructed by the contractor and approved by the City."	18	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Tree Barricade Detail Use the City's Tree Barricade detail for historic and protected trees.	4	Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	Drawing Index Add to the Drawing Index the following sheets: 1. Irrigation Plan 2. Tree Protection Plan 3. Tree Survey	1	Laureen Kornel	Laureen Kornel	Yes
Planning	Draft	Stormwater Infrastructure Stormwater infrastructure cannot be located within the landscape buffers.	6	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Signage Is there proposed signage? If so, please provide the location, and make note that separate building permit is required.	6	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Ownership Will these units be fee simple? Also will there be an HOA?	6	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Right Elevation Please add an architectural element such as a projection, recesses, material change, etc. to break up the right elevation facade.	A200	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Screening Fence The left elevations show fencing which does not match the site plan fencing. Please clarify the location of the AC units and where the fencing will be located.	A200	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Waste Will there be individual waste totes or a centralized dumpster enclosure?	6	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Rooftop mounted equipment Will there be any rooftop mounted mechanical equipment? If so, parapet shall fully screen.	A200	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Powerlines All on-site powerlines & utilities shall be underground.	6	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Mailbox Will there be a single mailbox for the entire development ?	6	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Required Berm Residential buffers along an arterial or collector roadway shall contain a berm along with the required plant material to screen the view of the roadway. If existing vegetation provides appropriate screening, a berm will not be required.	18	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Transparency Please make sure all sheets are fully transparent.	12	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Tree Protection Area Be sure to clearly delineate the proposed tree protection areas (TPA) and include the TPA widths.	18	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Stormwater Consider the use of a water cistern to accommodate drainage capacity. Coordinate with Steve Danskine to determine if this is a possibility. If this is feasible, the cistern should also be utilized for irrigation.	18	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Rain Garden Consider making the areas west and east of the building facade (and not inside tree protection areas) a rain garden or slight depression for additional stormwater capacity.	18	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Irrigation Plan Provide an irrigation plan, or demonstrate that adequate plantings will be maintained without an irrigation system. 100 % native species required and means of temporary irrigation shall be provided for a minimum of 1-year.	18	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Landscaping Plan A full landscape plan is required showing all proposed plantings including trees, shrubs, groundcovers, & perennials with an emphasis on native species & right-plant, right-place principles. The rain garden will need plantings for proper function. The building facade requires understory trees and shrub plantings along the south and west facade to conform with community design standards. Please minimize the use of sod.	18	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Consider separating the tree mitigation information into a separate "tree replacement plan" sheet.				
Planning	Draft	Proposed Plantings The replacement live oaks are in close proximity to a water line. Consider an alternative species with a less invasive root system such as drake elm. Coordinate with Forestry for other suggestions.	18	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Photometric Plan Provide photometric plan in accordance with Dark Sky Lighting Standards.	6	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Easements Call out any existing & proposed easements. A Pedestrian use easement will be required for any portion of sidewalk that cannot be constructed in the right of way but intended for public use.	6	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Fence Labels Be sure to call out any walls or fences. Also make a note that separate building permit is required.	6	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Trees / Pond Shape Can the pond shape be adjusted to preserve trees 19, 20, & 21?	18	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Sheet C4.2 Dimensions Please move these dimensions to sheet C4.1.	7	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Landscape Buffers A 15' type B Core Gateway buffer is required along the north, east, south, and west property lines. The buffer shall include a minimum of 3.6 canopy trees, 1.2 understory trees, and 12 shrubs per 100 linear feet. Please delineate these on the plan. Provide the following details for each landscape buffer location (N/S/E/W) on the landscape plan sheet: type, linear footage, width, required canopy/understory/shrubs per 100 LF; provided canopy/understory/shrubs. Refer to LDR Sec. 33-92 for specific buffer requirements.	6	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	<p>Site Data Table Please update the site data table to include the following information:</p> <ul style="list-style-type: none"> -Number of Dwelling units -Proposed & Allowable Density (Dwelling Units/Acre) - Required Setbacks - Proposed & Allowable Height 	6	Christopher Carson	Christopher Carson	Yes
Planning	Draft	<p>Dimensions Provide both lot & building dimensions. For the lot dimensions use survey.</p>	6	Christopher Carson	Christopher Carson	Yes
Planning	Draft	<p>Sidewalks Provide 5' sidewalk along the N. High Street right of way. The sidewalk shall provide connectivity to the front door of each townhome. Consider a wider sidewalk (> 5') from the W. New York Ave. r/w to the townhome frontages.</p> <p>Consider splitting the rain garden into two to provide a path in between. If the rain garden is to remain a single pond, consider a pedestrian bridge.</p> <p>The existing sidewalk & crosswalk may need retrofit for ADA compliance by adding curb ramp & tactile surface.</p>	6	Christopher Carson	Christopher Carson	Yes
Planning	Draft	<p>Front cover Sheet Remove data from the project information table that is irrelevant. Any information that is relevant should be entirely filled out.</p>	1	Christopher Carson	Christopher Carson	Yes
Planning	Draft	<p>Front cover Sheet</p> <ul style="list-style-type: none"> -Provide scale for vicinity map. -Provide complete legal description of the property. -Provide metes and bounds description with reference to section, township and range, tied to a section or quarter section or subdivision name and lot number(s). -Provide the area of the property shown in square feet and acres. -Provide a short description of the use proposed. 	1	Christopher Carson	Christopher Carson	Yes
Planning	Draft	<p>Elevations Please label elevations as North, East, South, West</p> <p>Provide alternative door treatments for the rear elevation. This will be a front facade facing the New York Ave. right of way.</p> <p>Also consider the use of stone.</p>	A200	Christopher Carson	Christopher Carson	Yes
Traffic	Draft	<p>ITE Trip Generation Please add a note that the proposed development will generate $5 * 6.74 = 34$ trips per day according to ITE Use Code 220 - Multifamily (Low Rise)</p>	6	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Utilities	Draft	Water Main Extension Line is shown as a 2" and needs to be changed to a 6" to support the five meters. Add a five hydrant assembly and a 6" tee with GV and cap with 2" blow off.	14	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Tap Line being tapped is 6" and not 12" as called out on plans. A 6" x 6" tap and gate valve is required.	14	Jim Ailes	Jim Ailes	Yes



