



Technical Review Committee

**CITY OF DELAND
THURSDAY MAY 15, 2025 AT 1:30 P.M.
CITY OF DELAND TRC MEETING ROOM
DELAND, FLORIDA**

A. CALL TO ORDER

B. ROLL CALL

C. OLD BUSINESS

1. Review of April 17, 2025 TRC Meeting Minutes
2. **Applicant Name:** Daniel Oliveira - DGC Development Corp
Project Name: Z24-209 – Planned Development Rezoning for DeLand Apartments
Project Location: 2.5 acres located at 1107 E. New York Ave
Description: Mixed use project for 25 apartments and 8 commercial spaces
Project Manager: Kendall Story
3. **Applicant Name:** Matt Stolz - DR Horton
Project Name: PSB25-015 – Preliminary Plat for Beresford Reserve
Project Location: 138.72 acres located at 800 E Beresford Ave
Description: 408 single-family residential lots with a clubhouse, pocket parks, and city park
Project Manager: Chris Carson/Belinda Williams Collins
4. **Applicant Name:** Shanda Turner – 2816 DeLand LLC
Project Name: SP24-198 – Class III Site Plan for DeLand Dupont Warehouse
Project Location: 16.11 acres located at 2500 Eidson Dr
Description: 41,800 square foot warehouse
Project Manager: Emily Kunkel

D. NEW BUSINESS

1. **Applicant Name:** Connor Franklin – American Surveying and Mapping
Project Name: FSB25-040 – Final Plat for Towns at Summit
Project Location: 59.651 acres located on Summit Ave (CR 4139)
Description: 300 Townhome lots
Project Manager: Emily Kunkel
2. **Applicant Name:** Albert Munarov – Kingdom Realty Properties, LLC
Project Name: MS25-076 Minor Subdivision for Plymouth Medical
Project Location: 3.235 acres located on the north side of W Plymouth Ave 300' east of Spring Garden Ave
Description: 21,470 square feet of Medical Offices
Project Manager: Sam Nelson

3. **Applicant Name:** Albert Munarov – Kingdom Realty Properties, LLC
Project Name: SP25-069 – Class II Site Plan for Plymouth Medical
Project Location: 3.235 acres located on the north side of W Plymouth Ave 300' east of Spring Garden Ave
Description: 21,470 square feet of Medical Offices
Project Manager: Sam Nelson

E. ADJOURNMENT

OLD BUSINESS

1



CITY OF DELAND
TECHNICAL REVIEW COMMITTEE MEETING
MEETING MINUTES
THURSDAY, APRIL 17, 2025 -1:30 P.M.
CITY HALL

OPENING OF MEETING:

Call to Order: **1:30 pm**

Members Present:

Carol Kuhn, Chairperson
Debi Glick
Kendall Story
Sam Nelson
Emily Kunkel
Belinda Collins
Kristian Logan
Bobby Wu
Ray Bahrami
Steven Danskine
Jim Ailes
Scott Zender
Mariellen Calabro
Kit Dennis

Staff Present: Jerry Hindman – Chief Building Inspector

OLD BUSINESS:

1. Review of March 20, 2025 TRC Meeting Minutes

*Steven Danskine moved to approve the minutes as presented,
Kit Dennis seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

2. **Applicant Name:** Mark Watts – Cobb Cole
Project Name: Z24-153 – Rezoning from R-1B to North Hill Villas PD
Project Location 1.46 acres located at E Church St and N Hill Ave
Description: Residential Townhomes
Project Manager: Kendall Story

Applicants Present:

Mark Watts – CobbCole

Kendall Story moved to forward the application to Planning Board, once all comments have been addressed,

Jim Ailes seconded the motion.

The TRC Committee voted unanimously in favor of motion.

NEW BUSINESS:

1. **Applicant Name:** Michael Woods – Cobb Cole
Project Name: Z25-038 – Rezoning for Taylor Ridge PD 1st Amendment
Project Location: 26.011 acres located at 1289 E. Taylor Rd
Description: Amendment to the Existing Taylor Ridge PD
Project Manager: Kendall Story

Applicants Present:

Andres Arvelo – Hanover Land
Brett LaRue – Bennett Design Group
Mike Woods – CobbCole

Kendall Story moved to forward the application to Planning Board, once all comments have been addressed,

Kit Dennis seconded the motion.

The TRC Committee voted unanimously in favor of motion.

2. **Applicant Name:** Russell Skinner Sr. - Deland Arboricultural Partnership Ltd
Project Name: SSB25-048 – Subdivision Sketch Plan for DeLand Airport Parcel Subdivision
Project Location: 18.54 acres located at 2500 Eidson Dr
Description: Commercial Subdivision of Two Lots into Four
Project Manager: Emily Kunkel

Applicants Present:

James Skinner – Greenway Management

No motion required.

OTHER BUSINESS:

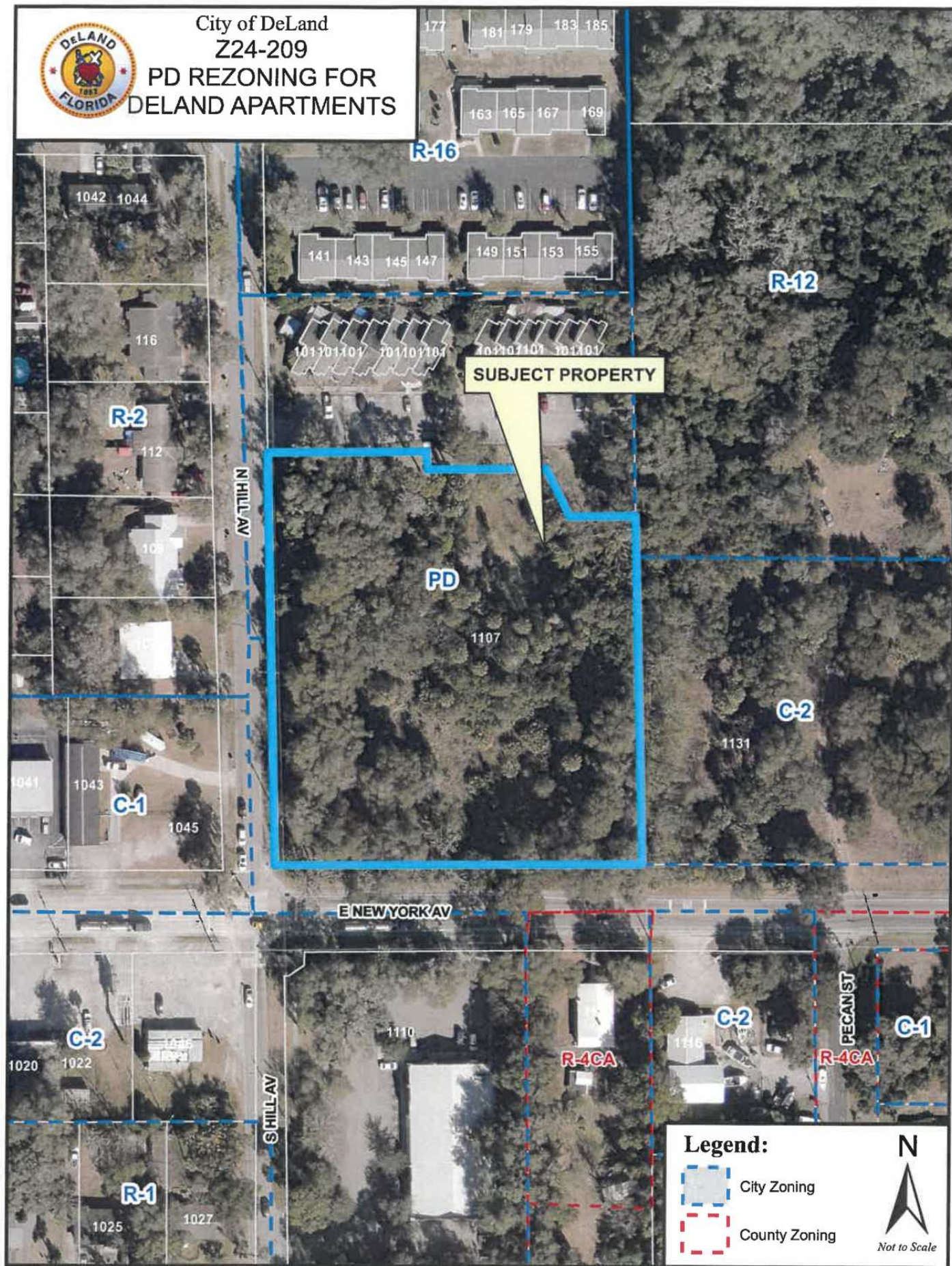
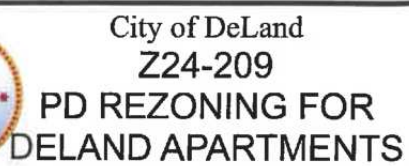
None.

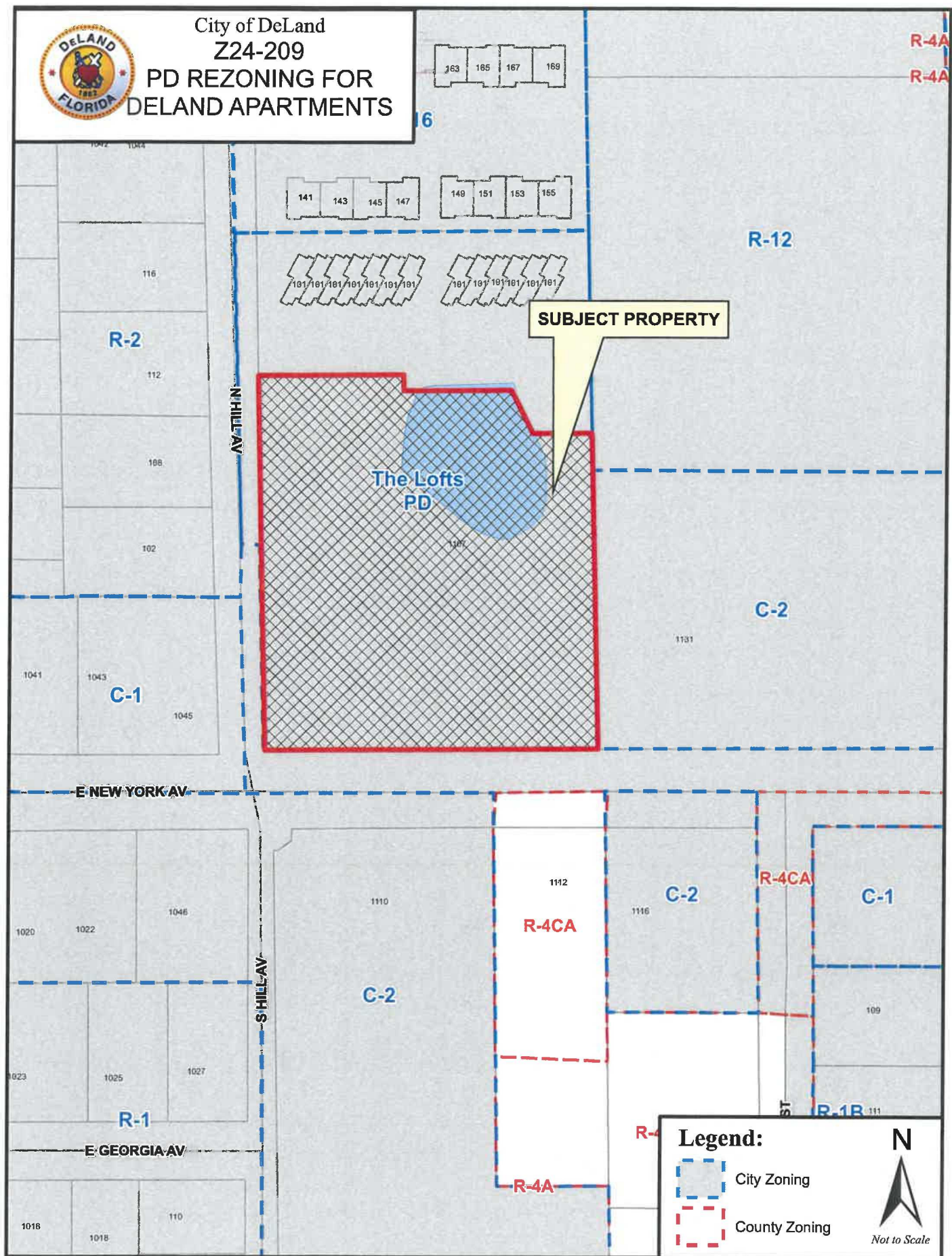
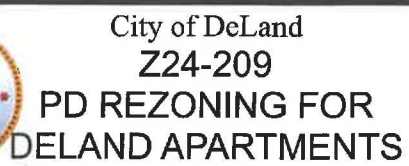
ADJOURNMENT:

2:02 pm

OLD BUSINESS

2





Issues for record Z24-209**Job Address: 1107 E NEW YORK AV, DELAND FL 32724****Job Description: A three-story building, on the first floor there would be 8 commercial spaces and 5 apartments, the second and third floors would have 10 apartments each. For a total of 25 apartments and 8 commercial spaces.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Stormwater Section H. Stormwater Drainage. The development shall retain the 100-yr/24-hr storm event onsite. The development shall continue to accept all stormwater discharges that currently flow onto the site both from developed and undeveloped sites, to include the stormwater runoff from the Lofts and Alhambra Villas developments to the north of this development. All stormwater modeling and calculations shall include evaluation of these existing onsite flows.	PD Agreement - DELAND APARTMENT S.pdf	Steven Danskine	Steven Danskine	Yes
Forestry	Draft	Clarification 1. What is the difference between landscape cover existing trees and new landscape cover tables?	10.2	Belinda Collins	Belinda Collins	Yes
Forestry	Draft	General comments 1. Landscape Specifications Note 1.3.1 should reference Florida Grades and Standards for Nursery Plants 2022 – Florida Department of Agriculture and Consumer Services. 2. Landscape Specifications Note 1.4. all substitutions must be approved by the City Forester 3. Notes 1.10, 1.11, and 4.10 fix spacing 4. Note 4.1: text is missing after the word "healthy" 5. Plant schedule needs multiple revisions. Remove Basswood. Change all to 3" caliper minimum. Add and "I" to the end of muscar 6. The small tree planting detail is missing text in two areas on the right side of the graphic. The first describes stake placement, and the second is related to rootball requirements.	10.1	Belinda Collins	Belinda Collins	Yes
Forestry	Draft	Oak Species Oak trees need to be identified by species. The charts will need to be updated.	10.2	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Plant Schedule Update the plant schedule. Basswood has been removed from the plan. The minimum size replacement tree is 2" DBH (3" caliper), 8' HT, 45 Gallon container size. If your tree survey identifies historic trees, and removal is approved, you will need to provide replacement trees for 100% of the historic DBH removed. The minimum size replacement tree for historic removals is 6" caliper, 17' HT, 200-gallon container.	10.1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Tree Protection Area Please label the TPA on the plan. Add TPA to the "Area Schedule".	5.0	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Not Accepted	Tree Protection Area 15% of the site will need to be Tree Protection Area. The buffers may be used, but they would need to meet the minimum requirements for TPA widths (30' for areas with existing trees to remain, and 20' for areas to be replanted). Last comment from reviewer: Label the Tree Protection Areas on the plan. The minimum width for newly planted TPA's is 20', it is 30' for TPA's where existing trees are to be preserved. Utilities cannot be within TPA's. Last response: Tree protection area added to landscape plan	10.0	Kit Dennis	Kit Dennis	Yes
Forestry	Not Accepted	Conflicts with Trees Shown to be Preserved 1.5 times the dripline must be protected for historic trees that are to be preserved. The dripline or 10' (whichever's greater) must be protected for all other trees to be preserved. This plan shows development that looks to be within the protected are of existing trees that are shown to be preserved. Last comment from reviewer: Awaiting tree survey. Possible historic trees may be an issue for the site layout. Last response: Tree inventory is on course, we will address this comment in the next submittal	10.0	Kit Dennis	Kit Dennis	Yes
Forestry	Not Accepted	Tree Survey A complete tree survey of all protected trees 6" DBH and greater will be required. Trees must be identified by species. There are several "oaks" shown that would be historic if they are Live Oaks. Identifying them early in the process will prevent delays later on if they are discovered to be historic. Last comment from reviewer: Awaiting tree survey. Possible historic trees may be an issue for the site layout as proposed. Last response: Tree inventory is on course this will be added on the next submittal	4.0	Kit Dennis	Kit Dennis	Yes
Planning	Draft	Architecture The architectural style presented does not meet the criteria allowed by the community design standards. The following historical architectural styles are the preferred styles: Classical Revival, Mediterranean revival, Colonial Revival, Craftsman Bungalow and Commercial Style, Chicago School. Please include additional finishes & fixtures, horizontal & vertical articulation, and balconies.		Christopher Carson	Christopher Carson	Yes
Planning	Draft	Landscaping Diversity Please provide additional canopy tree species. Some types to consider, especially for the southern buffer include Tulip Poplar, Bluff Oak, Turkey Oak, Pine, etc.	10.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Setback Label 30' and adjust line.	5.0	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Setback Is this a 20' setback? Seems off from other lines with same dimension.	5.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Sidewalk Please label sidewalk dimensions.	5.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Parking layout Shifting all drive aisles to one way with angled parking seems like it will be most efficient layout.	5.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Driveway orientation Please orient driveway to maximize tree preservation. A separated right-in, right-out configuration with one-way drive aisles, and vegetated median could possibly accomplish this.	10.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Survey & R/W Please use survey to draw this plan. Boundary dimensions and labels should be shown. A bit tough to review without this. Does right of way need to be dedicated for E. New York Ave?	5.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Driveway Adjust driveway to make right-in, right-out only.	5.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Overall QC Please do an overall QC to make sure all information is correct and matches the PD language/documentation. One example, future land use is not C1.	5.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Legal Description Move legal description to Exhibit A	2.1	Christopher Carson	Christopher Carson	Yes
Planning	Draft	PD See attached PD template. Please ensure the language is modified to be consistent with the PD template.	PD Agreement - DELAND APARTMENT S MOD.pdf	Christopher Carson	Christopher Carson	Yes
Planning	Draft	LID Add LID Standards.	PD Agreement - DELAND APARTMENT S MOD.pdf	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Amendments Update to match template.	PD Agreement - DELAND APARTMENT S MOD.pdf	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Public Hearing Date	PD Agreement - DELAND APARTMENT S MOD.pdf	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Public Hearing Date Did this item go to PB on this date?	PD Agreement - DELAND APARTMENT S MOD.pdf	Christopher Carson	Christopher Carson	No
Planning	Draft	TPA Show Tree Preservation Area on table and denote area on plan.	5.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Photometric Why do these appear different than the other renderings in the submittal?	A9	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Renderings Please label building materials, provide north, south, east, west labels. Provide dimensions to justify compliance with community design standards.	15.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Plant Schedule Can this be moved to the previous sheet?	10.1	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Landscaping Plan Please provide quantities, dimensions, height, spread, etc. for proposed plantings. Please provide scientific & common name for plant species. Provide native plantings around the pond. Label Small trees as understory trees. Is there a buffer being provided to the north? Show on plan.	10.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Building Height The max. height does not match the PD.	5.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Sidewalk These sidewalks can be combined to create a wider sidewalk. Tie in sidewalk with R/W.	5.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Internal Circulation Reduce the width of the one-way drive aisles to minimize pavement. Shift traffic pattern so the southern drive aisle flows opposite the direction of the northern drive aisle.	3.0	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Cross Access Coordinate with the adjacent property owners for cross access.	3.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Driveway This drive aisle seems very large for the project type. Reduce to a maximum of 24' or provide pedestrian island.	3.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Remove driveway.	3.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Commercial Spac For the commercial space, provide the square footage rather than the number of units.	1.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Site Data Table Please update site data table to be more in line with code and consistent with other plans we receive. See example.	1.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Vicinity Map Provide Scale	1.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Legal Description Refer to Exhibit "A" of PD.	1.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Utility Providers Please update utility companies as applicable.	1.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Property line Please outline the property boundary in bold, black ink, with dimensions.	5.0	Kendall Story	Christopher Carson	Yes
Planning	Draft	Setback not dimensioned Setback not dimensioned from N. Hill Ave.	5.0	Kendall Story	Kendall Story	Yes
Planning	Draft	Amenities Not enough detail provided. What are the recreational amenities provided? A dumpster is not an amenity.	PD Agreement - DELAND APARTMENT S MOD.pdf	Kendall Story	Christopher Carson	Yes
Planning	Not Accepted	remove section Please remove this section. Last comment from reviewer: Section still shown on page 8 of revised PD Last response: Section removed.	PD Agreement - DELAND APARTMENT S.pdf	Kendall Story	Kendall Story	Yes
Planning	Not Accepted	Powerlines The existing powerlines shall be buried. Provide language in the PD agreement.	5.0	Christopher Carson	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Last comment from reviewer: Repeat comment. Language must also be added to the PD agreement. Last response: It was clarified in a note on the site plan that all existing overhead powerlines will be relocated underground according to project requirements.				
Planning	Not Accepted	Site Connectivity Provide an access stub out to the east that the adjacent property could access upon site development. This will help maintain the grid pattern seen throughout the City. Last comment from reviewer: Repeat comment: The access stub out is for drive aisle access (for cars). Last response: A sidewalk was placed to the east to allow access to the property adjacent to the development.	5.0	Christopher Carson	Kendall Story	Yes
