

TRC AGENDA



CITY OF DELAND
THURSDAY MARCH 17, 2022 AT 1:30 P.M.
CITY OF DELAND TRC MEETING ROOM
DELAND, FLORIDA

A. CALL TO ORDER

B. ROLL CALL

C. OLD BUSINESS

1. **Review of February 17, 2022 TRC Meeting Minutes**
2. **Applicant Name:** J Valente Holdings LLC
Project Name: SP22-006 – Class II Site Plan for Boston Coffeehouse
Project Location: .66 acres located at 855 S Woodland Blvd
Project Description: Demolish existing building and construct 1,400 new building
3. **Applicant Name:** Jordan Reimer – Maronda Homes
Project Name: MS22-014 – Minor Subdivision for Maronda Homes
Project Location: 1.39 acres located at on the eastside of Boundary south of Pennsylvania Ave
Project Description: Create 3 lots

D. NEW BUSINESS

1. **Applicant Name:** Toni Boone – Dewberry
Project Name: FSB22-015 – Final Plat for Beresford Woods
Project Location: 50.37 acres located on the west side of S Spring Garden Ave north of Beresford Rd
Project Description: Plat 130 lots
2. **Applicant Name:** Chris Wrenn – Pulte
Project Name: SP22-019 – Class II Site Plan for Canopy Terrace
Project Location: .75 acres located at the NE corner of MLK Blvd and Cassadaga Rd
Project Description: Amenity Center
3. **Applicant Name:** AL Tehani – Tehrani Consulting Engineering
Project Name: SP22-026 – Class II Site Plan for Dixie Lodge
Project Location: 1.99 acres located at 647 S Woodland Blvd
Project Description: Extended stay motel
4. **Applicant Name:** Nicole Martin – Madden Moorhead & Stokes LLC
Project Name: SP22-033 – Class II Site Plan for Beresford Woods

Project Location .70 acres located on the west side of S Spring Garden Ave north of Beresford Rd

Project Description: Model Home Center

5. **Applicant Name:** Ivan Moreno – DeLand Florida Developers, Inc
Project Name: SSB22-035 – Sketch Plat for DeLand Townhomes
Project Location 5.961 acres located at 422 E Beresford Ave
Project Description: 48 Townhomes
6. **Applicant Name:** Ryan Risse – Sullivan Goulette & Wilson
Project Name: SP22-037 – Class II Site Plan for Storage Facility
Project Location 2.564 acres located at 1015 S Woodland Blvd
Project Description: 3 story climate controlled self-storage facility
7. **Applicant Name:** David Cooke – Dewberry Engineers
Project Name: PSB22-038 – Preliminary Plat for Oak Hammock
Project Location 37.66 acres located at the NW corner of W Beresford Rd and Spring Garden Ave
Project Description: 110 lot subdivision
8. **Applicant Name:** Michael Woods – Cobb Cole
Project Name: Z22-040 – PD Rezoning for The Oaks Community
Project Location 51.86 acres located at 475 S Blue Lake Ave
Project Description: Rezone and amend existing PD

E. OTHER BUSINESS

1. **None**

F. ADJOURNMENT

OLD BUSINESS

1



**CITY OF DELAND
TECHNICAL REVIEW COMMITTEE MEETING
MEETING MINUTES
THURSDAY, FEBRUARY 17, 2022 -1:30 P.M.
CITY HALL**

OPENING OF MEETING:

Call to Order:

1:30 pm

Members Present:

Mike Holmes, Chairperson

Kendall Story

Debi Glick

Danevsky Joseph

Mariellen Calabro

Jim Ailes

Tuan Huynh

Scott Zender

Terry Griffiths

OLD BUSINESS:

1. Approval of the minutes of the TRC Meeting Minutes from January 20, 2022

*Mariellen Calabro moved to approve the minutes with the correction on Page 3 from 170 to 17,
Scott Zender seconded the motion.*

The TRC Committee voted unanimously in favor of motion.

2. **Applicant Name:** Katie Crowder – Bowman
Project Name: SP21-211 – Class II Site Plan for Caliber Collision Auto Repair
Project Location: 1.89 acres located at 1294 E. International Spdwy Blvd
Project Description: Construct 17,560 sf auto body shop

Applicants Present:

Zachary Kamninos – Bowman

Applicant will address all comments and submit revised plans to address all comments.

*Jim Ailes moved to conditionally approve the application at the February 17, 2022 TRC meeting,
Scott Zender seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

3. **Applicant Name:** Ely Jean-Philipp – Florida Mechanical Solutions
Project Name: SP21-245 – Class II Site Plan for Commercial Building
Project Location: .55 acres located at 333 N Adelle Ave
Project Description: 9000 sf commercial building

Applicants Present:

Applicant did not submit revised plans for review, application was continued until new plans are received.

*Mariellen Calabro moved to continue the application until such time the applicant submits revised plans
addressing staff comments at the February 17, 2022 TRC meeting,
Tuan Huynh seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

NEW BUSINESS:

1. **Applicant Name:** J Valente Holdings LLC
Project Name: SP22-006 – Class II Site Plan for Boston Coffeehouse
Project Location: .66 acres located at 855 S Woodland Blvd
Project Description: Demolish existing building and construct 1,400 new building

Applicants Present:

Joe Valente – Owner
Mike Houseman – Houseman Architecture
Kevin Herbert – MEI Partners

Applicant will address all comments and resubmit for review by March 1, 2022 in order to be placed on the March 17, 2022 TRC agenda for review.

*Mariellen Calabro moved to continue the application to the March 17, 2022 TRC meeting conditioned
upon receiving the revised plans addressing staff comments by March 1, 2022 at the February 17, 2022
TRC meeting,
Scott Zender seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

2. **Applicant Name:** Jordan Reimer – Maronda Homes
Project Name: MS22-014 – Minor Subdivision for Maronda Homes
Project Location: 1.39 acres located at on the eastside of Boundary south of
Pennsylvania Ave
Project Description: Create 3 lots

Applicants Present:

Applicant not present

The applicant did not attend the meeting. Staff requested revised plans to be submitted addressing staff comments by March 1, 2022 in order to be placed on the March 17, 2022 TRC agenda.

*Jim Ailes moved to continue the application to the March 17, 2022 TRC meeting conditioned upon receiving the revised plan by March 1, 2022 at the February 17, 2022 TRC meeting,
Scott Zender seconded the motion.*

The TRC Committee voted unanimously in favor of motion.

OTHER BUSINESS:

None.

ADJOURNMENT:

2:30 pm

L:\commdev\planning\TRCcomments\2022\Minutes\January 20 2022

OLD BUSINESS

2

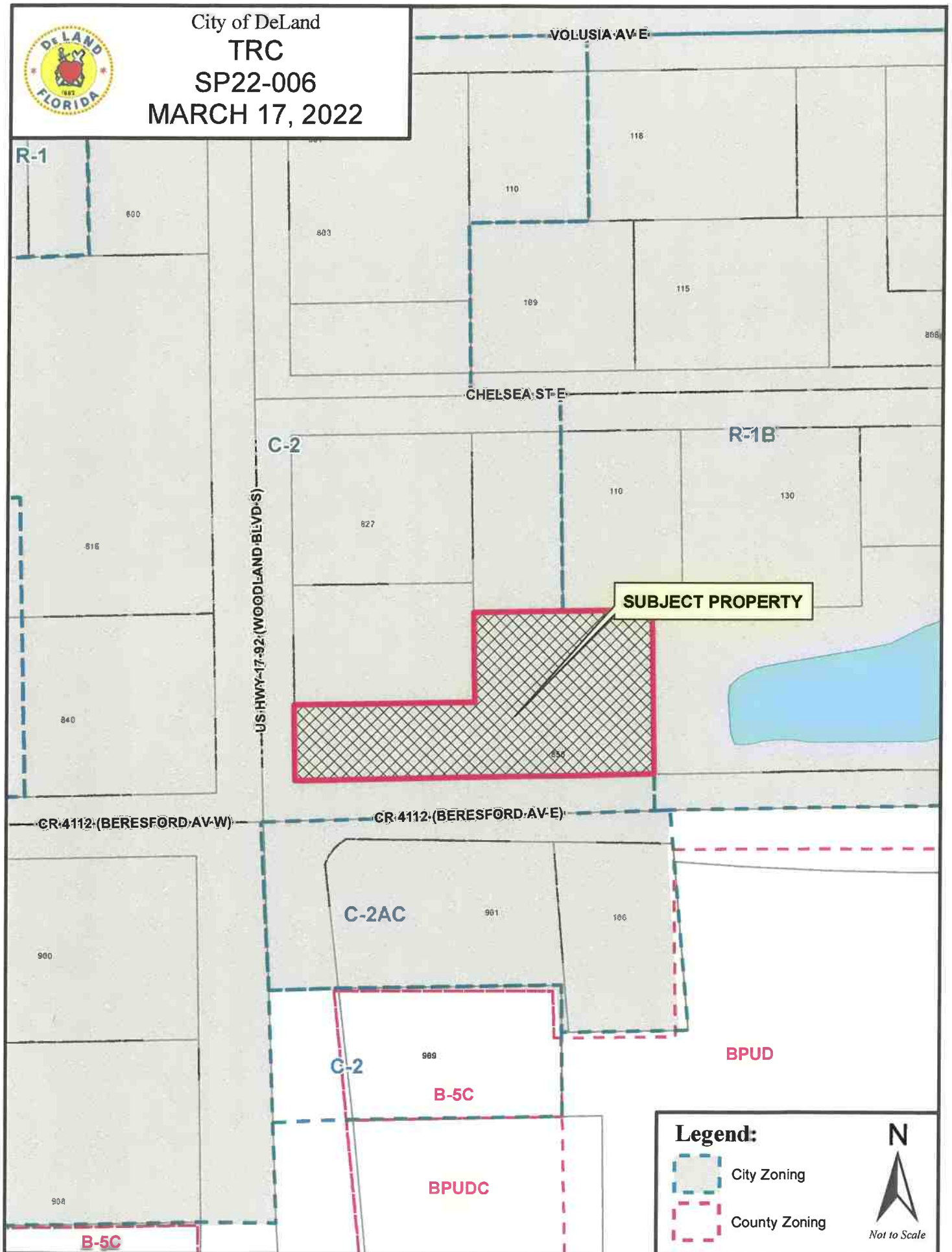


City of DeLand
TRC
SP22-006
MARCH 17, 2022





City of DeLand
TRC
SP22-006
MARCH 17, 2022



Issues for record SP22-006

Job Address: 855 S WOODLAND BLVD, DELAND FL 32720

Job Description: Demolish the existing building and drive-thru canopy. Redevelopment of existing parking field including sealcoating exiting parking lot and drive aisles. Existing driveway connections to East Beresford Avenue and S. Woodland Boulevard to remain.

Discipline	Status	Details	Attached To	Created By	Last Updated By
Fire	Not Accepted	ATM Reduces the required 20ft access road around the structure.	3	Fred Link	Fred Link
		Last comment from reviewer: Still doesn't meet code of required 20 ft road access.			
		Last response: A successful fire truck routing analysis around the building is provided (see C401).			
Fire	Not Accepted	Access Show the apparatus can make access around the building. Apparatus dimensions have been uploaded into documents and attachments.	3	Fred Link	Fred Link
		Last comment from reviewer: Truck shows underneath going over curb and landscaping areas.- not accepted.			
		Last response: Apparatus can make access around the building without interference to curbing and parking; therefore, clear ingress/egress has been provided (see 401).			
Fire	Not Accepted	Road width Required width is normally 20FT.	3	Fred Link	Fred Link
		Last comment from reviewer: Areas still under 20FT. Responses will need to be uploaded in plan room. Comments cant be made in attachments.			
		Last response: See revised plan C401 and response to comments letter.			

Discipline	Status	Details	Attached To	Created By	Last Updated By
Planning	Not Accepted	Exceeding allowable foot candles There are areas along the north and east boundaries where you are exceeding .5 foot candles at the property line. Last comment from reviewer: the foot candles are now exceeding on the south. Last response: Photometric plan is revised per request.	ES1.101	Kendall Story	Kendall Story
Planning	Not Accepted	impervious impervious surface area in Mixed Commercial may not exceed 60%; however, for redevelopment projects such as this one, TRC may vote to increase the amount. State the amount for TRC to vote on. Last comment from reviewer: Awaiting TRC Vote Last response: See response to comments letter and C200	3	Kendall Story	Kendall Story
Planning	Not Accepted	vehicle use area The min. separation required between vehicle use areas and the property line is 10'; this is not being met. Staff may adjust in conjunction with redevelopment or change in use where the separation is less or absent. State your request to be voted on in TRC. Last comment from reviewer: Awaiting TRC approval Last response: The current site's vehicular use areas are within the 10-ft limit from the property line. The proposed parking lot increased the separation between vehicular use areas and the property line. Please accept our request to adjust the minimum separation to absent.	3	Kendall Story	Kendall Story
Forestry	Not Accepted	Tree Protection Area Please show limits of your 15% Tree Protection Area. Last comment from reviewer: Please make sure that there are no utilities crossing your TPA. If utilities need to cross TPA, please back this area out of coverage. The southwest corner looks like it has a sign and traffic control structure. Last response: A 15% area is now designated as tree protection area and is shown on a diagram along with VUA and interior landscape square footage.	LS-01	Mariellen Calabro	Mariellen Calabro

Discipline	Status	Details	Attached To	Created By	Last Updated By
Forestry	Not Accepted	Tree Worksheets	LS-01	Mariellen Calabro	Mariellen Calabro
		Please provide Tree Worksheets.			
		Last comment from reviewer: Please provide worksheets. We estimate the Crape Myrtles at 6" DBH. Last response: Worksheet has been filled out. There is 1-9"palm and 4 unknow sized crape myrtle being removed.			
Forestry	Not Accepted	Tree Specifications	LS-01	Mariellen Calabro	Mariellen Calabro
		Add 45 gallon container size to the tree specifications.			
		Last comment from reviewer: 4" caliper B&B requires 40" root ball, not 32". 3.5" caliper Crape Myrtle requires 36" root ball, not 32". Last response: Per our coordination B&B are being proposed and now specified accordingly.			
Forestry	Not Accepted	Tree Removal	2	Mariellen Calabro	Mariellen Calabro
		Provide species and DBH of trees to be removed.			
		Last comment from reviewer: Please provide DBH removed. Last response: There are two crape myrtle and one palm being removed from this site. Requirement shall be for the 66"DBH.			
Forestry	Not Accepted	Trees saved and removed	LS-01	Mariellen Calabro	Mariellen Calabro
		Without information on the trees to be saved and removed, I cannot determine whether sufficient replacement has been provided or if minimum coverage will be met.			
		Last comment from reviewer: Please provide DBH for palm and 2 crape myrtles to be removed. Last response: There are two crape myrtle and one palm being removed from this site. Requirement shall be for the 66"DBH.			
Planning	Not Accepted	Community Design Standards		Deborah Glick	Deborah Glick
		Lighting cut sheets (building & site), material and color lists, and original paint color swatches from paint manufacturer must be provided to complete the Community Design review.			
		Last comment from reviewer: Please provide material and color list with the specific colors. Last response: Lighting cut sheets are provided.			