City of DeLand
Z25-206
DELAND ATRIUM
PD



SUBJECT PROPERTY

Legend:

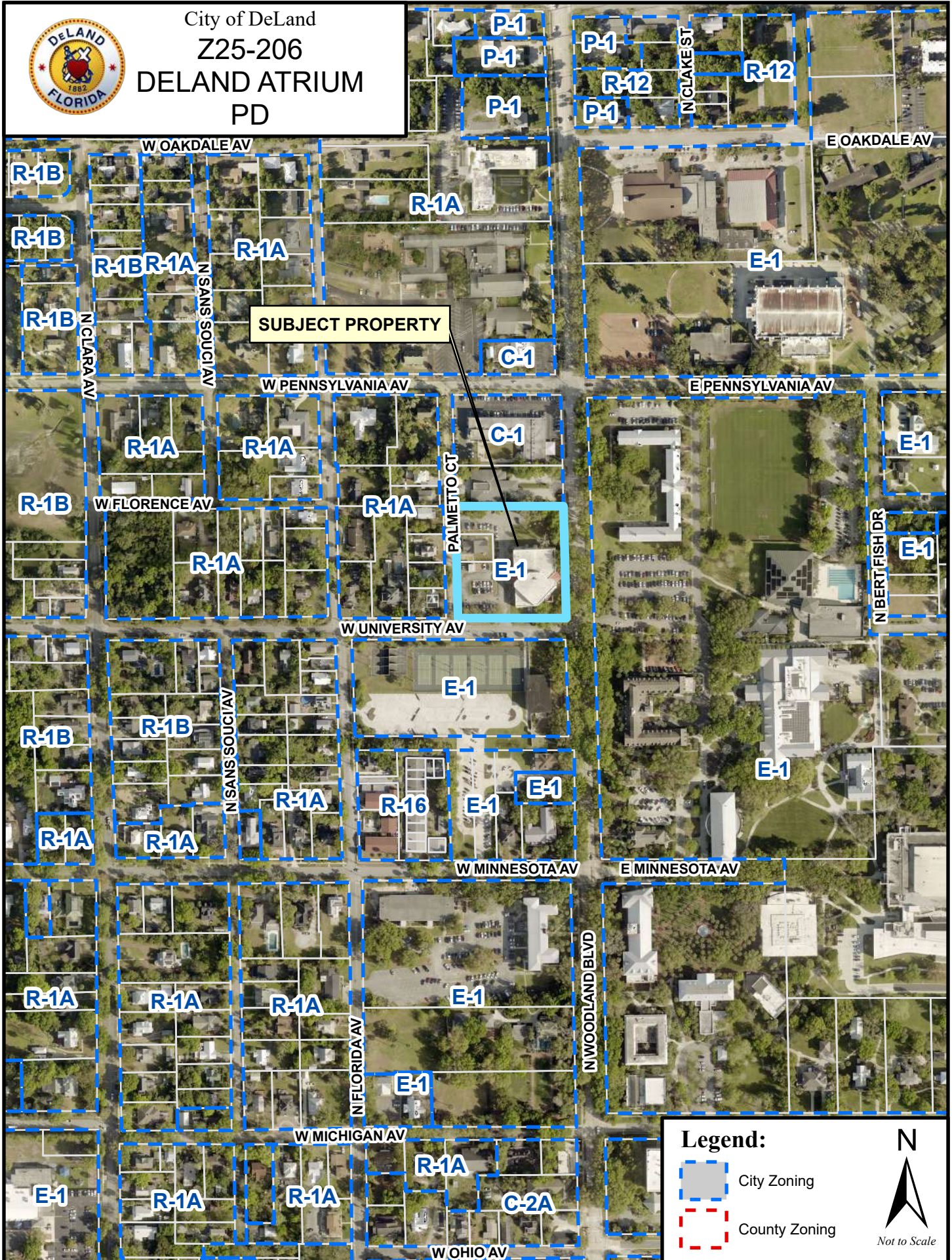
- City Zoning
- County Zoning

N



Not to Scale



City of DeLand
Z25-206
DELAND ATRIUM
PD



Legend:

-  City Zoning
-  County Zoning



Issues for record Z25-206

Job Address: 600 N WOODLAND BLVD, DELAND FL 32720

Job Description: Proposed a rezoning of the existing property from E-1 to Planned Development for expanded uses of the existing building.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	New Impervious Area Although the site is currently built out, any redevelopment shall be required to retain the 100yr/24hr storm event for all new impervious area.	PD Agreement 11.17.2025 draft.pdf	Steven Danskine	Steven Danskine	Yes
Forestry	Draft	Tree Replacement The Forestry Department notes there may be four missing trees (three trees on the northeast side of the property and one tree in the front yard along Woodland Blvd. by the wall sign). It is recommended to replace those four trees and add two trees each to the two landscaped islands in the rear parking lot to continue to meet the requirement of the original approved site plan. For clarification or any questions, please feel free to contact the City Forester at 386-626-7193.		Laureen Kornel	Laureen Kornel	Yes
Forestry	Draft	PD Agreement - Environmental Considerations Forestry concurs with planning staff's comments regarding trees and environmental considerations found in the document titled PD Draft - City Redline dated 12.22.2025, in the documents section of Accela for this project.		Laureen Kornel	Laureen Kornel	No
Planning	Draft	Neighboring Property Consider coordinating with the neighboring property owner to be included in PD rezoning.	C	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	PD Plan Add the information who prepared the plan and the date prepared	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Signature pages Add separate signature pages for applicants and one for owners	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Signature Lines Add signature lines for City Clerk and City Attorney	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Mechanical Equipment Add a section that mechanical equipment is required to be screened on all sides from pedestrian and public view	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Dark Sky Add a statement that any redevelopment or new lights will require to meet the dark sky standards.	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Stormwater Add a statement that the site is developed but any redevelopment will require to meet the 100 year/24-hr storm event standards	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Perimeter Buffers Provide the perimeter buffers in a table format to include the existing and proposed.	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Parking Provide parking requirements in a table format to include the existing and proposed	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Development Standards Provide development standards in a table format that includes existing conditions and proposed.	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Multi-family If keeping multi-family, provide a zoning district to default to in addition to providing standards for this use in the PD	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Allowed uses Revise this section based on the allowed uses we discussed at the pre-app meeting. Separate them out in section by the number of allowed square footage for each. For example: allowed in 5,000 sq. ft or less....	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Administrative amendments No administrative amendments may be authorized	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Existing building conditions Provide a section that outlines the existing building history, age built, original use, and your future plans for development.	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Zoning Designation - Default Include the ideal zoning designation and an intent statement for the potential Stetson uses	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Old Comp Plan reference Remove all references to "...Ordinance No. 1990-04, as amended"	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Old LDR reference Remove all reference to ...Land Development Regulations Ordinance No. 2013-11, as amended.	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Date application filed December 12, 2025 date filed	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	PD Name Revise to DeLand Atrium Planned Development (PD)	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Ordinance You don't need to worry about writing the ordinance, city staff will do prior to hearing.	PD Agreement 11.17.2025 draft.pdf	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Parking space dimension Provide dimensions of the parking spaces	C	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Callout Add a callout for what this is and provide the dimensions	C	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Drive up Dimensions Provide dimensions of the drive up area	C	Emily Ragusa	Emily Ragusa	Yes

1 **Section 4.** The approved Planned Development Plan for the DeLand Atrium PD, Planned
2 Development District, including the Development Agreement, Development Plan and other supporting
3 documentation (on file with the City Planning Department), are attached hereto as Exhibit "B" and by this
4 reference made a part hereof.

5 **Section 5.** The failure of the approved Development Plan to address a particular permit, condition,
6 term or restriction shall not relieve the Applicant of the necessity of complying with any law
7 governing said permitting requirements, conditions, terms or restrictions, as same may be amended or
8 enacted from time to time in the future. All current land development regulations of the City are applicable
9 to the DeLand Atrium PD, Planned Development District, except to the extent that they conflict with a
10 specific provision of the approved Development Plan.

11 **Section 6.** At the time of development, the Applicant shall comply with all relevant building codes
12 and development standards contained in the City's Code of Ordinances or in the Development Plan; provided,
13 however, that the development standards contained in the adopted Development Plan shall supersede
14 comparable standards contained in the Code of Ordinances.

15 **Section 7.** Pursuant to Article 5 of the City's Land Development Regulations, the Applicant shall
16 comply with all applicable infrastructure regulations.

17 **Section 8.** The City Engineer, Planning Director, and Building Department are hereby directed to
18 change the Comprehensive Zoning Map of the City of DeLand to conform with the change of zoning enacted
19 in this Ordinance.

20 **Section 9.** No rights to obtain final development orders nor any rights to develop the property have
21 been granted or implied by this Ordinance. Final development orders for the property including, but not
22 limited to, subdivision and site plan approval shall be subject to a determination of concurrency.