Planning	Not Accepted	Sidewalk Provide an 8' sidewalk along E. NY Ave. Also consider an 8' sidewalk along N. Hill Ave. For any portion of the sidewalk located on private property, the applicant shall provide the City a pedestrian public-use access easement. Be sure to show on plan and provide language in the PD Agreement. Last comment from reviewer: Provide sidewalk widths on plan. Last response: Sidewalks provided around E. NY AVE and N. HILL Ave.	5.0	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	List of Deviations Your list of deviations should be from the City's Land Development Regulations, not from The Lofts. Please be specific. For example, the code requires a parking space for every 200 sq. ft. of commercial use, and you are proposing to provide 1 space for every 300 sq. ft. Your deviation is from the Off-Street Parking standards (sec. 33-91) to allow for a reduction of 100 sq. ft. the required 200 sq. ft., by proposing 1space/300 sq. ft. Last comment from reviewer: Repeat comment: please provide a separate list of deviations. State what is required and the calculations for what is required; and then what is being proposed and the calculations for the proposed. Please site each related code section. Last response: In the site plan, a schedule was made to clarify the requirements, such as parking requirements, and compare them with what the project complies with.		Kendall Story	Kendall Story	Yes
Planning	Not Accepted	Revise Renderings These renderings do not appear to reflect the site plan proposed. Please provide renderings for structures proposed. These will be included in the PD agreement. When new construction begins, the buildings will need to match the drawings in the PD. Last comment from reviewer: Flat roofs are not acceptable. Please see the Community Design Standards, specifically Section 33-94. (f) Roof types, profiles, appearance. Variations in rooflines shall be used to add interest	A9	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		to and reduce the massing of buildings. Pitched or sloped roofs are the preferred method of covering a building. Roof features shall be in scale with the building's mass and compliment the character of adjoining and/or adjacent buildings and neighborhoods. 1.The design of visible roof structures shall be consistent with the architectural style of the building. Roof treatment shall be consistent for all facades of the building that are or can be exposed to the general public. 2.Roof-like appurtenances such as false roofs, parapets and other similar features shall appear as an integral part of the overall design and shall be integrated into the design in a manner that avoids the appearance of being applied to, rather than incorporated in, the building's exterior. Application of such roof-like features shall be accomplished in such a manner as to eliminate the appearance of a flat roof design. 3.Roof features shall be in scale with the building's mass and complement the character of adjoining structures, developments and neighborhoods. Roofs shall be constructed to enhance the appearance and attractiveness of the community. 4.Roofs shall incorporate the design elements and materials listed herein: a. The massing of the roof shall reflect the massing of the building as required in section 33-94.03(b)4.b. b. Roofs shall be designed to be of such height, bulk and mass so as to appear structural even when the design is non-structural c. Roof materials shall consist of concrete tiles, terra cotta, metal or asphalt shingles (laminated, 25-year architectural grade or better) or other roofing materials that meet city building code requirements. Last response: The rendering were updated to the new project changes				
Planning	Not Accepted	Mayor's name/City Manager's name The mayor is Christopher Cloudman. The City Manager's last name is misspelled. It should be "Pleus". Please revise the document. Last comment from reviewer: Robert Apgar's name is still shown. Last response: Changes made.	PD Agreement - DELAND APARTMENT S.pdf	Samuel Nelson	Kendall Story	Yes
Planning	Not Accepted	Unit Count & Commercial Sq. Ft. Under the section on Development Standards, state the permitted density (10 dwelling units per acre) and the max. number of apartment units permitted. Also state the max. & min. sq. footage of commercial space. This information should be provided as both sq. footage and percentages. Last comment from reviewer: Repeat comment: ...Also state the max. & min. sq. footage of commercial space. This information should be provided as both sq. footage and percentages. Last response: Information added to the PD	PD Agreement - DELAND APARTMENT S.pdf	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Not Accepted	References to "Lot" Please remove all references to "Lots", as this development is not being subdivided. Instead of max. lot coverage, provide the max. impervious permitted. Last response: All references to Lot have been removed.	PD Agreement - DELAND APARTMENT S.pdf	Kendall Story	Kendall Story	Yes
Planning	Not Accepted	Amenities Please provide an Amenities section to the PD that outlines the amenities being provided. State the amenity type and size as shown on the plan. Last comment from reviewer: No details were provided except for the square footage. See comments on revised development agreement. Last response: Detailed Amenities added.	PD Agreement - DELAND APARTMENT S.pdf	Kendall Story	Kendall Story	Yes
Planning	Not Accepted	Parking Numbers State the number of each unit type and how many parking spaces will be provided for each. Last comment from reviewer: This comment was not satisfied in the revised development agreement. Last response: Parking units added.	PD Agreement - DELAND APARTMENT S.pdf	Kendall Story	Kendall Story	Yes
Planning	Not Accepted	Lighting Building lighting must be included in your renderings. Please provide detailed information on pedestrian, building and parking lot lighting. All lighting must be directed downward and adhere to dark sky illumination standards. The maximum foot candle is 0.5 at the property line. Last comment from reviewer: Repeat comment: will the buildings have any lighting? Last response: A lighting plan sheet was added with detailed information about the lighting of the project, and the lighting fixtures are shown in the renderings	A9	Kendall Story	Kendall Story	Yes
Planning	Not Accepted	Unfinished sentence The Access section is incomplete, with unfinished language. Please complete. You will need to talk with FDOT regarding the connection on New York Ave. Last comment from reviewer: Did you confirm with FDOT that the access location is okay? Last response: Unfinished sections completed.	PD Agreement - DELAND APARTMENT S.pdf	Kendall Story	Kendall Story	Yes
Planning	Not Accepted	Low Impact Development Please expand upon the Environmental Considerations section to include standards for Low Impact Development.	PD Agreement - DELAND	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Last comment from reviewer: Standards for LID need to be outlined in the PD. The PD cannot just say that LID standards are being included. What type? How? Last response: Low impact development included	APARTMENT S.pdf			
Planning	Not Accepted	Signage Requirements "Signage Requirements": City signage requirements should be referenced (sec. 33-71), not State statutes. The applicant is responsible for all signage. Remove reference to golf cart operations. Last comment from reviewer: Repeat comment Last response: Signage requirements updated.	PD Agreement - DELAND APARTMENT S.pdf	Kendall Story	Kendall Story	Yes
Planning	Not Accepted	Lot references This is a single building and does not propose subdivided lots. Please remove all references associated with a multi-lot development. Last comment from reviewer: Repeat comment: updated PD references "Maximum lot coverage". This should say "maximum impervious area" Last response: Lot references removed.	PD Agreement - DELAND APARTMENT S.pdf	Kendall Story	Kendall Story	Yes
Planning	Not Accepted	Uses are too vague These uses are too vague. Please provide specific uses being proposed: multi-family; neighborhood parks, community uses such as a picnic area, gazebo, dog park, etc. Last comment from reviewer: Repeat comment. New PD does not address this issue. It also lists the dumpster as being an amenity, which it is not. Last response: Specific proposed uses updated.	PD Agreement - DELAND APARTMENT S.pdf	Kendall Story	Christopher Carson	Yes
Planning	Not Accepted	Zoning Manner We do not have a zoning district with the title "mixed-use". The future land use designation is Mixed Commercial. Please refer to the C-1 for zoning application standards. Last comment from reviewer: This was not satisfied in the revised edition of the PD agreement. Repeat comment. Last response: Land use designation, corrected.	PD Agreement - DELAND APARTMENT S.pdf	Kendall Story	Kendall Story	Yes
Planning	Not Accepted	ADA Parking Spaces ADA parking spaces must be at least 22' long and 12' wide (+5' loading area). I do not know the width of the ADA spaces and they are only 19' long. Please revise. Last comment from reviewer: The space lines up with the other 20' long spaces.	5.0	Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Please demonstrate the 22' length required. Last response: All ada parking lots are now at least 22' long, 12' wide (+5' loading area)				
Utilities	Draft	Reuse Please add reuse details and provide irrigation plans and connection point.	14.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Reuse Show connection to 10" reuse line on Hill Ave. It is a white pipe instead of purple.	7.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Sewer Please confirm that an 8" lateral is available. I 'm not aware of one and a tie into manhole may need to happen.	7.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Water Water needs to connect on Hill Ave and not system to the north.	7.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Utility title City of DeLand and not Volusia county	1.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	USA This project will require a Utility Service Agreement to be signed prior to construction and precon.	1.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Reuse Notes Please replace Volusia county with City of DeLand.	2.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Water Notes Notes 1,2, 12 say Volusia county and need to say City of DeLand	2.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Sanitary Notes #1 & #2 & 14A & 16 need to say City of DeLand and not Volusia County	2.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	City Details Need to use the City of Deland Utility Details dated 12/30/24	11.1	Scott Zender	Scott Zender	Yes
Utilities	Draft	City Details Need to use the City of Deland Utility Details dated 12/30/24	12.0	Scott Zender	Scott Zender	Yes
Utilities	Draft	City Details Need to use the City of Deland Utility Details dated 12/30/24	12.1	Scott Zender	Scott Zender	Yes
Utilities	Draft	City Details Need to use the City of Deland Utility Details dated 12/30/24	13.0	Scott Zender	Scott Zender	Yes
Utilities	Draft	City Details Need to use the City of Deland Utility Details dated 12/30/24	13.1	Scott Zender	Scott Zender	Yes