Discipline	Status	Details	Attached To	Created By	Last Updated By
Engineering	Draft	Sheet C300 - Pipe Inverts and Drainage Structure Table			
		1. Please check storm pipe invert at the connection to existing inlet EX-1. Plan View show connection invert 18.00 and Drainage Structure Table show 17.40. Please revise Plan.		Tuan Huynh	Tuan Huynh
		2. Please check pipe inverts from structure S-3 to existing inlet EX-1. S-3 pipe invert should be higher than 17.70 based on 1% pipe slopes and EX-1 connection invert. Please revise plan.			
		3. Please revise existing inlet EX-1 grate elevation of 4.02 on Drainage Structure Table. The grate elevation is below pipe invert. Please revise plan.			
Engineering	Draft	Sheet C200 and C300 - Handicap Space and Slopes			
		1. Per City LDR, Chapter 33, Section 33-91.06 (b): Handicap space must be 12' wide x 20' long. Plans submitted show 12' wide x 19' long. Please revise plan.			
		2. Please provide additional spot grades on north and east sides of revised handicap space. There is concerned that runoff will be trapped at EL. 20.33 within the handicap space and does not have positive flow to existing inlet EX-1. Please check and revise plan.			
		3. Grade outside building door entrance is EL. 23.26 and at handicap ramp TOC is El. 20.83 over distance of 30 feet. This translate to 8.1% longitudinal slope, which exceed maximum 5% per ADA. Please revise plan.		Tuan Huynh	Tuan Huynh
		4. Need more spot grades along new sidewalk from handicap space to building to check that cross-slopes will not exceed 2%. Please revise plan.			
		5. Please note maximum change in vertical level between building finish floor elevation and adjacent outside grade is 0.02 feet (1/4"). Plans submitted show 0.04 feet (1/2") drop. Per ADA, a bevel is required for 0.04 feet vertical level drop. Please clarify or revise plan.			
Forestry	Draft	Tree Barricade Detail Please add City Standard Tree Barricade Detail.	C500	Mariellen Calabro	Mariellen Calabro
Fire	Accepted	Fire hydrant(s) Show closest fire hydrant(s) within 500 FT of the project.			
		Last comment from reviewer: Hydrant at Beresford and Alabama is good as primary hydrant. Hydrant at woodland and Beresford could be considered not for use due to NFPA number of vehicle passage..	5	Fred Link	Fred Link
		Last response: Two (2) existing fire hydrants are within 500-ft of the project (see C400).			

OLD BUSINESS

3

CONTINUE

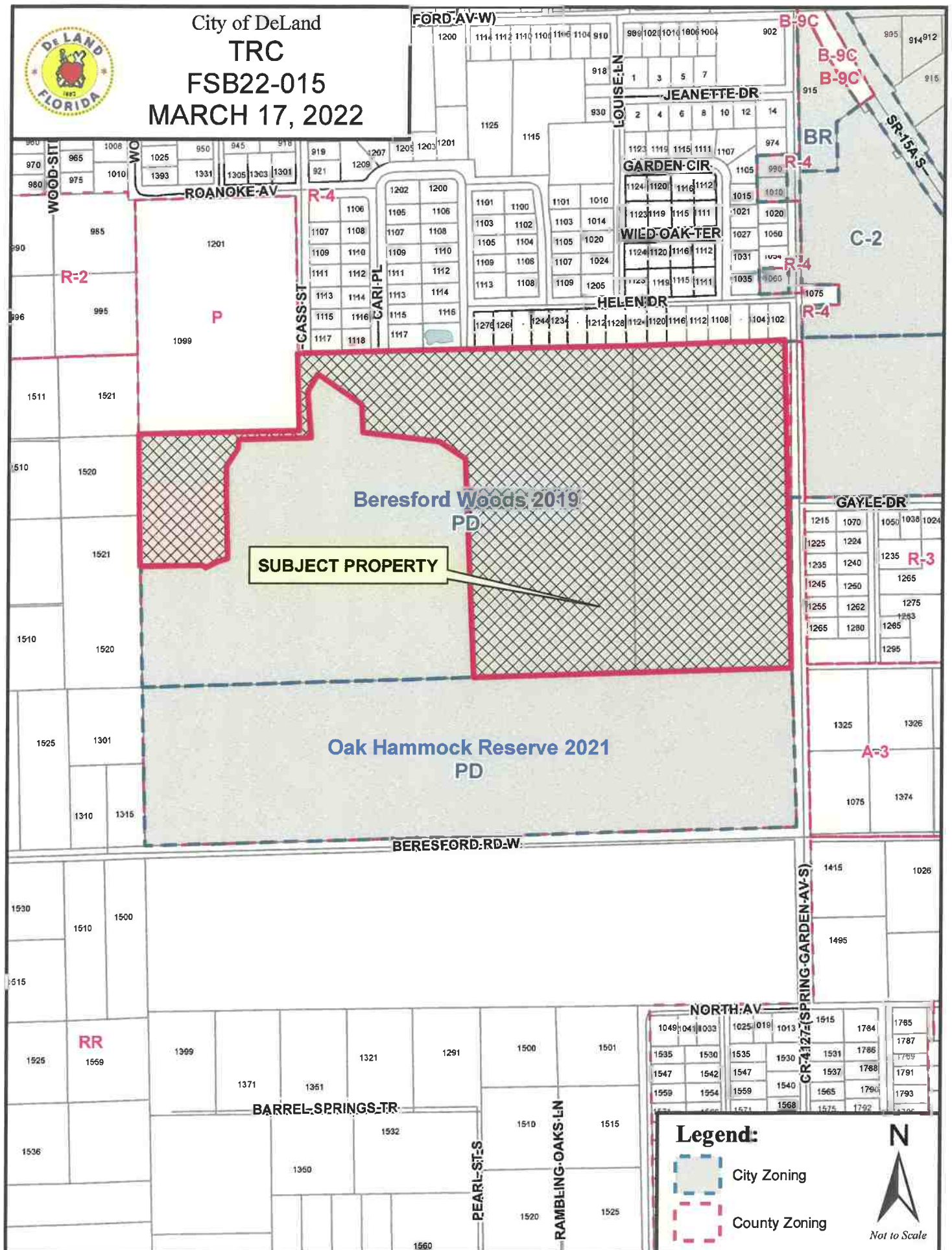
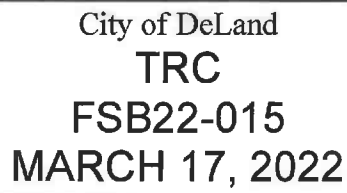
NEW BUSINESS

1



City of DeLand
TRC
FSB22-015
MARCH 17, 2022





Issues for record FSB22-015

Job Address: 0 S Spring Garden AV,

Job Description: Single family home subdivision plat.

Discipline	Status	Details	Attached To	Created By	Last Updated By
TPA dedication					
Planning	Draft	Tracts listed under Note #8 should be referred to as "Tree Protection Areas", not "Open Space". Revise under both the Plat Notes & Dedication sections, and on all relevant plat pages. (See approved plans for preliminary plat #PSB20-033.)	1	Caroline Turgeon	Caroline Turgeon
Tracts CC & P					
Planning	Draft	You have a tract with 2 different names. (There is no line separating them.) On north side of entrance road, remove "CC" and make the entire tract "P". Move the "CC" to the south side of said road.	2	Caroline Turgeon	Caroline Turgeon
ROW Tracts					
Planning	Draft	S. Spring Garden Ave. is a County Road, therefore the dedication/maintenance of Tract "DD" should be Volusia County and not to the City of DeLand. Please correct under Plat Notes and in Dedication section.	1	Caroline Turgeon	Caroline Turgeon
Street Names					
Planning	Draft	Street names are required.		Caroline Turgeon	Caroline Turgeon
Tract CC					
Planning	Draft	Tract "CC" should be referenced as "Tree Protection Area", and not "Open Space/Rec".	8	Caroline Turgeon	Caroline Turgeon
Missing TPA area					
Planning	Draft	There is semi-circular area of Tree Protection Area (attached to Tract "CC") that was shown in the approved plans of the preliminary plat that is missing from this final plat. (Please reference plans for #PSB20-033.)	8	Caroline Turgeon	Caroline Turgeon
Tract D					
Planning	Draft	Tract "D" should be labelled as "TPA" and not "O.S."	2	Caroline Turgeon	Caroline Turgeon
Tracts A & D					
Planning	Draft	Tracts "A" & "D" should be referenced as "Tree Protection Area", and not "Open Space/Rec". (See comment on cover sheet for more info.)	3	Caroline Turgeon	Caroline Turgeon

Discipline	Status	Details	Attached To	Created By	Last Updated By
Planning	Draft	TPA Tracts Tracts: D, G, I, & O should be referenced as "Tree Protection Area", and not "Open Space/Rec". (See comment on cover sheet for more info.)	4	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Missing Tract Line What is called-out as Tract "SS" on plan should actually be a continuation of Tract "M". Instead, there should be a separation line as shown in mark-up, between O.S. Tract "SS" & Stormwater Tract "BB". In addition, remove separation lines between the parts of Tract "M". (See blue circles on plan. Also see Sheet 6 for more info.)	2	Caroline Turgeon	Caroline Turgeon
Planning	Draft	TPA Tracts Tracts: O, P, S, & W should be referenced as "Tree Protection Area", and not "Open Space/Rec". (See comment on cover sheet for more info.)	5	Caroline Turgeon	Caroline Turgeon
Planning	Draft	TPA Tracts Tracts: G, L, N, & Z should be referenced as "Tree Protection Area", and not "Open Space/Rec", including in detail drawing. (Also see comment on cover sheet for more info.)	6	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Missing Tract Line There should be a separation line, similar to shown in mark-up, between O.S. Tract "SS" & Stormwater Tract "BB". (See approved plans for preliminary plat #PSB20-033.)	6	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Label Tract QQ Lift station tract "QQ" is labelled on detail drawing, but not in main drawing. Please add.	6	Caroline Turgeon	Caroline Turgeon
Planning	Draft	TPA Tracts Tracts: P, W, & CC should be referenced as "Tree Protection Area", and not "Open Space/Rec". (See comment on cover sheet for more info.)	7	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Mislabeled Tract I believe the tract south of the entrance road should be labelled Tract "CC", and the tract north of said road should instead be part of Tract "P".	7	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Missing TPA area There is semi-circular area of Tree Protection Area (attached to Tract "CC") that was shown in the approved plans of the preliminary plat that is missing from this final plat. (Please reference plans for #PSB20-033.)	7	Caroline Turgeon	Caroline Turgeon

Discipline	Status	Details	Attached To	Created By	Last Updated By
		Move Tracts O, P, & CC			
Planning	Draft	Tracts: O, P, & CC should be referenced as "Tree Protection Area" and not "Open Space/Recreational Area". Please move to Note #8 under Plat Notes, and correct under Dedication sections.	1	Caroline Turgeon	Caroline Turgeon
		Missing TPA area			
Planning	Draft	There is semi-circular area of Tree Protection Area (attached to Tract "CC") that was shown in the approved plans of the preliminary plat that is missing from this final plat. (Please reference plans for #PSB20-033.)	2	Caroline Turgeon	Caroline Turgeon
		Tree Protection Area			
Forestry	Draft	Please indicate which tracts are designated as Tree Protection Area.	1	Mariellen Calabro	Mariellen Calabro

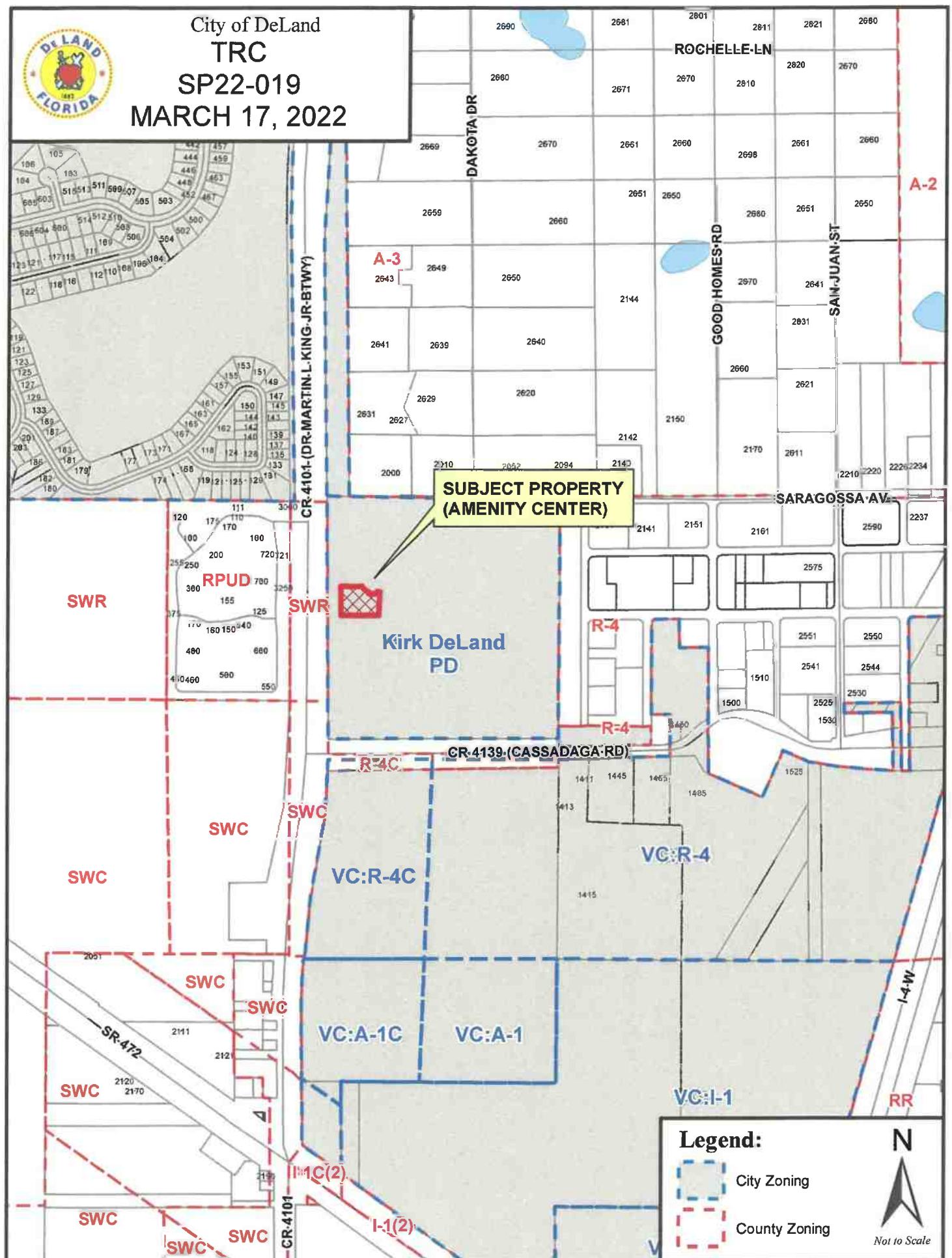
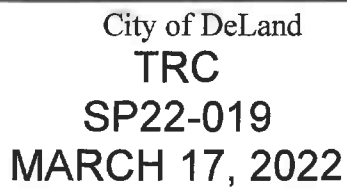
NEW BUSINESS