23 **Section 10.** If any section, sentence, clause or phrase of this Ordinance is held to be invalid or
24 unconstitutional by any court of competent jurisdiction, that holding shall in no way affect the validity of
25 the remaining portions of this Ordinance.

26 **Section 11.** This Ordinance shall become effective immediately upon its adoption.

27 **PASSED AND DULY ADOPTED** this ____ day of _____, 2025

28
29
30
31 _____
32 Chris Cloudman
33 Mayor - Commissioner

34
35 _____
36 Julie Hennessy
37 City Clerk - Auditor

38
39 Passed on first reading: _____
40 Adopted on seconds reading: _____

41
42 **APPROVED AS TO FORM AND LEGALITY**

43
44 _____
45 Darren J. Elkind
46 City Attorney

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EXHIBIT "A"
Legal Description

Lots 1, 2 and 4, Palmetto Court, according to the map or plat thereof as recorded in Map Book 4, page 5,
Public Records of Volusia County, Florida.

and

Lots 1, 2 and 3, Block A, University Place, according to the map or plat thereof as recorded in Map
Book 2, page 35, Public Records of Volusia County, Florida.

1
2 **GENERAL FINDINGS**

3 A. That the application of 600 N. Woodland DeLand, LLC was duly and
4 properly filed herein on _____ December 12, 2025 as required by law.

5 B. That all fees and costs which are by law, regulation, or ordinance required
6 to be borne and paid by the applicant have been paid.

7 C. That the Applicant is the owner of a 1.902 +/- acres parcel of land ~~which~~
8 ~~is situated in DeLand, Florida. This parcel of land is described more particularly in the~~
9 ~~survey and legal description, a true copy of which is attached hereto as attached~~ Exhibit
10 "A" ~~(the "Property" that is the subject of this application and which land is situated in~~
11 ~~DeLand, Florida.~~

12 D. That the Applicant has complied with the Planned Development Plan
13 provisions as required by the Land Development Regulations of the Code of Ordinances of the
14 City of DeLand. ~~concept plan provision as required by Land Development Regulations~~
15 ~~Ordinance No. 2013-11, as amended.~~

16 E. That the Applicant has complied with the "Due Public Notice"
17 requirements of the Land Development Regulations of the Code of Ordinances of the City of
18 DeLand. ~~City Commission, Land Development Regulations Ordinance No. 2013-11, as~~
19 ~~amended.~~

20 E.F. That the owner(s) of the subject property, _____, agree(s) with the provisions
21 of the Development Agreement adopted hereby.

22

1 A. That the Application of 600 N. Woodland DeLand, LLC for the rezoning of the
2 ~~Property subject parcel~~ is hereby granted and the Development Agreement included herein is
3 hereby approved and adopted by the City of DeLand.

4 B. That the zoning classification of the ~~Property subject parcel~~ described in
5 Exhibit “A” attached hereto is hereby amended from E-1 to DeLand Atrium PD as
6 described in the LDR, as provided for in Article VII of the City of DeLand, Land
7 Development Regulations Ordinance No. 2013-11, as amended.

8 C. That the Official Zoning Map of the City of DeLand is hereby amended
9 to show the rezoning of said parcel to DeLand Atrium PD.

10 D. That the ~~City of DeLand Land Development Regulations Ordinance No.~~
11 ~~2013-11, as amended, is consistent with the~~ provisions of the “Development Agreement”
12 as hereinafter set forth are consistent with the LDR and in this Ordinance and with
13 respect to any conflict between ~~LDR Land Development Regulations Ordinance No.~~
14 ~~2013-11, as amended,~~ and the “Development Agreement”, the provisions of the
15 “Development Agreement” shall govern. ~~Ordinance No. 2013-11, as amended,~~ The LDR
16 shall govern with respect to any matter not covered by the “Development Agreement.”
17 The City of DeLand will ensure overall compliance with ~~this Ordinance~~ the Development
18 Agreement.

19 E. Unless otherwise provided for in the Development Agreement, the LDR
20 shall apply to the Property in the same manner as the zoning classification designated in
21 the Development Agreement. herein, the C-1 zoning district of the City of DeLand Land
22 Development Regulations Ordinance No. 2013-11, as amended, shall apply to the PD.

23 F. Except as otherwise stated herein, nNothing in the Development

Commented [EK1]: Add the ideal zoning designation, also include an intent statement for the potential Stetson uses

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~~Agreement is intended to this Ordinance shall~~ abridge the requirements of the LDR or any other City Ordinances, any City of DeLand Ordinance other than Ordinance No. 2013-11, as amended. Timing and review procedures contained in this Order and Resolution may be modified to comply with the City of DeLand Land Development Regulations, Ordinance No. 2013-11, as amended.

1 **DEVELOPMENT AGREEMENT**

2 The City of DeLand and the other parties executing this Development Agreement hereby enter into this
3 Development Agreement which shall constitute a binding agreement, but is not a statutory development
4 agreement as provided for in Sections 163.3220-163.3243, Florida Statutes, the Florida Local Government
5 Development Agreement Act.