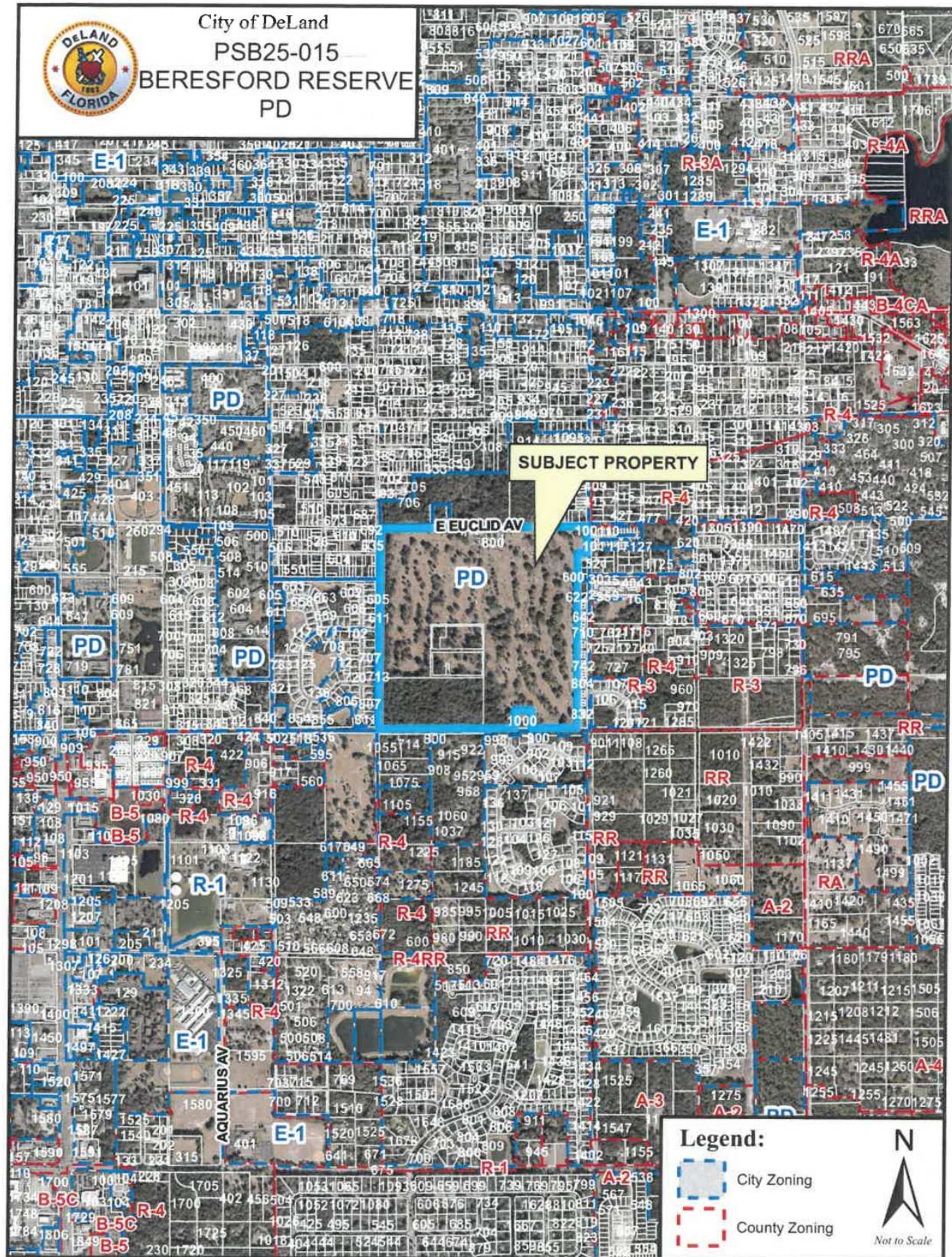
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Utilities	Draft	Utility Details Need to use the City of Deland Utility Details dated 12/30/24	14.0	Scott Zender	Scott Zender	Yes