2



City of DeLand
TRC
SP22-019
MARCH 17, 2022





Issues for record SP22-019

Job Address: 0 NE Cassadaga RD, Deland Florida 32724

Job Description: Site plan for amenity center development within the approved Canopy Terrace project #PSB21-054

Discipline	Status	Details	Attached To	Created By	Last Updated By
Construction Access, Limits, and Erosion Control					
Engineering	Draft	1. Please show the temporary construction access location on plan. 2. Please show with dash lines the construction limits. 3. Within the construction limits, please provide perimeter silt fence for erosion protection.	C-2.0	Tuan Huynh	Tuan Huynh
Grading and Notes					
Engineering	Draft	1. Please show with flow arrows the proposed drainage pattern and collection locations to ensure the improvements will not cause adverse impacts to adjacent lots and properties. 2. Add note, "Max. slopes shall not exceed 1:4 (V:H)". 3. Add note, "All disturbed areas shall be sodded". 4. Add note, "Site runoff shall be directed away from all private lots. Runoff must be directed toward the street drainage system, swales, and retention ponds for collection".	C-2.0	Tuan Huynh	Tuan Huynh
Sidewalk and ADA					
Engineering	Draft	1. Please provide quantity of new sidewalks in SF or SY on plan. 2. Add note, "Proposed sidewalk from handicap space to amenity center must be ADA compliance with max. 2% cross-slopes and 5% longitudinal slopes".	C-2.0	Tuan Huynh	Tuan Huynh
Construction					
Fire	Draft	No vertical construction or storing of combustible materials is allowed until the engineering/utilities & fire prevention division have inspected and approved the roads and water supply.	C-2.0	Fred Link	Fred Link
Tree Survey					
Forestry	Draft	No Tree Survey information has been provided. Please verify that this area has been cleared and mitigation addressed in overall site plan for subdivision.	C-2.0	Mariellen Calabro	Mariellen Calabro
Tree Barricade Detail					
Forestry	Draft	Please replace tree protection detail with current City Tree Barricade Detail.	C-2.0	Mariellen Calabro	Mariellen Calabro
Plant Specifications					
Forestry	Draft	Add 45 gallon container size to redbud, crape myrtle, and pine. Add 100 gallon container size to magnolia, and add 200 gallon container size to live oak.	L408	Mariellen Calabro	Mariellen Calabro

Discipline	Status	Details	Attached To	Created By	Last Updated By
Forestry	Draft	Tree Worksheets Please provide Tree Worksheets for the project.		Mariellen Calabro	Mariellen Calabro
Planning	Draft	Landscape plan 1. The landscape layout plan indicates the mailboxes, community sign and pvc fence but does not identify them on the plans. 2. Verify that sidewalks will be provided throughout the development and connect to this site.	L201	Belinda Collins	Belinda Collins
Planning	Draft	Plant list 2. Place the plant list (L408) on the same page as the landscape plans (L404) for easier reference.	L404	Belinda Collins	Belinda Collins
Planning	Draft	Plant list 2. Place the plant list (L408) on the same page as the landscape plans (L404) for easier reference.	L408	Belinda Collins	Belinda Collins

NEW BUSINESS

3

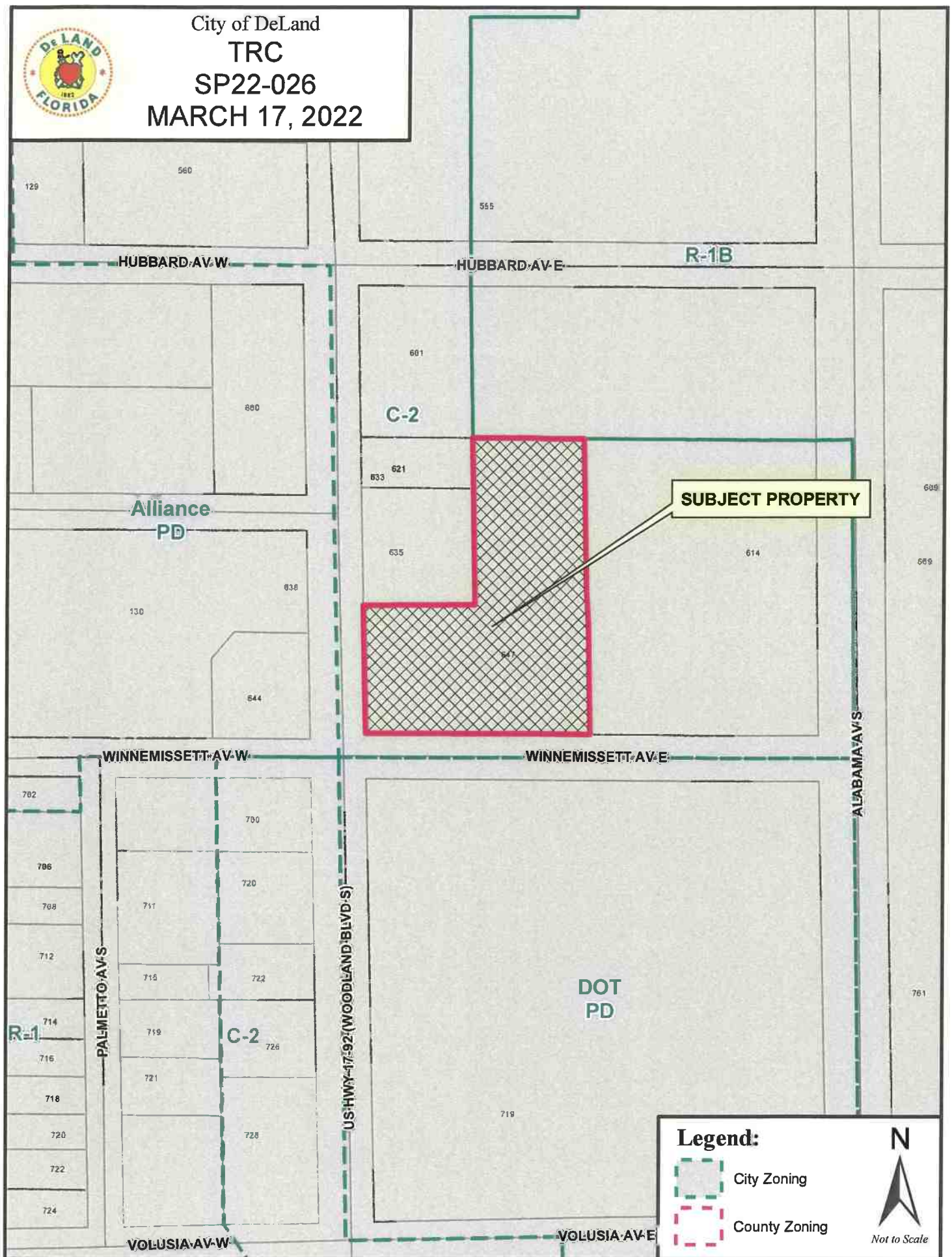


City of DeLand
TRC
SP22-026
MARCH 17, 2022





City of DeLand
TRC
SP22-026
MARCH 17, 2022



Legend:



City Zoning

County Zoning



Not to Scale

Issues for record SP22-026

Job Address: 647 S WOODLAND BLVD, DELAND FL 32720

Job Description: Site plan level I

Discipline	Status	Details	Attached To	Created By	Last Updated By
Fire	Draft	Fire Hydrant(s) Show closest fire hydrants with 1000ft of the project.	C301	Fred Link	Fred Link
Fire	Draft	Access Width All FD access roads must be a minimum of 20ft wide.	C301	Fred Link	Terry Griffiths
Fire	Draft	Access Must meet the apparatus height/weight/slope and turning radius. Must show plans.	C301	Fred Link	Fred Link
Planning	Draft	Project Description Add a statement on cover describing the project and what it entails.	C101	Kendall Story	Kendall Story
Planning	Draft	owner name Add owner name on cover	C101	Kendall Story	Kendall Story
Planning	Draft	Vicinity Map Vicinity Map should be to-scale	C101	Kendall Story	Kendall Story
Planning	Draft	Address The address is incorrect	C101	Kendall Story	Kendall Story
Planning	Draft	Density Remove residential density calculations; motels are a commercial use and, therefore, are regulated by the impervious surface area permitted	C101	Kendall Story	Kendall Story
Planning	Draft	Site Data Add the future land use designation MC (Mixed Commercial) Add Overlay District: Core Area Gateway	C101	Kendall Story	Kendall Story

Discipline	Status	Details	Attached To	Created By	Last Updated By
Planning	Draft	remove residential density info Remove residential density calculations; motels are a commercial use and, therefore, are regulated by the impervious surface area permitted	C301	Kendall Story	Kendall Story
Planning	Draft	floor plan provide a typical floor plan for the rooms	C301	Kendall Story	Kendall Story
Planning	Draft	Rooms Add the size of the rooms and number of rooms	C301	Kendall Story	Kendall Story
Planning	Draft	height Add the height of the building and number of stories	C301	Kendall Story	Kendall Story
Planning	Draft	Community Design Standards INFORMATIONAL: Applicable sites must include design of all structures per Sec. 33-94 Community Design Standards; see any comments from City Architect	C301	Kendall Story	Kendall Story
Planning	Draft	Parallel parking Show the width of parallel parking spaces	C301	Kendall Story	Kendall Story
Planning	Draft	drive aisles & circulation Label widths of all drive aisles and driveway access points Please show the internal traffic circulation pattern including directional arrows and signs to direct traffic flow.	C301	Kendall Story	Kendall Story
Planning	Draft	breezeways There appears to be multiple breezeways between the buildings. Will those be remaining? If yes, please label on site plan	C301	Kendall Story	Kendall Story
Planning	Draft	vehicle use areas The minimum separation required between vehicle use areas and the property line is 10'. • Staff may adjust in conjunction with redevelopment or change in use where the separation is less or absent. • At TRC, staff can vote to approve the setbacks as they are.	C301	Kendall Story	Kendall Story
Planning	Draft	setback The side yard setback min. for the "north B" property line is 25' (not 20')	C301	Kendall Story	Kendall Story

Discipline	Status	Details	Attached To	Created By	Last Updated By
Planning	Draft	setbacks not met Setbacks are not being met from the south/west/north property boundaries. • All redevelopment projects that require a Class I, II or III site plan shall be required to meet the setback requirements of section 33-87 to the fullest extent possible. Due to site limitations the technical review committee, planning board or city commission, depending on the type of site plan, may allow modifications that still meet the intent of the regulations. • At TRC, staff can vote to approve the setbacks as they are.	C301	Kendall Story	Kendall Story
Planning	Draft	ground signs Will you have any ground signs? If yes, show on site plan	C301	Kendall Story	Kendall Story
Planning	Draft	dumpster Will there be a dumpster? If yes, show on site plan	C301	Kendall Story	Kendall Story
Planning	Draft	Bike racks show location of bicycle parking	C301	Kendall Story	Kendall Story
Planning	Draft	common areas Designate all common areas	C301	Kendall Story	Kendall Story
Planning	Draft	dumpster screening Solid waste dumpsters must be screened on three sides with plant material, building material or a combination of both which exceed the height of the facility. (33-92.02(b) table.	L101	Kendall Story	Kendall Story
Planning	Draft	Buffers Delineate all landscape buffers and label the width being provided on the LS drawing • All redevelopment projects that require a Class I, II or III site plan shall be required to meet the buffer requirements of section 33-92 to the fullest extent possible. Due to site limitations, the technical review committee, planning board or city commission, depending on the type of site plan, may allow modifications that still meet the intent of the regulations. • At TRC, staff can vote to approve the provided buffers.	L101	Kendall Story	Kendall Story
Planning	Draft	Irrigation Plan Irrigation Plan not submitted	C101	Kendall Story	Kendall Story
Planning	Draft	Photometric Plan photometric plan not submitted	C101	Kendall Story	Kendall Story

Discipline	Status	Details	Attached To	Created By	Last Updated By
		ADT			
Planning	Draft	Sec. 33-41.04 states that "For developments that will generate less than 1,000 trip ends per day, as determined by reference to the Institute of Traffic Engineers Trip Generation Manual, the applicant shall submit, under the seal of a Florida Licensed Professional Engineer qualified to perform such work, the calculations, data and references used to calculate the stated daily trip ends. The TIA that you provided states, "no building changes proposed at this time. Traffic impact remains the same". Please provide a little more detail.	C101	Kendall Story	Kendall Story
		Use permit may be required			
Planning	Draft	INFORMATIONAL: For any construction near the right of way, check with the county and FDOT if a ROW use permit is required.	C101	Kendall Story	Kendall Story
		General Comments			
Engineering	Draft	1. This development is adjacent to Woodland Blvd.; therefore, FDOT Permit is required. 2. Has SJRWMD review this development or FDEP 10/2 Self-Certification application been submitted? Please confirm.		Tuan Huynh	Tuan Huynh
		Drainage Calculations			
Engineering	Draft	1. Topographic survey submitted shows the existing northern parking lot area (lot 14 and 15) as gravel. Proposed site plan sheet C301 callout this area to be paved with asphalt in the post-development. Please note per TR-55 Manual, Table 2-2a, gravel has different curve number (CN) values ranging from 76 to 91, depending on soil types. Asphalt pavement has CN of 98, regardless of soil type. The on-site soil is Type "A" Astatula-Urban land complex. Therefore, the Pre CN for gravel is 76 and Post CN for asphalt is 98. Please provide CN Pre versus Post analysis to determine the increase in curve number from Pre to Post.		Tuan Huynh	Tuan Huynh
		Existing Impervious Area			
Engineering	Draft	1. Based on topographic survey site has both existing gravel and asphalt pavement. Please provide breakdown for each pavement type under the "existing impervious area" calculations. Please revise on other plan sheets where applicable.	C101	Tuan Huynh	Tuan Huynh
		North Arrow			
Engineering	Draft	1. North arrow and graphic scale are pointing in the wrong direction. Please correct on all sheets in the plan set.	C201	Tuan Huynh	Tuan Huynh
		Erosion Note			
Engineering	Draft	1. Erosion Note #1, please remove reference to Seminole County, Florida and replace with "City of DeLand Land Development Regulation".	C201	Tuan Huynh	Tuan Huynh
		Construction Entrance			
Engineering	Draft	1. Show the proposed construction entrance location to be used during construction.	C201	Tuan Huynh	Tuan Huynh