6
7 **A. Development Concept.** The Property +/- 1.902 acres property (the
8 “Property”) is a developed site and shall be maintained as shall be developed as the Atrium
9 a-PD, substantially in accordance with the Planned Development Plan. The Planned
10 Development Plan shall govern any change of use, redevelopment, or subdivision of the
11 the development of the property as a PD and shall regulate the future ~~land~~-use of the
12 Property.

13 **A.** The site was originally developed in [provide year]. The property was operated
14 by... [provide an overview of the history of the site to capture how it became what it is today]
15 The new owners plan to continue operation of the facility as a... [provide an overview of the
16 plans you have for now].

17 **1-a. Planned Development Plan.** The Planned Development Plan shall consist of
18 the Development Plan prepared by _____ dated _____ and this
19 Development Agreement. The Development Plan is hereby approved and
20 incorporated in this Ordinance by reference as Exhibit “B”. The Planned
21 Development Plan shall be filed and retained for public inspection in the
22 Planning Department and it shall constitute a supplement to the Official Zoning
23 Map of the City of DeLand.

1 2-b. Amendments. All amendments of the Planned Development Plan, ~~other than~~
2 ~~those deemed by the Planning Department to be minor amendments as set out in~~
3 ~~ordinance No. 2013-11, as amended,~~ shall require the review and
4 recommendation of the planning Board and action by the City Commission in
5 the same manner as a rezoning of the parcel. No administrative amendments may
6 be authorized.

7 3-c. Final Site Plan Approval. This is a developed site, so no site plan approval
8 is required at this time. After the Planned Development Plan is recorded, and
9 prior to issuance of any permits for construction of any expansion of the existing
10 building or any impervious surface, including clearing and landfill, a final site
11 plan shall be prepared and submitted for review and approval in the manner
12 required by ~~Article XII of the City of DeLand, Land Development Regulations~~
13 ~~Ordinance No. 2013-11, as amended, if required under such ordinance, the LDR.~~

14
15
16 B. Unified Ownership. The Applicant or its successors or assigns shall
17 maintain unified ownership of the ~~Property subject parcel~~ except that all or a portion of
18 the Property may be put into condominium ownership.

19 C. Land Uses Within the PD. The development of the ~~Property parcel~~
20 shall be consistent with the uses prescribed for each area within the ~~Property as set forth~~
21 ~~in the Planned Development Plan. The approximate location and size of said land use areas are~~
22 ~~shown on the Development Plan Map. The following land uses shall be allowed as permitted~~
23 ~~principal uses and structures along with their customary accessory uses and structures: proposed~~
24 ~~DeLand Atrium PD. The location and size of said land use areas are shown on the~~

1 Development Plan, Exhibit “B”:

2 D. **PERMITTED USES:** ~~The following are permitted uses by right~~
3 ~~under the DeLand Atrium PD:~~

4 [EXAMPLE: Allowed in 5,000 square feet or less...]

5 Apothecary shops

6 Bakery, pastry, gourmet, coffee and specialty beverage shops (retail).

7 Banquet facilities.

8 Beauty salons, barbershops and day spas

9 Bed and breakfast homestay.

10 Bed and breakfast inn.

11 Bowling alleys; billiard parlors; skating rinks; indoor recreation and amusement
12 facilities.

13 Business colleges; professional or commercial schools.

14 Catering services.

15 [EXAMPLE: Allowed in 3,000 square feet or less...]

16 Churches, houses of worship, and religious institutions, with their customary
17 accessory educational and recreational uses and buildings.

18 Civic parks.

19 Colleges and universities, including sorority and fraternity houses, recreational,
20 athletic and other normal accessory uses of such colleges and universities.

21 Commercial parking lots

22 Communication towers per ~~section 33-23~~section 33-23.

23 Convenience stores without gas pumps.

24 Copying, printing and lithography.

Commented [EK2]: Revise this section based on the allowed uses we discussed at the pre-app meeting. Separate them out in section by the number of allowed square footage for each

- 1 Craft food and beverage producer.
- 2 Day care facilities (adult or child) and family day care homes.
- 3 Dormitories.
- 4 Drugstores and pharmacies.
- 5 Dry cleaning and laundry, retail
- 6 Dry cleaning and laundry, self-service
- 7 Family day care home.
- 8 Financial Institutions.
- 9 Furniture/appliances retail
- 10 General/Professional Offices.
- 11 Government and public land uses and buildings.
- 12 Government facilities and land uses normally associated with the provision of
- 13 government services, including city, county and state parks and recreation
- 14 areas.
- 15 Grocery.
- 16 Home improvement store (retail).
- 17 Hospitality/food.
- 18 Industrial vocational training school.
- 19 Laboratories, hospitals and clinics.
- 20 Mailbox and shipping shops.
- 21 Medical office.
- 22 Medical support.
- 23 Mini and neighborhood parks.