OLD BUSINESS

3

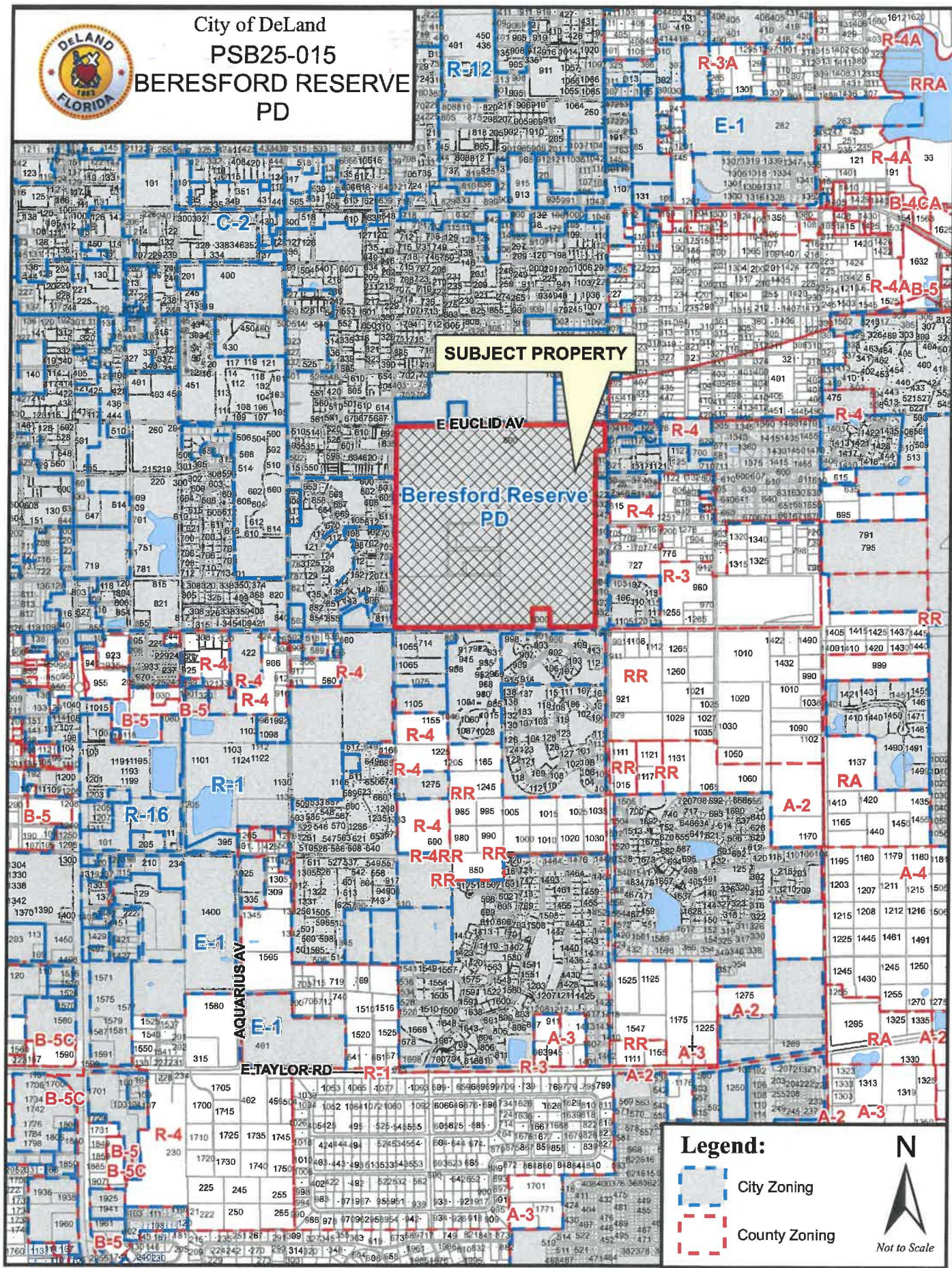


City of DeLand
PSB25-015
BERESFORD RESERVE
PD





City of DeLand
PSB25-015
BERESFORD RESERVE
PD



SUBJECT PROPERTY

E EUCLID AV

Beresford Reserve
PD

AQUARIUS AV

E TAYLOR RD

Legend:

City Zoning

County Zoning

N

Not to Scale

Issues for record PSB25-015**Job Address: 800 E EUCLID AV, DELAND FL 32724****Job Description: Beresford Reserve is a proposed single-family development located between E Beresford Ave and E Euclid Ave. The project scope includes 408 single-family residential lots with a clubhouse, pocket parks, and city parks.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Not Accepted	"Street Trees" The City does not allow trees to be planted within the public right of way, unless there is an agreement in place as to who will be responsible for the trees, and any damages the trees cause to public infrastructure. If an agreement is made, you will most likely need to make some modifications to the planting locations based on line-of-sight issues, and distance from items such as fire hydrants and storm water inlets. Last comment from reviewer: Verify that a maintenance agreement is in place for the street trees and/or status of street as publicly or privately owned. Last response: Comment acknowledged	L1.00	Kit Dennis	Belinda Collins	Yes
Forestry	Not Accepted	Lot Tree Table Please provide a table that indicates the number of trees that will be on each lot. Lots require one tree per 2500sqft. Each lot must include a front yard canopy tree. Last comment from reviewer: The previous comment requested a table to be provided. Verify how the comment was addressed. Last response: Comment acknowledged refer to sheet L1.00 for update.	L1.00	Kit Dennis	Belinda Collins	Yes
Forestry	Not Accepted	Historic Tree Mitigation None of the proposed trees with meet the minimum specifications for historic tree replacement. I cannot determine what the required mitigation will be until the requested tree information has been received. For future submittals, please be aware that historic trees that are approved for removal require 100% DBH replacement, and that the minimum size trees accepted for historic mitigation are 6" caliper, and 17' height. Last comment from reviewer: Further review upon completion of tree survey. Also, provide the amount of TPA proposed once it has been determined. Last response: Comment acknowledged, required replacement trees will be incorporated on site once it has been determined by the completed survey if historic trees are to be removed.	L1.00	Kit Dennis	Belinda Collins	Yes
Forestry	Not Accepted	Right of Way Trees The City does not allow trees to be planted within the public right of way, unless there is an agreement as to who will be responsible for the maintenance of the trees, and for the repairs to public infrastructure that the trees damage.	C4.0	Kit Dennis	Belinda Collins	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Last comment from reviewer: Verify if the streets are publicly or privately maintained. Last response: Comment acknowledged				
Forestry	Not Accepted	Tree Protection Area 15% of the site is required to be designated as Tree Protection Area (TPA). Please include the TPA's on your overall site plan. Last comment from reviewer: Verify the sheet(s) where the TPA is noted. Last response: Acknowledged. Tree survey has not been finalized yet	C4.0	Kit Dennis	Belinda Collins	Yes
Forestry	Not Accepted	Tree Protection Area 15% Tree Protection Area is required and must be placed in tracts. Last comment from reviewer: Acknowledged. Last response: Acknowledged. Tree survey for specimen trees is currently being conducted. The updated information will be shown on the next submittal	C4.12	Kit Dennis	Belinda Collins	Yes
Forestry	Not Accepted	Tree Mitigation Mitigation requirements cannot be determined until the requested tree survey and removal information is provided. Last comment from reviewer: Acknowledged. Will review upon subsequent submittal. Last response: Comment acknowledged		Kit Dennis	Belinda Collins	Yes
Forestry	Not Accepted	Tree Worksheets Once you have a complete tree survey, please fill out and submit the tree worksheets. Last comment from reviewer: Further review upon submittal of tree survey. Last response: Comment acknowledged		Kit Dennis	Belinda Collins	Yes
Forestry	Not Accepted	Complete Tree Survey A tree survey for all non-historic protected trees is still needed. A thorough review cannot be completed until a complete tree survey, and a spreadsheet that shows which trees are to be preserved and which are to be removed is provided. Last comment from reviewer: Further review upon submittal of tree survey. Last response: Comment acknowledged		Kit Dennis	Belinda Collins	Yes
Planning	Draft	Road H We understand the width required for Road H but please consider reducing Road H to a one-way road (East to West) to function as an alley serving the rear loaded product. Coordinate with fire Marshal to reduce the one-way road to the minimum required by fire code.	C4.0	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Also consider eliminating the sidewalks along road H and increase the sidewalk width along the park and along the rear loaded homes adjacent to Road G to 10'. This will provide more space for landscaping to the rear of the homes.				
Planning	Draft	FFL Please add: a column to the plant schedule table indicating whether or not the planting is considered Florida Friendly Landscaping, a column to the plant schedule table indicating whether or not the planting is native or not.	L1.00	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Common Area Can Lots 42-48 be shifted west to make the space between lots 48 & 50 larger and more functional. Perhaps remove the space between lots 57 & 59.	C4.5	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Street Tree (O&M) Add a note that all street trees shall be owned & maintained by the CDD.		Christopher Carson	Christopher Carson	Yes
Planning	Draft	LID Please include additional LID elements. Some elements to consider include permeable driveways, rain gardens, vegetated bioswales, bioretention, etc.	C4.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Parking Provide parking calculations based on the PD.	C4.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Townhome Units Please provide applicable setbacks or plat the building envelopes. Be sure to provide lot numbers for the townhome units.	C4.7	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Plat Please be sure all information is shown on the plat sheets as well. It may be beneficial to show the lot numbers on this sheet. (Perhaps as a supplement to resubmittal)	C4.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Lot 207 Did not see lot 207 in the plans.	C4.5	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Lot depth dimensions Hidden by matchline.	C4.5	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Matchlines Some labels/lots are not showing due to the matchline locations. Please shift the match lines for easier review or make sure all labels are clearly depicted on a sheet.	C4.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Setback Label Provide street-side setback dimension.	C4.8	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Easements Are all easements shown adjacent to all proposed parcels?	C4.2	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Draft CC&R's Provide Draft CC&R's if available.	C4.1	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Signage Please provide the signage location and add a note that signage requires a separate permit.	C4.1	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Parking Notes Please add note to typicals regarding parking as applicable. Ex. Driveway provides for 2-vehicles (min.) without blocking sidewalk.	C4.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Traffic Please add the ITE trip gen table to sheet.	C4.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Pedestrian Crossings Thanks you for providing enhanced pedestrian crossings. See markup for additional crossings to consider.	C4.0	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Median Plantings Can the palms be swapped with another plant species with noninvasive root system, crape myrtle, Japanese Blueberry, Holly? Be sure note is added about maintenance & repairs being responsible of CDD or HOA.	L1.02	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Stormwater Pond Plantings Can native plantings be planted around the perimeter of the pond to help runoff? Additional tree plantings? Please consider around all ponds.	L1.01	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Elevations Please provide a bit more detail like which elevations goes with which product type. 50' unit for example. Which units are to be oriented around the park? Cambell?	CAMDEN_JK	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Roadway Is it the applicant's desire to have this as a 4-lane (2-lanes each way) road?	C4.9.1	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Sidewalk Details Would prefer Option B, remove Option A if engineering allows.	C12.2	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Lot Label Add Lot 198 label	C4.2	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Streetside Setback label Label Streetside setback label	C4.9	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Lot Label Label 110	C4.9	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Road Names Road names are not consistent throughout plan sets. Please make sure all names are consistent throughout.	C4.5	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Sidewalk Is this sidewalk on an easement as part of lots 48, 50 or is it part of a tract? Should be on its own tract.	C4.5	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Setback The 15' rear setback should be labeled as the front yard setback.	C4.5	Christopher Carson	Christopher Carson	Yes