Discipline	Status	Details	Attached To	Created By	Last Updated By
Asphalt Paving					
Engineering	Draft	1. Please revise plan callout note "Repair Asphalt Paved Area" to "Repair Pavement Asphalt and Base" to match Typical Pavement Section Detail No. 3 on sheet C502. 2. Please revise the text "gravel / asphalt" to "asphalt pavement" for the north parking lot area since it is to be paved with asphalt per Detail No. 3 on sheet C502.	C301	Tuan Huynh	Tuan Huynh
Pavement Markings					
Engineering	Draft	1. Please show a 24" white stop bar, 6" double yellow min. 20 LF, and stop sign (R1-1) at the driveway entrance on S. Woodland Blvd. Stop bar must be set-back min. 4' from the existing sidewalk crosswalk. Please use latest FDOT Standard Plans Index 711-001 and MUTCD manual. 2. Please provide traffic directional arrow striping throughout the parking lot per FDOT Standard Plans Index 711-001.	C301	Tuan Huynh	Tuan Huynh
Curbing					
Engineering	Draft	1. Please provide curbing or landscape island on south side of parking space # 21 to buffer the parking space from vehicular traffic. 2. Please provide curbing around the landscape islands to protect the pavement edges and landscape planting from vehicular traffic.	C301	Tuan Huynh	Tuan Huynh
Spot Grades					
Engineering	Draft	1. Parking space number 27 has elevation 38.70 at SE corner. This is lower than the surrounding pavement grades. There is concerned that runoff will be trapped in this area. 2. Handicap spaces numbers 22 thru 25 and parking space number 26. Flow arrow shows runoff being directed away from parking spaces toward the drive aisle. But spot grades do not change within parking spaces at elevation 39.45. There is concerned that ponding will occur, especially within the handicap parking spaces. 3. The north parking lot drainage area (from parking number 26 thru 43 and adjacent drive aisle) will sheet flow toward elevation 38.92 adjacent to the small island and bottom-out. The surrounding grades all discharge to this location. There is concerned that runoff will pond in this area, especially since the existing gravel is being replaced with asphalt pavement.	C401	Tuan Huynh	Tuan Huynh
Building Roof Drain					
Engineering	Draft	1. How is the building roof drainage being collected and discharged? Please provide detail.	C401	Tuan Huynh	Tuan Huynh
Pavement Thickness					
Engineering	Draft	1. Detail No. 4 and No. 5 show 1.5" Asphalt thickness. But Typical Pavement Section Detail No. 3 on sheet C502 shows 2" Asphalt Pavement thickness. Please revise to match 2" typical pavement section.	C501	Tuan Huynh	Tuan Huynh
Concrete Pavement Section					
Engineering	Draft	1. Detail No. 3 shows 5" concrete pavement section. Site Plan sheet C301 callout 2" asphalt for parking lot pavement areas. Please clarify where concrete pavement is being used.	C501	Tuan Huynh	Tuan Huynh

Discipline	Status	Details	Attached To	Created By	Last Updated By
Engineering	Draft	Asphalt Pavement 1. Please revise (2" Type S-III) to (2" Asphalt Concrete Type SP-9.5/12.5) to match latest FDOT specifications for Typical Pavement Section Detail No. 3.	C502	Tuan Huynh	Tuan Huynh
Engineering	Draft	Inlet Top Modification 1. Detail No. 4 is for existing catch basin top modifications. But there are no existing inlets being modified on this project. Please clarify or revise plan.	C502	Tuan Huynh	Tuan Huynh
Engineering	Draft	Concrete Pavement Detail 1. Detail No. 2 Concrete Pavement Detail show 6" concrete pavement being proposed on-site. Site Plan sheet C301 show 2" asphalt for the pavement areas. Please clarify or remove detail if it is not being used.	C502	Tuan Huynh	Tuan Huynh
Engineering	Draft	Bollard Detail 1. Where are bollards on site plan sheet C301? Please show location on site plan.	C502	Tuan Huynh	Tuan Huynh
Forestry	Draft	Tree Survey Please provide a tree survey showing existing conditions on the site. Several trees that show up on aerial imagery do not appear to be included in your landscape plan. Have these trees been removed? Please provide a list of all trees to remain and trees to be removed. Last comment from reviewer: In addition to the 5 that I marked on the plan, there are also two trees on the east side of the property below the shed which show up on aerial imagery, but they are not included on your plan.	L101	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Laurel Oak Laurel Oak is not on the list of approved tree replacement species.	L101	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Container Size Add 45 gallon container size to canopy tree specifications.	L101	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Orange County Remove reference to Orange County in the plan and replace with City of DeLand.	L101	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Buffers Buffers North A, East, West A and West B do not appear to contain sufficient canopy trees. Please coordinate with Planning on this issue.	L101	Mariellen Calabro	Mariellen Calabro

Discipline	Status	Details	Attached To	Created By	Last Updated By
Forestry	Draft	Oak Trees Identify oak trees by species.	L101	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Barricade Detail Please replace your tree protection detail with the current City Tree Barricade Detail.	L101	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Worksheets Please provide tree worksheets for the project.	C101	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Site Square Footage Your plan shows the square footage as 86,550.8 sf, but your summary lists it as 86,684.4 sf. Please correct whichever is incorrect.	C101	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Protection Area At least 15% of your project area must be designated as Tree Protection Area. Please show the limits of this area on your plans.		Mariellen Calabro	Mariellen Calabro

Conditions and notes for record SP22-026

Job Address: 647 S WOODLAND BLVD, DELAND FL 32720

Job Description: Site plan level I

Discipline	Status	Type	Details	Attached To	Created By
Forestry	Draft	Note	Tree Worksheet Info If project area is 86,550.8 sf, then 208" DBH is needed to meet minimum coverage, and 12,983 sf of TPA will be needed.	C101	Mariellen Calabro
Forestry	Draft	Note	Landscape Plan The current landscape plan would add 70" DBH of crape myrtle and 135" DBH of oak once the species is corrected.	L101	Mariellen Calabro

NEW BUSINESS

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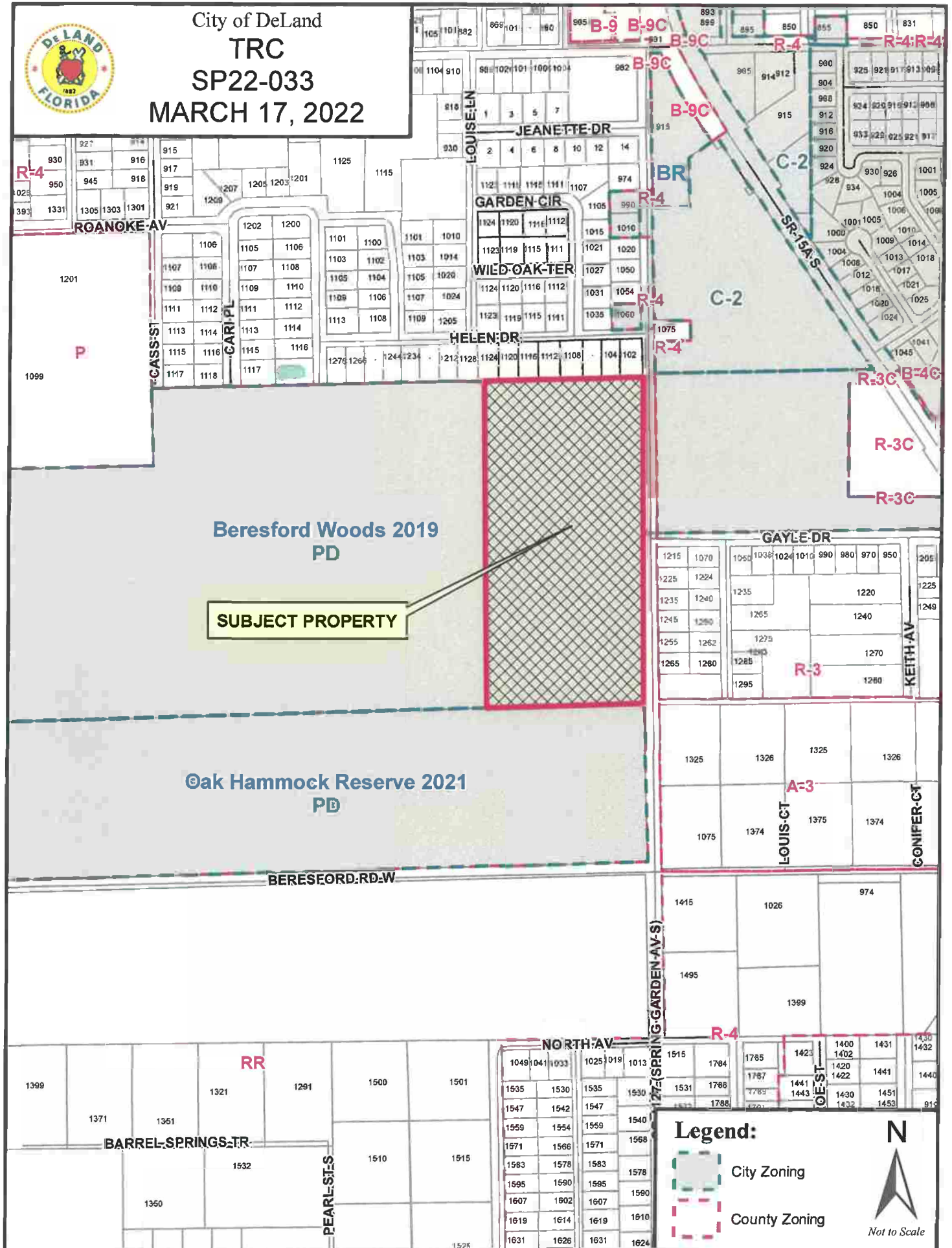


City of DeLand
TRC
SP22-033
MARCH 17, 2022





City of DeLand
TRC
SP22-033
MARCH 17, 2022



Issues for record SP22-033

Job Address: 0 S SPRING GARDEN AV,

Job Description: Beresford Woods Model Home Site Plan

Discipline	Status	Details	Attached To	Created By	Last Updated By
General Comment					
Engineering	Draft	1. Please use lighter shading for those improvements that are not part of the model homes and sales center construction limits. It is difficult to differentiate on Site Plan what are the subdivision infrastructure and model homes & sales center improvements. Please revise plan.	C101	Tuan Huynh	Tuan Huynh
Sidewalks, Parking Lot, and Details					
Engineering	Draft	1. On sidewalk detail 907, why is the concrete sidewalk 6" thick for pedestrian use?	C101	Tuan Huynh	Tuan Huynh
		2. Detail 300R concrete ribbon curb shows 12" stabilized subgrade, but Detail 917 roadway cross section shows 10" stabilized subgrade under the ribbon curb. Please clarify or revise plan.			
		3. Please note new sidewalks to both the model home lots and sales center must be ADA compliance. Provide spot grades along proposed sidewalks to ensure max. 5% longitudinal and 2% cross-slopes are met per ADA. Ramps are also required at the entrance doorway.			
		4. Please callout sidewalk width to sales center and must be ADA compliance.			
		5. Please provide spot grades for the pedestrian crosswalk areas at both driveway aprons to ensure max. 2% cross-slopes are met per ADA.			
		6. Please provide 24" white stop bar and stop sign (R1-1) for both parking lots. Stop bar must be setback min. 4' from the pedestrian crosswalk.			
		7. Provide 12" white standard pedestrian crosswalk striping per FDOT Standard Plans Index 711-001 at both driveway aprons.			
		8. Sanitary lateral is located within the parking lot pavement next to the model homes. Please ensure cleanout is located outside the pavement area. Otherwise a brass ring cover must be provided at cleanout to avoid damage by vehicles.			
Lot Grading					
Engineering	Draft	1. Model home lots 81 and 82, please provide drainage flow arrows matching Type "A" lot grading. Also, provide spot grade at middle of rear lot line to ensure positive drainage to the side yards and toward the streets right-of-way at min. 1% slope. Please revise plan.	C101	Tuan Huynh	Tuan Huynh
		2. Revise text within the model home envelop to say, TYPE "A" LOT GRADING.			

Discipline	Status	Details	Attached To	Created By	Last Updated By
Fire	Draft	Construction No vertical construction or storing of combustible materials is allowed until the engineering/utilities & fire prevention division have inspected and approved the roads and water supply.	C101	Fred Link	Fred Link
Forestry	Draft	Tree Worksheets Please add Tree Worksheets for the project.	C101	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Barricade Detail Please add Tree Barricade Detail.	LS-1	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Survey Please add Tree Survey or confirm that all trees have been removed and mitigated as part of the overall subdivision site plan.	LS-1	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Landscape Note 2 Please add that any changes must be approved by the City Forester.	LS-1	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Plant List The minimum size for trees is 3" caliper. Please increase to 3" caliper and add 45 gallon container minimum to your specifications.	LS-1	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Minimum Coverage Your current plan provides the correct number of trees to meet minimum coverage, but not the correct DBH. We will need to discuss this at the TRC meeting. Prior to obtaining final CO on individual building lots, each lot will need to meet minimum coverage requirements.	LS-1	Mariellen Calabro	Mariellen Calabro
Planning	Draft	model homes The PD states that "the developer shall avoid repeating sequence of design and shall not utilize the same design on lots within 3 single-family lots of each other on the same side of the street". However, the site plan has two Type A models next to each other.	C101	Kendall Story	Kendall Story
Planning	Draft	Hours of operation Add note: Temporary sales office may only operate within the hours of 9:00 a.m. until 9:00 p.m. each day. 33-20(d)	C101	Kendall Story	Kendall Story

Discipline	Status	Details	Attached To	Created By	Last Updated By
Planning	Draft	temporary Add note: Temporary sales offices shall cease operation and mobile office trailers shall be removed from the site no later than 90 days after the completion of the last home in the specific phase of development which the office serves or five years from the date of the approval of the temporary sales office, whichever comes first. 33-20.01	C101	Kendall Story	Kendall Story
Planning	Draft	irrigation plan irrigation plan not submitted	C101	Kendall Story	Kendall Story
Planning	Draft	stairs? Are there stairs for the trailer? If yes, include on site plan.	C101	Kendall Story	Kendall Story
Planning	Draft	sidewalk Sidewalk along street must be 5' wide	C101	Kendall Story	Kendall Story