- 1 Mortuary, funeral home and crematoriums.
- 2 Multifamily residential dwellings.
- 3 Museums
- 4 Music, dance, gymnasium, art school or studio, excluding discotheques.
- 5 Nursing homes and adult congregate living facilities.
- 6 Office equipment sales and service
- 7 Outdoor advertising signs.
- 8 Personal services.-
- 9 Private clubs and lodges.
- 10 Public, private or parochial primary and secondary schools.
- 11 Restaurants (excluding fast food and/or drive-through facilities).
- 12 Restaurants/establishments serving alcohol requiring DBPR 2COP, 3 PS, 4COP or
- 13 SRX license with special class.
- 14 Retail sales, including merchandising barns.
- 15 Retail sales; used materials or thrift shops (not junk yards).
- 16 Shade structures greater than 800 square feet, including use for outdoor dining.
- 17 Showroom commercial (where shown P in C-1 column)
- 18 Single-family dwellings, except mobile homes.
- 19 Special events, which may include alcohol with a licensed caterer requiring a 3PS
- 20 or 4COP license.
- 21 Tailor shops and shoe repair.
- 22 Theatres and assembly halls.
- 23 ~~Two-family dwellings.~~

Commented [EK3]: If keeping, provide a zoning district to default to in addition to providing standards for this use in the PD.

Other uses approved by the city commission after review and recommendation by the planning board, which are unquestionably similar to those uses permitted herein.

D. Development Standards (existing conditions)

<u>Minimum lot area (sq. ft./acres):</u>	<u>1,000 sq. ft.</u>
<u>Building setbacks from Property perimeter:</u>	<u>Front (Woodland Blvd.):</u> <u>S. Side (W. University Ave.):</u> <u>N. Side:</u> <u>Rear (N. Palmetto Ct.):</u>
<u>Maximum building height:</u>	<u>Provide the existing bldg. height</u>
<u>Minimum Floor Area:</u>	<u>Provide existing floor area</u>
<u>Maximum Impervious Area:</u>	<u>Provide existing impervious area</u>
<u>Off-street parking requirements:</u>	<u>Provide existing number of spaces</u>

E. ———

1. ~~Minimum lot area: 1,000 sq. ft.~~
2. ~~Minimum yard size (building): As is existing on the date of this Agreement, less any future road widenings or other governmental takings.~~
3. ~~Maximum building height: As existing on the date of this Agreement.~~

G. Parking Standards: ~~Off-street parking requirements: The existing size, location and configuration of parking spaces is permitted, notwithstanding current development standards. The Property currently shall consist of the following off-street parking spaces:~~

<u>Type</u>	<u>Size</u>	<u>Quantity</u>
-------------	-------------	-----------------

<u>Standard (90 degree)</u>	<u>LxW</u>	<u>42</u>
<u>Angled (add degree)</u>	<u>LxW</u>	<u>11</u>
<u>Parallel</u>	<u>LxW</u>	<u>3</u>
<u>ADA</u>	<u>LxW</u>	<u>3</u>
<u>Total off-street parking spaces</u>		<u>59</u>

4. a minimum of forty-two (42) standard parking spaces, eleven (11) angled (LxW size) parking spaces, 3 parallel (LxW size) parking spaces and an additional three (3) ADA (LxW size) spaces, for a grand total of fifty-nine (59) parking ~~spaces--spaces~~. ~~The existing size, location and configuration of parking spaces is permitted, notwithstanding current development standards.~~

Commented [EK4]: Provide this in the table format above – then delete

H. Landscape and Buffer Standards. Existing conditions of the Property are shown in “Exhibit B”. Any redevelopment of the Property requires that ~~Landscape buffer requirements: all~~ landscaping and buffers shall utilize Florida-Friendly Landscaping, as defined by the University of Florida/Institute of Food and Agricultural Sciences (“UF/IFAS”) Center for Landscape Conservation and Ecology, native, or low-water plant material. The development of the Property shall include landscape designs such that plants will serve environmentally friendly functions including, but not limited to, cooling, privacy screening, shade, aesthetics, wildlife habitat, and runoff pollution prevention.

a. ~~As is existing on the property on the date of this Agreement, which is shown on the Development Plan attached hereto as Exhibit “B,” less any future road widenings or other governmental takings.~~ Open Space. The existing open space on the Property is % of the overall site. Any redevelopment of the Property shall meet the requirements of the LDR except as otherwise expressly provided for in this Development

1 Agreement.

2 b. Perimeter Buffers. Except as otherwise specifically provided for in this Development
3 Agreement, the perimeter buffers of any redevelopment of the site shall at a
4 minimum comply with the landscape buffer width and planting requirements
5 provided for in the LDR. As shown on Exhibit “C”, the existing buffers are as
6 follows:

<u>LOCATION</u>	<u>TYPE</u>
<u>NORTH</u>	
<u>SOUTH</u>	
<u>EAST</u>	
<u>WEST</u>	

7 c. Tree Protection Area (TPA). The Property currently does not have any TPA areas. Any
8 redevelopment of the Property shall have a minimum of fifteen percent (15%) of the
9 gross square footage of the overall property shall be designated for the protection of
10 trees and such tree preservation area and the development shall meet the
11 requirements of the LDR.

12 A. Amenities/Community Enhancements: [PROVIDE REGULATIONS RELATED
13 TO THE WHAT/WHERE/PHASING AND TIME OF CONSTRUCTION/SIZE/AMENITIES
14 PROVIDED (I.E. FIRE PIT, PLAYGROUND, GAZEBO, ETC.)]

15 I. _____

16 B. Signage: (PLACEHOLDER FOR SIGN STANDARDS)The existing signage
17 includes [provide the sign location and size] and any redevelopment of the site shall meet the
18 requirements of the LDR.

19 J. _____

Commented [EK5]: You may not need this section, but could keep it to provide standards for the gazebo/table area outside.

1 ~~C. **Environmental Considerations.** This Property site is ~~already~~ developed so it is~~
2 not required to comply with the requirements for preservation of environmental resources as set
3 forth in the LDR. Any redevelopment of the Property shall meet the requirements of the LDR.
4 land Development Regulations Ordinance No. 2013-11, as amended.

5 ~~K. _____~~

6 ~~F.L. **Sewage Disposal, and Potable Water and Reclaimed Water.** Provision~~
7 ~~for sewage disposal, and potable and reclaimed water needs of the development of the Property~~
8 ~~DeLand Atrium PD will be provided in accordance with the City of DeLand Comprehensive plan,~~
9 ~~the LDR, and all other applicable regulations. Ordinance No. 1990-04, as amended, the Land~~
10 ~~Development regulations Ordinance No. 2013-11, as amended, and State of Florida~~
11 ~~Administrative Code 64E-6.~~

12 ~~E. **Stormwater Drainage.** _____ This site is developed so it is not required to provide~~
13 ~~any additional stormwater retention. Any redevelopment of the Property shall comply with~~
14 ~~the requirements for preservation of environmental resources as set forth in the LDR,~~
15 ~~Comprehensive plan and the following:~~

16 ~~a. This site is already developed so it is not required to provide any additional~~
17 ~~stormwater retention unless future development of the parcel includes additional~~
18 ~~impervious surface. Provision for stormwater retention for any additional~~
19 ~~impervious surface shall be in accordance with the Land Development~~
20 ~~Regulations Ordinance No. 2013-11, as amended. The stormwater retention~~
21 ~~system shall be designed to retain a 100-year, 24-hour storm event and to meet~~
22 ~~all other applicable governmental regulations. To the extent other applicable~~
23 ~~governmental regulations require retention greater than a 100-year, 24-hour~~

1 storm event, such greater requirement shall control. All stormwater systems on
2 the Property shall be designed to accommodate existing onsite flows such that
3 no adverse upstream or downstream flooding occurs due to the development of
4 the property. All stormwater ponds shall utilize supplemental plantings. Wet
5 detention ponds shall have littoral zone plantings, and dry retention ponds shall
6 have supplemental plantings consisting of species native to Florida. The property
7 owner shall be responsible for the maintenance of the stormwater retention
8 system, and in no event shall the City of DeLand be responsible for any
9 stormwater system on the Property.

10 b. All applicable activities and applications will be conducted in accordance with
11 the most current version of the Florida Green Industries Best Management
12 Practices handbook guidelines.

13 c. There shall be no mass grading of the property.

14 d. On-site burning of cleared vegetation on the Property is prohibited and no
15 vegetation and other biomass cleared from the Property during development may
16 be incinerated on the Property.

17 **G.M. Dark Sky Standards.** All new lighting shall either carry the International Dark-Sky
18 Association's Fixture Seal of Approval or comply with the International Dark Sky standards and
19 be of the full cut-off, fully-shielded variety in which the light source is recessed and shielded
20 which prohibits upward light overspill into the night sky and off-site nuisance glare.

21 **H.F. Access and Transportation System Improvements.** This site is
22 already developed so it is not required to provide any additional access or transportation
23 system improvements under the ~~Land Development Regulations, Ordinance No. 2013-11,~~
24

1 ~~as amended~~, unless future development of the parcel includes an increase of the size of
2 the structure on the parcel, or additional structures. The parcel shall be developed in
3 substantial accordance with the following access and transportation system
4 improvements:

5 ~~1-a. Access.~~ Existing Access to the site is from University Avenue, Palmetto
6 Avenue and Woodland Blvd, ~~as shown in Exhibit "B". The Development Plan~~
7 ~~indicates the existing connection locations; however,~~In the evaluation of any
8 future redevelopment the final locations may vary due to final engineering design
9 and permitting considerations.

10 b. Transportation System Improvements Transportation system improvements
11 will be provided as required by permitting agencies. However, since this is an
12 existing development, it is not anticipated that any such improvements will be
13 required absent redevelopment.

14 2-G. Mechanical Equipment. All mechanical equipment, roof-top mechanical equipment,
15 ground-mounted equipment, service and delivery areas, and loading zones shall be visually
16 screened from pedestrian areas and from public view.