NEW BUSINESS

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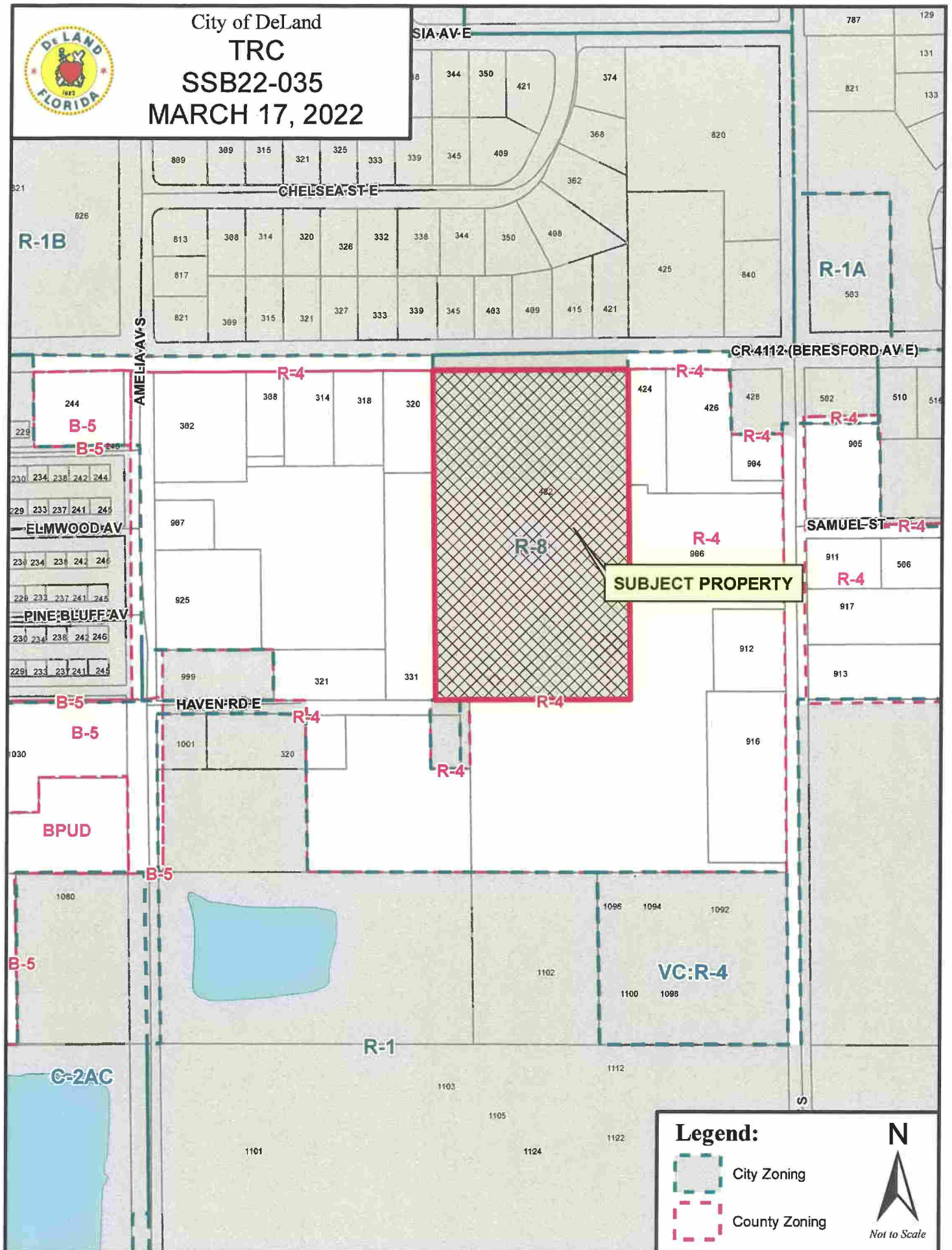


City of DeLand
TRC
SSB22-035
MARCH 17, 2022





City of DeLand
TRC
SSB22-035
MARCH 17, 2022



Issues for record SSB22-035

Job Address: 422 E BERESFORD AV, DELAND FL 32724

Job Description: 48 townhomes in 5.96 acres

Discipline	Status	Details	Attached To	Created By	Last Updated By
Engineering	Draft	Location Map 1. Please provide a larger Location Map for clarity.	C-0	Tuan Huynh	Tuan Huynh
Engineering	Draft	Notes 1. Under Project Note #10, please provide the ITE code number and average daily trip rate for townhouse. 2. Please remove the reference to Orange County, Florida from Erosion Control Notes #1.	C-1	Tuan Huynh	Tuan Huynh
Engineering	Draft	Pavement Delineation 1. Please show clearly on the site plan where the 3.5" thick asphalt pavement ends and 1.5" thick asphalt pavement begins per Typical Pavement Section detail on sheet C-4.	C-2	Tuan Huynh	Tuan Huynh
Engineering	Draft	Pond Water Table 1. Provide the estimated seasonal high water table (SHWT) on the Pond Detail Section A-A. Per SJRWMD, minimum 1-foot of separation is required between pond bottom and SHWT.	C-3	Tuan Huynh	Tuan Huynh
Engineering	Draft	Drainage Structures 1. Drainage structure callouts at bottom of sheet, please use current FY 2021-22 FDOT Standard Plans Index numbering. For example, Type 'E' Inlet is now Index No. 425-052 and not 210. Revise plan where applicable. 2. Inlet D-2, D-5, and D-7 encroaches onto the traffic island divider. Are these islands curb? If yes, please relocate inlets away from the island curbing. 3. Please check maximum skewed angle for incoming pipes at structure D-3 per FDOT Storm Drains Handbook (October 2014), Table 4-3. Otherwise use round J-Bottom if necessary. Please confirm or revise plan.	C-3	Tuan Huynh	Tuan Huynh
Engineering	Draft	Storm Sewers 1. Please show slopes for each storm pipe segment so that velocity can be checked. 2. Please show rip-rap protection at the mitered end section at the discharge points.	C-3	Tuan Huynh	Tuan Huynh
Engineering	Draft	Pond Slopes Tie-down 1. Please check that retention pond tie-down slopes to property line at the northwest and west sides do not exceed 1:4 (V:H) max. Otherwise revise plan.	C-3	Tuan Huynh	Tuan Huynh

Discipline	Status	Details	Attached To	Created By	Last Updated By
		Handicap Parking and Sidewalk Edge			
Engineering	Draft	1. Please provide additional spot grades at the handicap parking spaces to ensure ADA compliance. 2. It is not clear where the proposed sidewalks within the development are flushed with the pavement and where they are raised (thickened) edge. Please note more clearly on plan.	C-3	Tuan Huynh	Tuan Huynh
		Type E Inlet Detail			
Engineering	Draft	1. Inlet used on grading plan are standard ditch bottom inlets with grates. Detail on this sheet specified Type E Wing Inlet for Modified Curb which does not match proposed use. Please use latest FDOT Standard Plans Index for Inlets.	C-4	Tuan Huynh	Tuan Huynh
		Orange County Listed			
Fire	Draft		C-0	Fred Link	Fred Link
		Land Clearing			
Fire	Draft	No burning is allowed.	C-1	Fred Link	Fred Link
		Roads			
Fire	Draft	All access roads must be a minimum of at least 20ft. Must meet apparatus height/weight/slope and turning radius requirements. Show on plans. Apparatus info uploaded in documents/attachments	C-2	Fred Link	Fred Link
		Hydrant(s)			
Fire	Draft	Show hydrants and spacing that meets the code. NFPA 1 Chapter 18 spacing	C-2	Fred Link	Fred Link
		water flow analysis			
Fire	Draft	Show required fire flow for the structures and that the required fire flow will be met.	C-2	Fred Link	Fred Link
		Orange County			
Forestry	Draft	Remove reference to Orange County in Erosion Control Notes 1 and 7.	C-1	Mariellen Calabro	Mariellen Calabro
		Tree Protection Detail			
Forestry	Draft	Please replace with City Standard Tree Barricade Detail.	C-5	Mariellen Calabro	Mariellen Calabro
		Oak Tree and Pine Tree			
Forestry	Draft	Please identify oak and pine trees by species.	C-5	Mariellen Calabro	Mariellen Calabro

Discipline	Status	Details	Attached To	Created By	Last Updated By
Forestry	Draft	Tree Survey Please provide an excel spreadsheet demonstrating the trees removed and remaining.	C-5	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Crape Myrtle Please correct the common name of Crape Myrtle and fix the spelling of the Latin name, Lagerstroemia indica.	C-5	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Irrigation Plan Please provide an irrigation plan for the project.	C-5	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Crape Myrtle 2 Please increase the size of the crape myrtle to 3" caliper, which is the minimum size allowed by Code.	C-5	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Replacement Your current landscape plan will provide 307.5" DBH of Live Oak replacement and 252" DBH of Crape Myrtle replacement once the size for the species is increased to Code minimum. I cannot determine whether this is sufficient without the additional tree removal data requested. It appears that your plan will require 920" DBH replacement, so the 559.5" DBH provided will not be sufficient. Specimen Trees and other protected trees that are not removed can be used towards minimum coverage, but not replacement.	C-5	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Removal and Landscape Plan We recommend separating the tree removal sheet from the Landscape Plan for clarity.		Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Worksheets Please provide Tree Worksheets for the project.		Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Survey 2 Your Tree Survey information on this sheet is different than what is shown on the Efirid Survey. Please correct whichever is incorrect. Both pages use different symbols and colors, but the information doesn't appear to be same.	C-5	Mariellen Calabro	Mariellen Calabro
Planning	Draft	CIRCULATION Installation of sidewalks along street frontages is required. Include pedestrian connections between the site interior and the sidewalk.		Danevsky Joseph	Danevsky Joseph
Planning	Draft	Zoning The zoning for this property is R-8 not R-12	C-1	Danevsky Joseph	Danevsky Joseph

Discipline	Status	Details	Attached To	Created By	Last Updated By
Planning	Draft	Parking 2, 3, or more bedrooms: 2 spaces/unit, visitor parking: .5 space/unit	C-1	Danevsky Joseph	Danevsky Joseph
Planning	Draft	Impervious Maximum impervious surface: 50 percent	C-1	Danevsky Joseph	Danevsky Joseph
Planning	Draft	Setbacks Front: 30 feet from projected perimeter lot line Rear and Side: 20 feet from projected perimeter lot line 40 feet from the project perimeter lot line when adjacent to single-family residential district. May be reduced to 20 feet if an eight- foot wall is used for visual screening.	C-1	Danevsky Joseph	Danevsky Joseph
Planning	Draft	Buffers Show landscape buffers and label widths	C-2	Danevsky Joseph	Danevsky Joseph
Planning	Draft	Parking 9x19 parking width		Danevsky Joseph	Danevsky Joseph
Planning	Draft	Parking Amenity Center needs handicap parking		Danevsky Joseph	Danevsky Joseph
Planning	Draft	required lots You proposed 48 lots the required amount is 47		Danevsky Joseph	Danevsky Joseph
Planning	Draft	Parking Update parking calculations		Danevsky Joseph	Danevsky Joseph
Planning	Draft	Plants Show quantity of plants for each buffer		Danevsky Joseph	Danevsky Joseph
Planning	Draft	Measurement Show measurement for each lot Show footprint of buildings Show property boundary lines more bold and visible		Danevsky Joseph	Danevsky Joseph

Discipline	Status	Details	Attached To	Created By	Last Updated By
Planning	Draft	Required buffers North = 15' min (Standard B) South= 30' min (Standard D) East= 30' min (Standard D) West = 20' min (Standard C)		Danevsky Joseph	Danevsky Joseph
Utilities	Draft	Standard Details Please use the City of DeLand Details dated 11/5/21	C-4	Scott Zender	Scott Zender
Utilities	Draft	Utility Notes #16 Phone n umber should be (386) 626-7192	C-1	Scott Zender	Scott Zender
Utilities	Draft	Private Lift Station Did not see one on the plans. Please point out location.	C-1	Jim Ailes	Jim Ailes
Utilities	Draft	Utility Service Agreement An agreement will be drawn up showing who will own what parts of the Utility system upon completion.	C-0	Jim Ailes	Jim Ailes
Utilities	Draft	Change Name DeLand	C-1	Jim Ailes	Jim Ailes
Utilities	Draft	Name Change to DeLand	C-1	Jim Ailes	Jim Ailes

Conditions and notes for record SSB22-035**Job Address: 422 E BERESFORD AV, DELAND FL 32724****Job Description: 48 townhomes in 5.96 acres**

Discipline	Status	Type	Details	Attached To	Created By
Utilities	Draft	Note	Master Meter City is taking it that this project will be master metered (water main) as shown on plans? So all internal water and sewer line will be private?	C-2	Scott Zender

NEW BUSINESS

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City of DeLand
TRC
SP22-037
MARCH 17, 2022



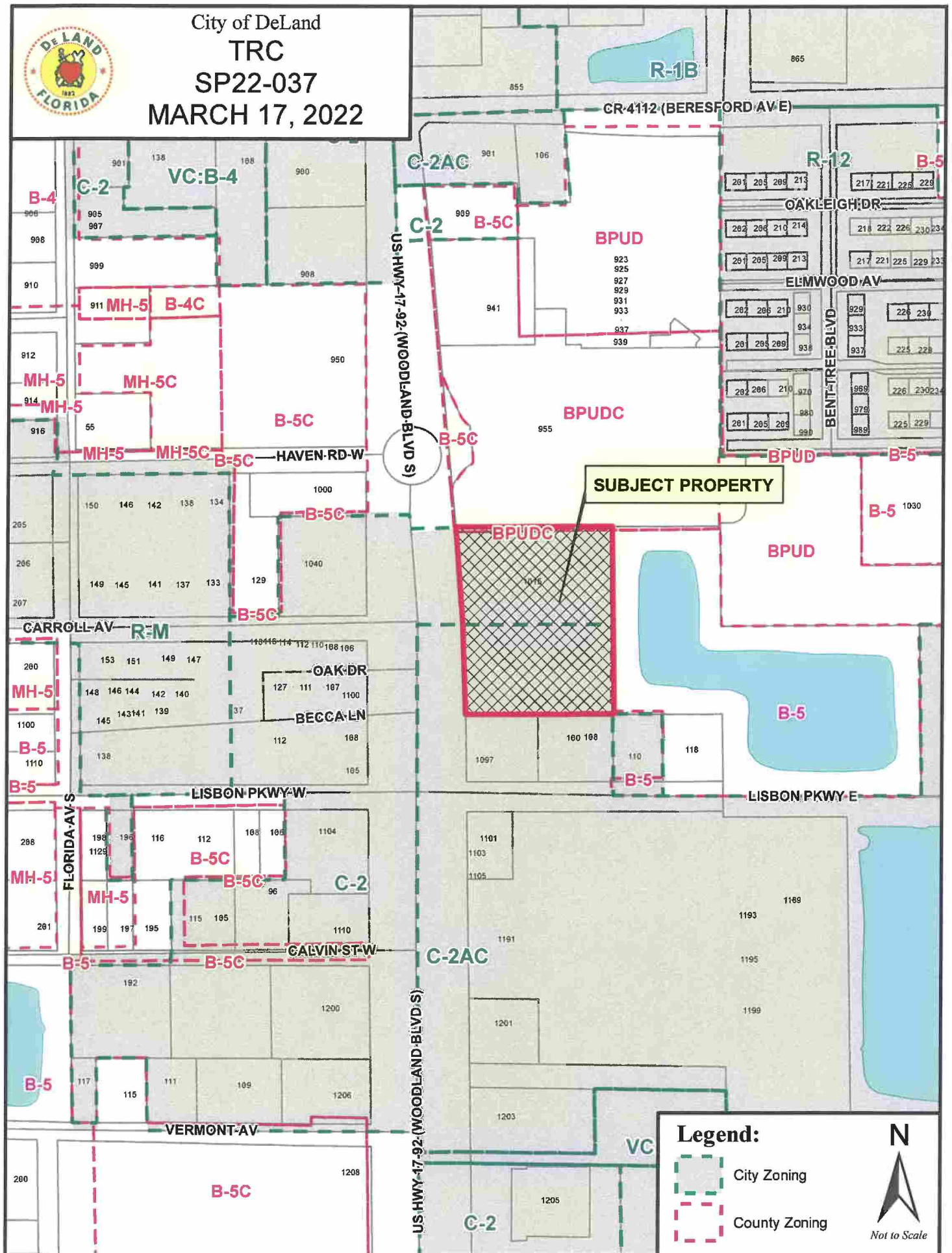
Legend:

-  City Zoning
-  County Zoning





City of DeLand
TRC
SP22-037
MARCH 17, 2022



Issues for record SP22-037

Job Address: 1015 S WOODLAND BLVD, DELAND FL 32720

Job Description: New 3-story, climate controlled, self-storage facility built behind existing self-storage units.