17 H. Expiration: The terms of this Development Agreement and all provisions of the
18 Planned Development Plan shall be vested upon issuance of a final development order for the
19 first phase of the development of the Property, which shall occur within five (5) years from the
20 Effective Date of this Development Agreement. If not vested within said time frame, this
21 Development Agreement shall automatically terminate and be of no further force or effect,
22 unless the City Commission, for good cause shown, shall extend the time period indicated in this
23 paragraph. Thereafter, the City Commission may rezone the Property as may be necessary or

1 appropriate to protect adjoining properties, or the health, safety, and welfare generally.

2 ~~I. **Reverter Provision:** This site is already developed so no reverter~~
3 ~~provision is necessary.~~

4 **I. Binding Effect of Plans; Recording; and Effective Date.** This Development
5 Agreement shall become effective upon the date of recording, along with the Ordinance
6 pursuant to which this Development Agreement was adopted, in the Public Records of
7 Volusia County, Florida (the “Effective Date”). This Development Agreement,
8 including any and all amendments hereto, shall bind and inure to the benefit of the
9 Applicant and the Owner and their successors in title or interest. The DeLand Atrium
10 PD zoning, provisions of this Development Agreement, and all approved plans shall run
11 with the land and shall be administered in a manner consistent with the LDR.

12 ~~J. This Ordinance and all subsequent amendments shall be filed with the Clerk of~~
13 ~~the Court and recorded within forty-five (45) days following execution of the document~~
14 ~~by the City Commission, in the Official Records of Volusia County, Florida. One copy~~
15 ~~of the document, bearing the book and page number of the Official Record in which the~~
16 ~~document was recorded, shall be submitted to the Planning Division for placement in the~~
17 ~~public file. The Planned Development Plan, including any and all amendments, shall~~
18 ~~bind and inure to the benefit of the Applicant and its successors and assigns. The DeLand~~
19 ~~Atrium PD zoning, provisions of the “Development Agreement,” and all approved plans~~
20 ~~shall run with the land and shall be administered in a manner consistent with Article 12~~
21 ~~of the City of DeLand Land Development Regulations Ordinance No. 2013-11, as~~
22 ~~amended.~~

23 This Ordinance and all subsequent amendments shall be filed with the Clerk of the Court and recorded within
24 forty-five (45) days following execution of the document by the City Commission, in the Official

1 ~~Records of Volusia County, Florida. One copy of the document, bearing the book and page number of~~
2 ~~the Official Record in which the document was recorded, shall be submitted to the Planning~~
3 ~~Department for placement in the public file. The date of recording of this document shall constitute~~
4 ~~the effective date of the PD or its subsequent amendments. The applicant shall pay all filing costs for~~
5 ~~recording documents.~~
6

7
8 DONE AND ORDERED by the City Commission, City of DeLand, Florida this ____ day of _
9 _____, 2026.

10
11 ATTEST: City Commission of DeLand Florida

12 _____
13 Michael Pleus
14 City Manager

12 _____
13 Chris Cloudman
14 Mayor - Commissioner

15
16 _____
17 Julie A. Hennessy
18 City Clerk – Auditor

17 Darren J. Elkind
18 City Attorney

19
20
21 STATE OF FLORIDA
22 CITY OF DELAND

23
24
25 The foregoing instrument was acknowledged before me by means of physical presence
26 or online notarization, this ____ day _____, 2026~~5~~ by Michael Pleus and Chris
27 Cloudman, as City Manager and Mayor, City of DeLand, respectively, on behalf of the
28 City of DeLand, and who are personally known to me.
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NOTARY PUBLIC, STATE OF FLORIDA

Type or Print Name:

Commission No.: _____

My Commission expires: _____

WITNESSES TO SPORE AND GREENE:

APPLICANT:

600 N. Woodland DeLand LLC

Witness:

By: Juddson T. Spore,

Its: _____

Witness:

By: Solomon D. Green,

Its: _____

STATE OF FLORIDA

CITY OF DELAND

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this ____ day _____, 202~~6~~⁵ by **Juddson T. Spore and Solomon D. Green** as _____s of 600 N. Woodland DeLand LLC, who are both personally known to me or has produced Florida Driver’s License as identification.

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NOTARY PUBLIC, STATE OF FLORIDA

Type or Print Name:

Commission No.: _____

My Commission expires: _____

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WITNESSES: _____ OWNER: _____

By: _____

Name: _____

Printed Name _____

Printed Name _____

STATE OF FLORIDA

COUNTY OF _____

The foregoing instrument was acknowledged before me by means of physical presence or online
notarization this _____ day of _____, 20____, by _____, who is _____ personally
known to me or _____ who has produced _____ as identification.

NOTARY PUBLIC, STATE OF FLORIDA

Type or Print Name: _____

Commission No.: _____

My Commission Expires: _____

|1

EXHIBIT "A"
Legal Description

Lots 1, 2 and 4, Palmetto Court, according to the map or plat thereof as recorded in Map Book 4, page 5,
Public Records of Volusia County, Florida.

and

Lots 1, 2 and 3, Block A, University Place, according to the map or plat thereof as recorded in Map
Book 2, page 35, Public Records of Volusia County, Florida.

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EXHIBIT "B"
Conceptual Development Plan

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EXHIBIT “C”
MASTER SIGN PLAN