Discipline	Status	Details	Attached To	Created By	Last Updated By
General Comments					
Engineering	Draft	1. This development is adjacent to Woodland Blvd.; therefore, FDOT Permit is required. 2. Has SJRWMD review this development or FDEP 10/2 Self-Certification application been submitted? Please confirm.		Tuan Huynh	Tuan Huynh
Drainage Calculations					
Engineering	Draft	1. Please note post-development impervious coverage will increase due to the new building and pavement areas being constructed over the existing dry pond (open space grass). Curve number (CN) will increase from pre-development. Therefore, Stormtech chambers must be sized not only for the dry pond volume being displaced (11,000 CF) but for the increase in runoff volume due to pre to post CN values. Please use 25yr-24hr storm event, since site is over 1.0 acre. 2. Please provide the existing dry pond stage/storage calculations to confirm the pond volume being displaced is 11,000 CF. 3. Please provide recovery calculations to ensure Stormtech chamber will recover the treatment volume. Refer to SJRWMD Permit Information Manual, Part V, Section 7.0 Exfiltration Trench Criteria for requirements.		Tuan Huynh	Tuan Huynh
Stormtech Chambers					
Engineering	Draft	1. Please provide Stormtech Chamber Typical Section with design grades and elevations to evaluate the design. Chamber details on sheet C-5 shows generic dimensions recommended by Stormtech in their design brochures. 2. Chamber typical section must include top of pavement grade, bottom of limerock base, top and bottom of aggregates envelop, top and bottom of chambers. This information is needed to check for minimum cover and pavement & base clearances above the chambers and aggregates envelop. 3. Chambers layout are close to the new building pad on east side and existing building on west side. Please verify with Stormtech engineers for require minimum horizontal clearance from building to chamber aggregates envelop. Revise plans as needed.	C-3	Tuan Huynh	Tuan Huynh
Bubble-up Structures					
Engineering	Draft	1. Bubble-up structure Inlet F and Inlet G has a grate opening set at EL. 15.00. If Stormtech chamber incremental storage elevation is above 15.00 then stormwater runoff will discharge thru the bubble-up and not to the chambers for attenuation. Please verify to ensure that the chambers are designed to attenuate the require volumes. 2. Site and existing dry pond appears to be landlocked (closed basin) and must retain entire runoff volume on-site. Are the bubble structures Inlet F and Inlet G designed to discharge off-site? Please clarify.	C-3	Tuan Huynh	Tuan Huynh

Discipline	Status	Details	Attached To	Created By	Last Updated By
Drainage Structure Schedule					
Engineering	Draft	1. On Drainage Structure Schedule, please show the pipe sizes. 2. On Drainage Structure Schedule, please use latest FDOT Standard Plans Index 425 series. For example, instead of callout "Catch Basin" please be more specific such as Type C Inlet or Manhole Type 8 with P or J-Bottom.	C-5	Tuan Huynh	Tuan Huynh
Building and Pond Cross Section					
Engineering	Draft	1. Is there enough clearance to mow and maintain the pond area (after construction) under the proposed building? 2. Please note maximum allowable slope is 1:4 (V:H) not 1:2. If applicable, revise pond displaced volume calculations. 3. Please provide dimension from building FFE to existing pond bottom.	C-5	Tuan Huynh	Tuan Huynh
Access					
Fire	Draft	Must meet the requirements for height/weight/slope and turning radius. Must show on plans.	C-2	Fred Link	Fred Link
Limited Access Structure					
Fire	Draft	Requires more access than only one side.	C-2	Fred Link	Terry Griffiths
Fire Hydrant(s)					
Fire	Draft	Show all fire hydrant locations within 1000ft of the project.	C-2	Fred Link	Fred Link
Fire Flow analysis					
Fire	Draft	Show required fire flow and how it will be met.	C-2	Fred Link	Fred Link
Land Clearing					
Fire	Draft	No burning is allowed.	C-2	Fred Link	Fred Link
Radio Enhancement System					
Fire	Draft	A radio test must be performed under the supervision of Volusia County Radios. Over 10:000 sq feet Test will decide if a DBA system will need to be installed.	C-2	Fred Link	Fred Link
Access Gate					
Fire	Draft	Must meet apparatus requirements. See documents/attachments. Must have access to get in and out of the complex.	SWPPP-2	Fred Link	Fred Link

Discipline	Status	Details	Attached To	Created By	Last Updated By
Fire	Draft	Utilities No fire line shown or FDC location for the project.	G0-00	Fred Link	Fred Link
Forestry	Draft	ADA Compliance Note 4 Remove reference to Miami-Dade County.	C-1	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Landscape and Irrigation Plan Please provide a Landscape and Irrigation Plan		Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Worksheets Please provide Tree Worksheets for the Project.		Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Barricade Detail Please provide Tree Barricade Detail showing how existing trees will be preserved.	A0-01	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Survey Please indicate the species and diameter of all trees to be removed and preserved on site.	A0-01	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Lot Size Your Tree Calculation page lists the site as 111,687.84 sf, and this page shows it as 111,692. Please correct whichever is incorrect.	G0-00	Mariellen Calabro	Mariellen Calabro
Planning	Draft	Landscaping 1. Verify the need for any upgrades to the landscaping requirements and provide a landscape plan. At least 15% of the site needs to be dedicated to tree protection. Clearly identify the tree protection area(s) on the plans.	A0-01	Belinda Collins	Belinda Collins
Utilities	Draft	Water Lines Any water extensions and fire hydrants interior of the property will remain private. A Utility Service Agreement maybe needed.	G0-00	Jim Ailes	Jim Ailes

Conditions and notes for record SP22-037**Job Address: 1015 S WOODLAND BLVD, DELAND FL 32720****Job Description: New 3-story, climate controlled, self-storage facility built behind existing self-storage units.**

Discipline	Status	Type	Details	Attached To	Created By
Forestry	Draft	Note	Minimum Coverage and TPA If your site is 11,687.84 sf, you will need 268" DBH to meet minimum coverage requirements, and you will need to provide 16,753 sf of Tree Protection Area.	A0-01	Mariellen Calabro

NEW BUSINESS

7

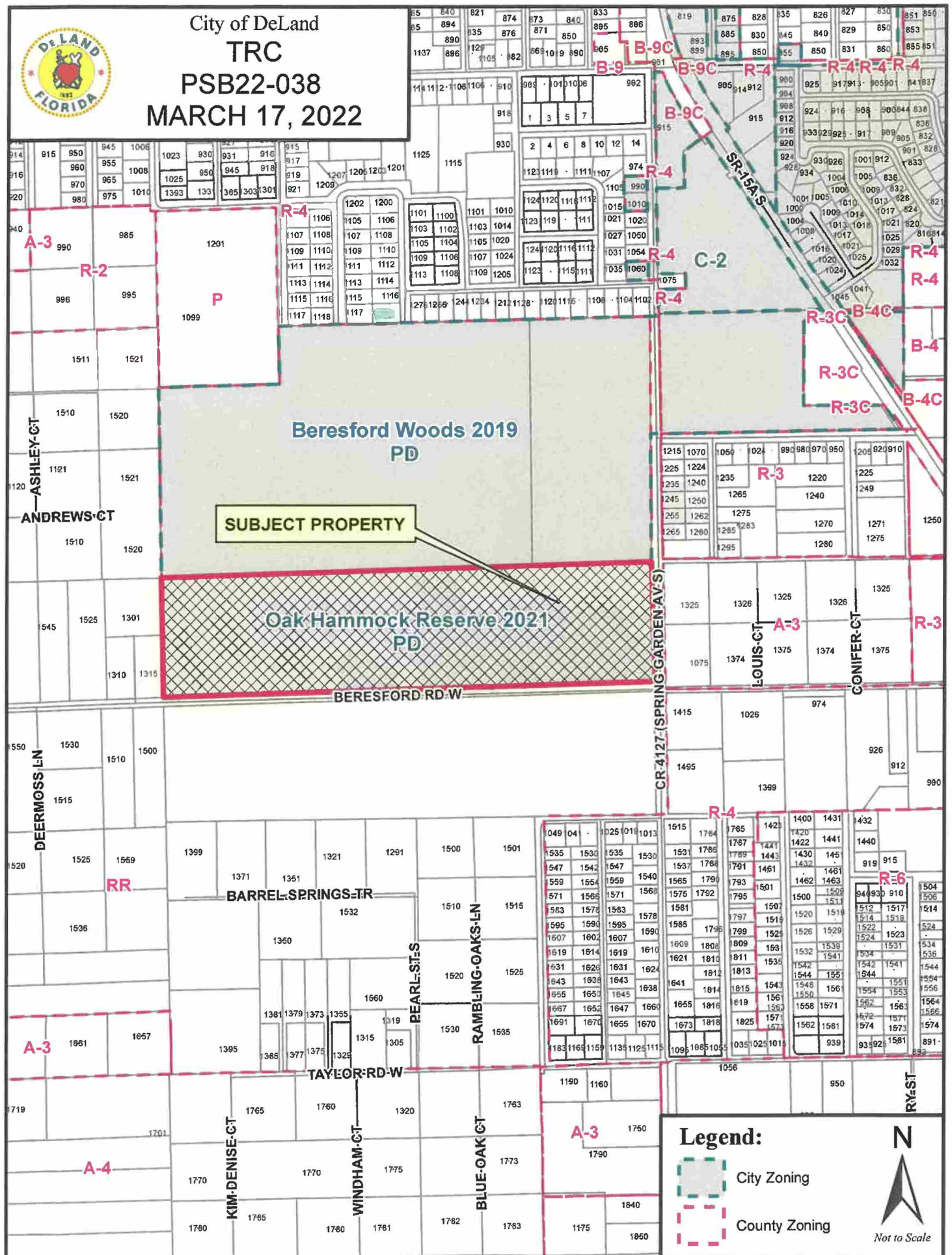


City of DeLand
TRC
PSB22-038
MARCH 17, 2022





City of DeLand
TRC
PSB22-038
MARCH 17, 2022



Issues for record PSB22-038

Job Address: 0 W Beresford RD, Deland Florida 32720

Job Description: The project site is vacant land located at the NW corner of W. Beresford Rd. and S. Spring Garden Ave. The property is approved for a 110 Lot Residential Subdivision.

Discipline	Status	Details	Attached To	Created By	Last Updated By
Engineering	Draft	General Comments 1. Beresford Avenue and S. Spring Garden Avenue are Volusia County maintained roads. County Use Permit is required.		Tuan Huynh	Tuan Huynh
Engineering	Draft	Drainage Calculations - Report Narrative 1. Civil Engineer office phone number on Stormwater Report cover page does not match Construction Plan Cover Sheet C01. Please revise. 2. Page 1 – Project Description: Report narrative states project area as 36.63 acres in multiple places. However, the construction plans Cover Sheet C01 states project area as 38.64 acres. Please clarify different in project areas between drainage report and construction plans. Will this change the drainage analysis and calculations in sections B thru D. 3. Page 1 – Soils Table: Please add the percentage slopes (0 to 8% and 8 to 17%) under each Astatula fine sand soil type to differentiate between Soil #4 and #5. 4. Page 2 – Basin Design Methods: 1st Paragraph states, "SCS Soils Survey for Seminole County...". Please revise. 5. Page 2 – Peak Stage Comparison: Text in paragraph should say 100-year 24-hour storm after 10-year 24-hour storm.		Tuan Huynh	Tuan Huynh
Engineering	Draft	Drainage Calculations - Basin Spreadsheet Calculations 1. PRE and POST Basins Time of Concentration (Tc) calculations: Please note per National Resource Conservation Service (NRCS) the max. sheet flow length is max. 100 feet. Calculations submitted used max. 300 feet. Furthermore, SJRWMD has made comments on other City projects to limit the length to max. 100. This comment can be further discussed with staff at TRC meeting on March 17, 2022. 2. PRE Basin 1B: Please check curve number (CN) of 57 used for single family ¼ acre lot. Per TR-55 Manual, table 2-2a, CN should be 61 for Type "A" soil. Please revise spreadsheet calculations and ICPR input. 3. POST Basins Area and CN and Tc spreadsheets: Spreadsheets heading title are labeled as "Pre-Development" on multiple sheets. Please correct where applicable for all Basins and Time of concentration spreadsheets.		Tuan Huynh	Tuan Huynh

Discipline	Status	Details	Attached To	Created By	Last Updated By
Engineering	Draft	Drainage Calculations - PRE ICPR Model			
		1. PRE Basin 5: ICPR model area and CN input do not match spreadsheet calculations. Please revise.		Tuan Huynh	Tuan Huynh
		2. PRE Basin 6: Time of concentration input in ICPR model does not match spreadsheet calculations.			
		3. PRE Node DEP10: ICPR initial and warning stages do not match input Time/Stage data.			
		4. PRE Node DEP 5: Initial stage EL. 47.0 is below the bottom depressional stage 50.0. Also, why is warning stage same as the depressional bottom stage?			
		5. PRE ICPR weir links: Irregular weir links are used with cross-sections. Please include the cross sections in the report so that ICPR input can be checked.			
Engineering	Draft	Drainage Calculations - POST ICPR Model			
		1. POST Basin 1: ICPR used Tc 15.0 minutes. But spreadsheet calculations show 40.1 minutes. Please revise spreadsheet or ICPR model.		Tuan Huynh	Tuan Huynh
		2. POST Basin 1A and Basin 1B: Spreadsheet calculations are missing, please include so ICPR input can be checked.			
		3. POST ICPR nodes: Why is node Ground A (for percolation) starts at initial stage but Ground B (for percolation) starts at elevation 0.0.			
		4. POST ICPR weir links: Irregular weir links are used with cross-sections. Please include the cross sections in the report so that ICPR input can be checked.			
		5. POST ICPR Weir CS-2: Construction plan sheet C20 detail show CS-2 as trapezoidal weir with 4:1 (H:V) side slopes. But the ICPR input used rectangular weir geometry 5 feet wide. Please clarify or revise.			
Engineering	Draft	Erosion Note			
		1. Erosion Note No. 3. Please revise note that permit must be submitted to Orange City to City of DeLand.	CO2	Tuan Huynh	Tuan Huynh
Engineering	Draft	Typical Roadway Section			
		1. Typical Roadway Section, please add callout "SOD" for the 7' wide strip outside the roadway pavement area.	C07	Tuan Huynh	Tuan Huynh
Engineering	Draft	Phasing Text Box			
		1. Proposed Phasing text box, please provide the total acreage for all three phases.	C07	Tuan Huynh	Tuan Huynh
Engineering	Draft	Phase Delineation Lines			
		1. Please use dashed line to show the phases limits on the plan view for clarity.	C07	Tuan Huynh	Tuan Huynh

Discipline	Status	Details	Attached To	Created By	Last Updated By
Engineering	Draft	Lot Grading	C10	Tuan Huynh	Tuan Huynh
		1. General Grading Notes, please add, "Maximum allowable slope is 1:4 (V:H) for grass and sod areas". 2. Please show stationing grade break points (high points) along the streets with flow arrows for clarity. 3. Please move lot grading type text to be within the lots for Lot 76 and 77. 4. Lot 78 and 79 grading Type "A MOD" spot shot locations do not match lot grading detail.			
Engineering	Draft	Lot Grading	C11	Tuan Huynh	Tuan Huynh
		1. General Grading Notes, please add, "Maximum allowable slope is 1:4 (V:H) for grass and sod areas". 2. Please show stationing grade break points (high points) along the streets with flow arrows for clarity. 3. Lots 22 (south side), 27, and 97 (east side) are missing some spot grades. Please show to match Type "B MOD" detail. 4. Lots 99 thru 103 are missing some spot grades. Please show to match Type "B" grading.			
Engineering	Draft	Secondary Storm System	C11	Tuan Huynh	Tuan Huynh
		1. Is it possible to move curb inlets D-15 and D-16 away from the curb return radius and HC ramps? 2. Curb inlet D-3 is located in middle of the 25' drainage easement to Pond B. There is concerned in future that inlet top will be damaged by maintenance vehicles accessing the pond. 3. Can the drainage easement width be increased or the storm pipe move further away from Lot 22 house pad? Pipe is about 10 feet deep and located only 11 feet away from house pad. There are safety concerns. 4. Can storm pipe between Inlet D-7 and D-8 be shifted further away from Lot 20 house pad? Pipe is over 10 feet deep and located less than 10 feet away from house pad. There are safety concerns.			
Fire	Draft	Land Clearing No burning is allowed.	CO2	Fred Link	Fred Link
Fire	Draft	FFPC Adopted the 7th edition	CO3	Fred Link	Fred Link
Fire	Draft	LDC that referenced code is not correct. NFPA Code	CO3	Fred Link	Fred Link
Fire	Draft	Code references Code doesn't exist.	CO3	Fred Link	Fred Link

Discipline	Status	Details	Attached To	Created By	Last Updated By
Fire	Draft	Second Entrance-Beresford Woods Must be finished and inspected/approved by engineering and fire prevention. LDR requires two access points due to number of units.	C07	Fred Link	Fred Link
Fire	Draft	Access All roads must meet apparatus height/weight/slop and turning radius. Must show on plans. Apparatus information is uploaded into documents/attachments.	C07	Fred Link	Fred Link
Fire	Draft	Fire Hydrant(s) clearances NFPA 1 CH18.5.7	L2.00	Fred Link	Fred Link
Fire	Draft	Hydrant(s) placement & phasing Show complete hydrant system on one page and include bar graph to verify. Show also phasing to ensure proper coverage during development.	C08	Fred Link	Fred Link
Fire	Draft	Access roads Must be a minimum of 20 FT wide with no median.	C07	Fred Link	Terry Griffiths
Forestry	Draft	Water Oak The size and number columns appear to be switched.	C00A	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	General Note 12 Add City right of ways, if applicable.	CO2	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Erosion Control Note 3 Change Orange City to City of DeLand.	CO2	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Demolition and Clearing Notes Add space between Notes 3 and 4.	CO2	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	"Diseased" Trees Our Code does not have an exemption for "diseased" trees. There may be reduced replacement for deteriorated Laurel Oaks, or specimen trees may be downgraded to protected trees.	C04	Mariellen Calabro	Mariellen Calabro

Discipline	Status	Details	Attached To	Created By	Last Updated By
Forestry	Draft	Exempt Trees Camphor trees are exempt, but "Diseased" trees are not. Also, you have subtracted the number of trees and not DBH from your total above.	C04	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Inventory Calculations Please indicate if these are all the trees on site, all the trees removed on site, etc. We need an inventory of the trees to be removed and the trees to remain on site.	C04	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Non Specimen Tree Removal Divide non-specimen tree inches by three to get 5,735" DBH. This will change your total to 7,440" DBH, and your total minus small trees to 5,604" DBH.	C05	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Barricade Detail Please add city standard tree barricade detail and show the limits of tree barricade placement around the larger areas of trees if you do not wish to barricade each individual tree. Is the item labeled as "tree barrier" meant to be your tree barricade or is it an actual tree barrier to prevent root encroachment. Please clarify. I don't see it on the page. The layer may be turned off, or it may need to be modified to become more visible.	C05	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Protection Area Tree Protection Area is shown on the legend, but I don't see it on this page.	C05	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Summary Data Please provide a summary of all trees removed and remaining. I cannot verify the replacement summary with out it.	C05	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Protection Area Please add Tree Protection Area to the legend.	C08	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Protection Area Please add Tree Protection Area to the legend.	C09	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tre Protection Area Tree Protection Area is shown on the legend, but it's not shown on this page.	C10	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Protection Area Tree Protection Area is shown on the legend, but it's not on this page.	C11	Mariellen Calabro	Mariellen Calabro

Discipline	Status	Details	Attached To	Created By	Last Updated By
		Buffer Requirements			
Forestry	Draft	Please coordinate with Planning. It does not appear that sufficient buffer trees have been provided. You may want to add the number of existing trees remaining to clarify whether you will meet the requirements.	L2.00	Mariellen Calabro	Mariellen Calabro
		Plant Schedule			
Forestry	Draft	Please provide root ball specifications. Plants need to be adjusted to meet Grade 1 specifications. Magnolia, Bald Cypress and Pine should be at least 14' height, 54" spread and a 44" root ball; Oak should be at least 14' height, 8' spread and a 44" root ball.	L2.00	Mariellen Calabro	Mariellen Calabro
		Typo			
Forestry	Draft	Under Lot Trees Note 1: Change TREETS to TREES.	L2.01	Mariellen Calabro	Mariellen Calabro
		Recommended Lot Trees			
Forestry	Draft	Lot Trees must be canopy trees from the City Approved Plant List.	L2.01	Mariellen Calabro	Mariellen Calabro
		TD Spacing			
Forestry	Draft	What is the distance between the Bald Cypress shown around this pond? You may want to allow more space for maintenance and try not to plant them on top of the pipes into the pond.	L2.11	Mariellen Calabro	Mariellen Calabro
		Tree Spacing			
Forestry	Draft	What is the spacing between the pines and cypress? You might want to adjust them so they are not on top of pipes and allow for equipment access if maintenance is needed.	L2.12	Mariellen Calabro	Mariellen Calabro
		Staking & Palm Pit Details			
Forestry	Draft	We recommend that trees be placed on native soil as shown on the palm graphic to avoid settling.	L3.10	Mariellen Calabro	Mariellen Calabro
		Note 9			
Forestry	Draft	Add that DBH shall be measured at 4.5' above ground level.	L3.10	Mariellen Calabro	Mariellen Calabro
		Note 14			
Forestry	Draft	Revise staking note at end of the second line in note 14 to replace "guyin" with "guying diagram."	L3.10	Mariellen Calabro	Mariellen Calabro
		Notes 15 to 17			
Forestry	Draft	Adjust LA stamp so it is not blocking the last word of each line.	L3.10	Mariellen Calabro	Mariellen Calabro
		Tree Preservation			
Forestry	Draft	Change Tree Preservation to Tree Protection Area to be consistent with Code language.	2	Mariellen Calabro	Mariellen Calabro

Discipline	Status	Details	Attached To	Created By	Last Updated By
Forestry	Draft	Tree Preservation Change Tree Preservation to Tree Protection Area to be consistent with Code language.	3	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Tree Preservation Change Tree Preservation to Tree Protection Area to be consistent with Code language.	4	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Conservation Easement As required by 33-57.14. Natural vegetation retention areas, please provide documentation that the area where small trees will be preserved is located in a conservation easement protecting all trees from removal in additional to the trees 6" DBH or larger that are already protected by our Code.	C00A	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Laurel Oaks 33-57.14, Natural vegetation retention areas, allows the use of trees on the City's list of approved species to be considered as replacement trees if the requirements of this section are met. Because Laurel Oak is not on this list, we will need to vote at TRC on whether they can be used in this case as they are not specifically mentioned in the project's PD. 33-57.14. Natural vegetation retention areas (a) Areas of property seeking development approvals may be designated as natural vegetation retention areas indicating that all existing vegetation will remain on that area of the site. (b) Under this designation, trees which are listed in the "List of Permitted Shrubs and Trees for Landscaping and Tree Protection" meeting the minimum replacement size criteria, up to trees of the minimum tree definition criteria, may be retained as replacement stock for trees to be removed elsewhere on the site. (c) DBH of these replacement trees must be calculated and may be applied toward replacement volume needed on the site as a whole. Trees designated as replacement stock pursuant to this method shall become protected trees. (d) A conservation easement shall be executed in favor of the city and recorded in the public record which protects the natural conservation vegetation area.	C00A	Mariellen Calabro	Mariellen Calabro
Planning	Draft	School Concurrency Update Please provide copy of a valid school concurrency certificate from VCSB.		Caroline Turgeon	Caroline Turgeon
Planning	Draft	Lot dimensions Please show lot dimensions on overall or utility plans.		Caroline Turgeon	Caroline Turgeon
Planning	Draft	Eastern buffer Provided plat pages show the eastern buffer (Tract "E") as not extending the full length of the road frontage. Said tract will need to go all the way from north to south, as shown on this page.	L2.12	Caroline Turgeon	Caroline Turgeon

Discipline	Status	Details	Attached To	Created By	Last Updated By
Planning	Draft	Buffer widths Please state buffer widths on plan.	L2.12	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Buffer widths Please state buffer widths on plan.	L2.11	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Buffer widths Please state buffer widths on plan.	L2.10	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Plant schedules On pages L2.00 & L2.01, the symbols for the tree species are not consistent, which makes it difficult to determine what species is used in the subsequent pages. Please make tree symbols the same across all pages.	L2.01	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Planting schedules On pages L2.00 & L2.01, the symbols for the tree species are not consistent, which makes it difficult to determine what species is used in the subsequent pages. Please make tree symbols the same across all pages.	L2.00	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Understory/ornamental In Buffer Requirements table, please refer to 'ornamental' trees as 'understory' trees, so to be consistent with Code.	L2.00	Caroline Turgeon	Caroline Turgeon
Planning	Draft	East buffer In the "Buffer Requirements" table, you state for the ornamental/understory trees, under "Provided" that existing are to remain. However, on this or on pg. L2.12, it is not clear whether there are any understory trees to begin with, or their species. Please provide this information.	L2.00	Caroline Turgeon	Caroline Turgeon
Utilities	Draft	Potable Water #1 2" and below will be blue poly pipe no PVC allowed for 2" and below	CO3	Scott Zender	Scott Zender
Utilities	Draft	Potable Water #6 Butterfly valves are not authorized, city only uses gate valves on water, reclaim, and sewer mains	CO3	Scott Zender	Scott Zender
Utilities	Draft	Potable Water #10 No PVC for 2" and under must be poly pipe	CO3	Scott Zender	Scott Zender

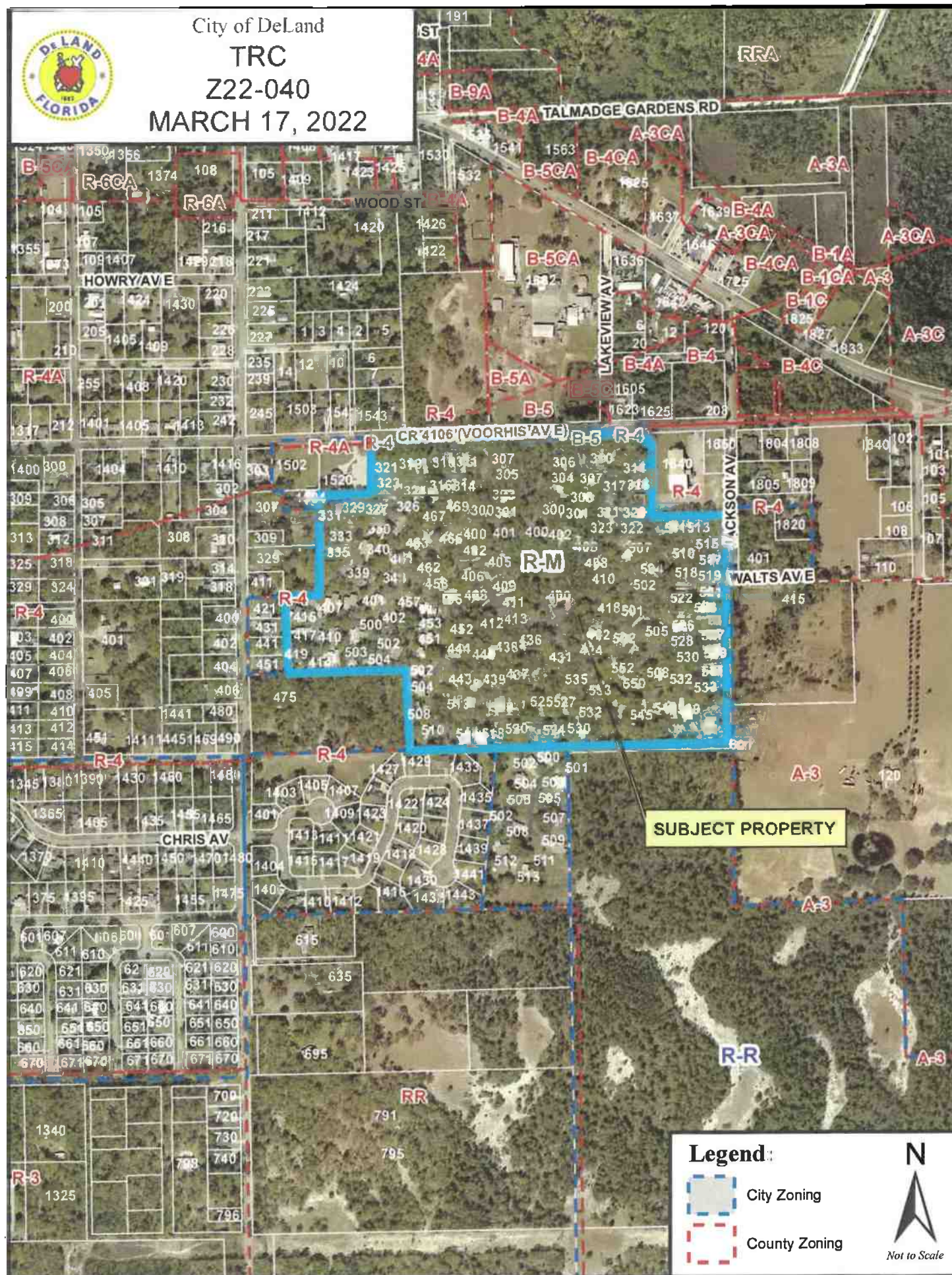
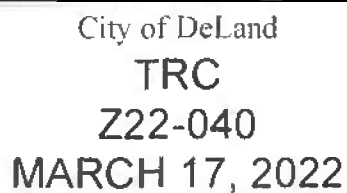
Discipline	Status	Details	Attached To	Created By	Last Updated By
Utilities	Draft	Potable Water #11 No 2" PVC must be poly pipe	CO3	Scott Zender	Scott Zender
Utilities	Draft	Potable Water #22 Contractor is responsible for taking water samples not the city	CO3	Scott Zender	Scott Zender
Utilities	Draft	Potable Water #27 Refer to City of DeLand Details dated 11/5/21 for authorized curb stop	CO3	Scott Zender	Scott Zender
Utilities	Draft	Name Change Remove Orange City	CO3	Jim Ailes	Jim Ailes
Utilities	Draft	Name Change Remove Orange City	CO3	Jim Ailes	Jim Ailes
Utilities	Draft	Line size Loop a 2" water line around loop instead of 8" water main.	C08	Jim Ailes	Jim Ailes
Utilities	Draft	Loop water main Loop water main from Hammock Reserve Drive to Spring Garden Ave Water Main.	C08	Jim Ailes	Jim Ailes
Utilities	Draft	Loop water main Continue looping from Hammock to spring garden connection for water.	C09	Jim Ailes	Jim Ailes

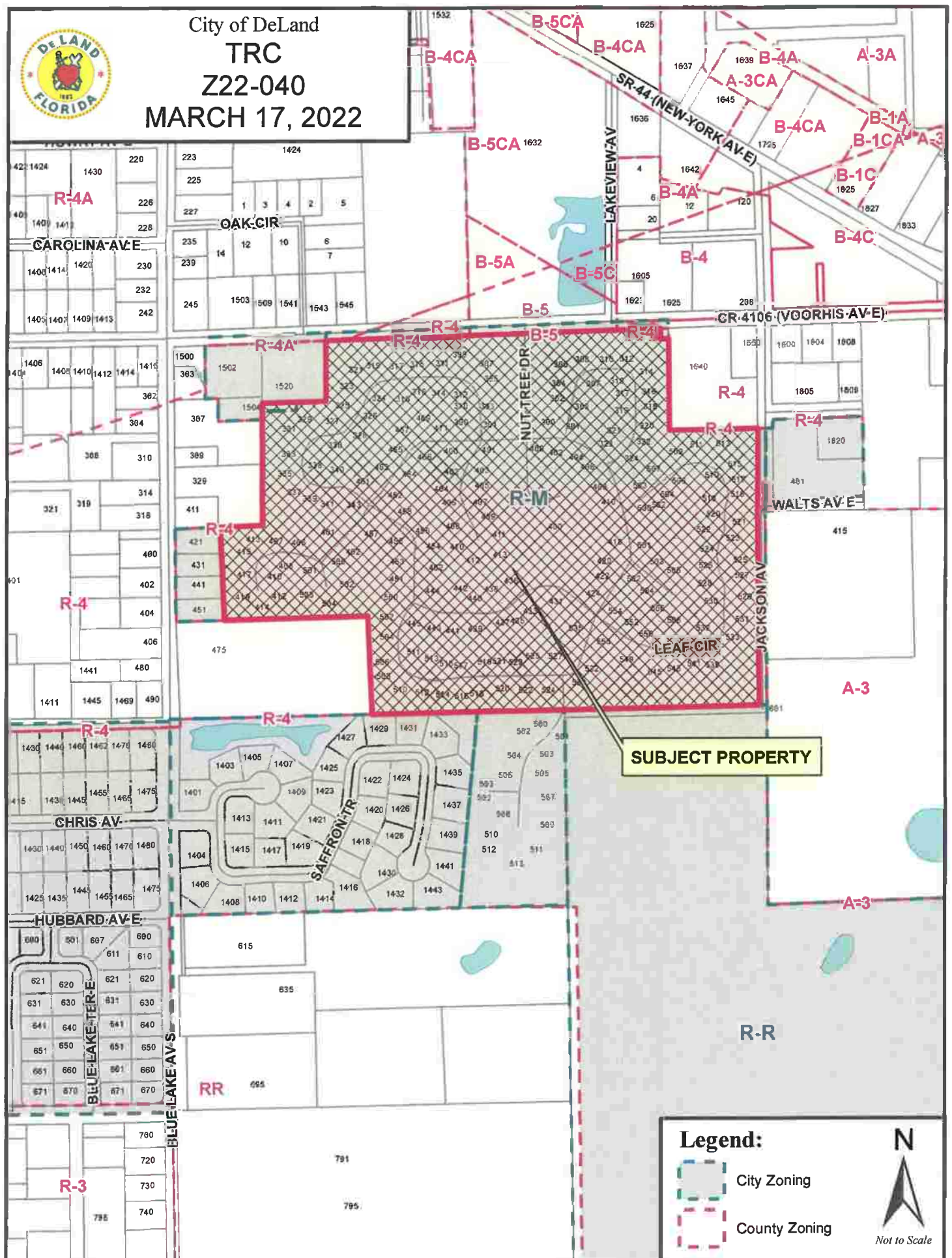
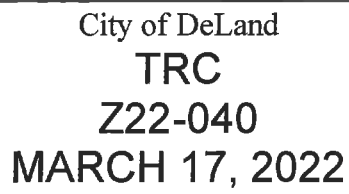
Conditions and notes for record PSB22-038**Job Address: 0 W Beresford RD, Deland Florida 32720****Job Description: The project site is vacant land located at the NW corner of W. Beresford Rd. and S. Spring Garden Ave. The property is approved for a 110 Lot Residential Subdivision.**

Discipline	Status	Type	Details	Attached To	Created By
Forestry	Draft	Note	Trees <6" DBH Trees less than 6" DBH would provide 1,836" DBH.	C00A	Mariellen Calabro
Forestry	Draft	Condition	Note 12 This note references county right of ways. Please include City right of ways, if applicable.	CO2	Mariellen Calabro
Forestry	Draft	Note	Replacement Provided The current landscape plan would add 3,720" DBH for buffer trees, 508" DBH for Street Trees, 1,320" DBH for Lot Trees, and 1,836" DBH for Small Trees for a total of 7,384.	L2.00	Mariellen Calabro
Utilities	Draft	Note	POC for Water and Sewer POC: Jim Ailes (386) 626-7250	CO2	Scott Zender

NEW BUSINESS

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Issues for record Z22-040

Job Address: 475 S Blue Lake AV, DeLand FL 32724

Job Description: To incorporate existing The Oaks Community & The Oaks PD with additional property into a single PD.

Discipline	Status	Details	Attached To	Created By	Last Updated By
Fire	Draft	Streets No movement of the streets are allowed until approved by the fire prevention division to ensure access. Must always meet height/weight/slope and turning radius of apparatus.	PD Agreement with exhibits (2-21-2022).pdf	Fred Link	Fred Link
Fire	Draft	Streets No movement of the streets are allowed until approved by the fire prevention division to ensure access. Must always meet height/weight/slope and turning radius of apparatus.	PD Agreement with exhibits (2-21-2022).pdf	Fred Link	Fred Link
Fire	Draft	Roads Must always meet height/weight/slope and turning radius of apparatus.	PD Agreement with exhibits (2-21-2022).pdf	Fred Link	Fred Link
Fire	Draft	Access Show in plans that apparatus meet turning radius around Cul-da-sac.	PD Agreement with exhibits (2-21-2022).pdf	Fred Link	Fred Link
Fire	Draft	Roads Show in plans that apparatus meet turning radius around Cul-da-sac.	PD Agreement with exhibits (2-21-2022).pdf	Fred Link	Fred Link
Fire	Draft	Land Clearing No burning allowed.	PD Agreement with exhibits (2-21-2022).pdf	Fred Link	Fred Link

Discipline	Status	Details	Attached To	Created By	Last Updated By
Fire	Draft	Phases Show map on one page with phases. Should include streets and water utilities (hydrants).	PD Agreement with exhibits (2-21-2022).pdf	Fred Link	Fred Link
Fire	Draft	page is blank page is blank	PD Agreement with exhibits (2-21-2022).pdf	Fred Link	Fred Link
Fire	Draft	Construction No vertical construction or combustibles may be stored onsite until the utilities and roads have been inspected and approved by utilities/engineering and fire prevention.	PD Agreement with exhibits (2-21-2022).pdf	Fred Link	Fred Link
Forestry	Draft	Minimum Tree Size The 15 gallon trees listed are below minimum replacement size for the city. Increase to 45 gallon, 3" caliper, and 8' height.	PD Agreement with exhibits (2-21-2022).pdf	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Minimum Tree Size 2 The 15 gallon trees listed are below minimum replacement size for the city. Increase to 45 gallon, 3" caliper, and 8' height.	PD Agreement with exhibits (2-21-2022).pdf	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Grammar Line 13 needs a semicolon before the word "however," and a comma after.	PD Agreement with exhibits (2-21-2022).pdf	Mariellen Calabro	Mariellen Calabro
Forestry	Draft	Grammar Line 16: Add comma after "herein."	PD Agreement with exhibits (2-21-2022).pdf	Mariellen Calabro	Mariellen Calabro
Planning	Draft	Word doc Please provide a Word document copy of the PD Agreement with future submittals.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon

Discipline	Status	Details	Attached To	Created By	Last Updated By
Planning	Draft	Emergency Access Call out location of the Emergency Access easement on this plan (of Phase 2.)	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Decorative wall In PD Agreement, you state that a decorative wall will not be required. If you do not plan on constructing one, please remove the wall details at the top of the page.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	RR Zoning Pg. 1/Line 10 - Please delete reference to "Volusia County RR" as no portion of this site has such zoning classification.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Trip Generation Report During the review of the last zoning application (Z21-073) you were informed that an updated Trip Generation Report was needed stating the number of new MH's proposed & their trips.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Overall phase map Please add an additional page to Exhibit "B" of a simple map showing an overall view of entire PD and the location of the 3 phases outlined & labelled.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	RR Zoning Pg. 3/Lines 5&23 - Please delete reference to "Volusia County RR" as no portion of this site has such zoning classification.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Capitalize Pg. 6/Line 20 - Please capitalize the "O" in Development Order.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Duplicate Line Pg. 7/Line 6 - Statement: "Phase One has been built out to completion." is a duplicate of Lines 10-11. Please delete first occurrence.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon

Discipline	Status	Details	Attached To	Created By	Last Updated By
Planning	Draft	Semicolon Pg. 7/Line 9 - Please add semicolon for clarity.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Customary uses Pg. 7/Section D - Also add "all customary uses" statement for the MH's, same as the single-family residence.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Hereby Pg. 8/Line 7 - Hereby is one word.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Correct date Pg. 8/Line 11 - Please add exact adoption date - November 19, 2001 (Ord. #2001-25)	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Phase 2 Landscaping Pg. 8 & 9 - Please switch section "b" of Phase Two with "c" so both landscaping sections are co-located.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Screened Porch Pg. 9/Line 7 - As currently written, a screened porch is required for all units; do you wish this to be a requirement?	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Phase 3 Landscaping Pg. 10 - Please switch section "b" of Phase Two with "c" so both landscaping sections are co-located.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Screened Porch Pg. 10/Line 13 - As currently written, a screened porch is required for all units; do you wish this to be a requirement	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon

Discipline	Status	Details	Attached To	Created By	Last Updated By
Planning	Draft	Buffer Standard Pg. 10/Section b - Please add a Buffer Standard "B" requirement.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Separation between units Page 10/section a - Add a requirement for a minimum separation distance of 15 ft.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Buffer Standard Pg. 8/Section b - Please add a Buffer Standard "B" requirement.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Opacity Pg. 8/Line 24 - 80% screening with vegetation is more the standard, as 100% opacity is difficult to achieve with plants.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Opacity Pg. 10/Line 6 - 80% screening with vegetation is more the standard, as 100% opacity is difficult to achieve with plants.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Title Label Plan as "Phase Two"	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Title Label as "Phase Three" on plan.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Show buffer Separate out/delineate the perimeter buffer on plan.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon

Discipline	Status	Details	Attached To	Created By	Last Updated By
Planning	Draft	Fences There is a barbed wire fence shown on the northern boundary between phases 1 & 3. Barbed wire is not permitted within the City of DeLand. Please remove the fence for the plan and in the field during construction. Also, please do the same for the 6-ft. wood fence running through the proposed stormwater retention pond.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Project Data Table In "Project Data" table, please give the total impervious percentage for all 4.66 acres of Phase 3.	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Park Area In PD Agreement language, describe the "Park Area" and state the types of amenities to be provided here. (Bench, doggy bag holder, etc.)	PD Agreement with exhibits (2-21-2022).pdf	Caroline Turgeon	Caroline Turgeon
Planning	Draft	Concept plan copies Please upload more-legible copies of Phases Two & Three's concept plans to this application.		Caroline Turgeon	Caroline Turgeon
Utilities	Draft	Ownership This phase of utilities would remain private just like the rest of the Oaks.	PD Agreement with exhibits (2-21-2022).pdf	Jim Ailes	Jim Ailes