Planning	Draft	Community Design Standards There is not enough distinguishment between Pearson A & Pearson B to meet the intent of the Community Design Standards. Please provide an additional model. Provide 360-degree elevations, label building materials and dimension to show compliance with community design standards.	TH PEARSON_A	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Model Homes If model homes are anticipated, please identify the lots and add a note that separate site plan is required. Last response: Acknowledged.	C4.1	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Mail Kiosk Will there be a central mail kiosk or will each unit have their own mail? Be sure to show the location of the kiosk and provide landscaping if centralized. Last comment from reviewer: ? Last response: Acknowledged.	C4.0	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Outside Agency Approvals Be sure to upload any outside agency permit approvals such as DEP or Volusia County. Last comment from reviewer: Comment to remain as informational. Last response: Acknowledged.	C4.0	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Plat Standard Information Be sure to provide permanent reference and permanent monument points at every corner, change of direction, and street right of way, as applicable according to State Statutes. Also be sure any and all easements and widths are shown. Last response: Acknowledged.	C4.12	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Not Accepted	Lot Landscaping Provide plantings (variety of trees, shrubs & groundcover) around all stormwater ponds. Last response: Acknowledged.	L1.00	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Road Names Have the road names been approved for use? Be sure to include the actual road names. Be sure each street includes the width as applicable. Last response: Acknowledged.	C4.12	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Lot Number's Be sure each lot (Preliminary Plat) is numbered. Last response: Acknowledged.	C4.12	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Sheet C0.0 Please provide a scale for both the Aerial and Vicinity Map. Not all parcel ID's listed are within the project boundary. Please verify. Last comment from reviewer: The Parcel ID numbers do not accurately depict the project area. Also, please verify the legal description as it does not seem accurate. Last response: Acknowledged.	C0.0	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Rear Loaded Alley Architecture Please provide larger front porch amenity areas for the rear loaded housing products. Last response: Please see uploaded and revised products		Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Sign Please show sign location. Sign requires separate building permit prior to construction. Last comment from reviewer: Sign location shown. Add note that sign requires separate building permit prior to construction. Last response: Comment acknowledged		Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Architecture Provide elevations for the townhome units. Be sure to label elevations materials and dimensions. Last comment from reviewer: Provide elevations for all sides. Be sure to label elevations materials and dimensions Last response: Please see uploaded and revised products information.		Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Not Accepted	Easements Please label and dimension all existing and proposed easements. Last response: All easements have been called out in the site plan sheets.		Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Tree Survey A tree survey is required. Please provide a full tree survey with the resubmittal. Last response: Acknowledged. Tree survey for specimen trees is currently being conducted. The updated information will be shown on the next submittal		Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Resubmittals Please note, a resubmittal may result in additional comments if plans did not provide enough detail to complete the review, or if substantial changes are required based on staff comments. Applicant initiated changes may also result in additional comments. Last response: Comment acknowledged.		Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Amenity Details Provide details on all amenity areas including clubhouse and pocket parks. Last comment from reviewer: Will review with re-submittal. Last response: The amenity areas full details will be included in the next submittal.	C4.0	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Townhome Units Provide dimensions for the individual townhome lot lines. Last response: Dimensions have been added to all townhome lots	C4.4	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Architecture The same architectural style cannot be used for both the 6 and the 8-unit townhomes. Please revise the architecture to comply with the Community Design Standards, Section 33-94. Varied rooflines/ridge line is required. Please see attached ordinance clarifying the monotony section of the regulations along with a requirement for detailed architectural elevations depicting compliance with the Community Design Standards. Last response: Please see uploaded and revised products information	C4.0	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Sidewalks Provide sidewalks along S. Boston Avenue, E. Euclid Ave. & S. Hill Avenue. Last comment from reviewer: Please continue the sidewalk to tie in with the existing sidewalk along Beresford Ave. (Extend to Hill, add crossing). Last response: Sidewalks have been added along S. Boston Ave. and S. Boston Ave. There is no existing sidewalk along the West side of Hill Street. The sidewalk would stop at the end	C4.0	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		of the projects frontage. It was not added				
Planning	Not Accepted	Townhomes Units Townhome Units cannot exceed 150' in length. Please revise the layout to meet. Last comment from reviewer: Please refer to Community Design Standards. (See attached) Last response: According to the PD there is no indication that the 160' long building would not be allowed. Please provide the LDC code that mentions the building can only be 150' long.	C4.4	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Pedestrian Connection Provide pedestrian connection from cul-de-sac to Hill. Last comment from reviewer: Can it be made ADA accessible? Last response: This connection point was not provided as it is not ADA accessible.	C4.3	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Park Provide details of Park and all pocket parks. What sort of equipment or amenities are provided. Please include dimensions and details if playground equipment, dog park, or other formal amenities are provided. Last response: Comment acknowledged, please refer to hardscape sheets L3.00 for general location of each pocket park.	C4.9	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	12' Concrete Sidewalk Please show the trail extended to S. Hill Avenue and remove gap along Beresford. Last response: Sidewalk along Beresford Ave. has been extended to S. Hill Ave. and the gap has been removed	C4.9	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Site Data Table Please make site data table fully transparent and QC. Zoning is PD for example. Last comment from reviewer: The table is still showing up as being "grayed out". Some of the information from the table is not entirely correct. For example, the min. lot width is 70' for 70' lots, min. lot depth for 40' lots is 130', FLU is incorrect, etc. Do an overall QC of the table. Consider matching development standards table from PD. Provide required & proposed as applicable. Last response: Acknowledged. Site Data Table has been revised.	C4.0	Christopher Carson	Christopher Carson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Not Accepted	Preliminary Plat - Sheet C4.14 Please provide detailed plan for the City Park Tract. Tract shall be developed under separate site plan. Coordinate with Rick Hall for site design. Last response: Acknowledged. City Park details will be provided during the site plan permitting process.	C4.14	Christopher Carson	Christopher Carson	Yes
Planning	Not Accepted	Preliminary Plat - Tracts Please separate drainage and TPA's into stormwater tracts and TPA tracts respectively. Also be sure to add Maintenance responsibility to the Tract Table. Last comment from reviewer: Will review upon re-submittal. Last response: Acknowledged. Tracts will be revised after the tree survey has been finalized.	C4.12	Christopher Carson	Christopher Carson	Yes
Utilities	Not Accepted	Water Water main stops and not fittings or sizes shown. Last comment from reviewer: No FH on this section. For water quality purposes recommend reducing pipe size to 4" or 2". Lots 121-122 Last response: Blowoff assembly has been called out at the main water pipe ends.	C9.8	Jim Ailes	Jim Ailes	Yes
Utilities	Not Accepted	Sewer Connection Boston The manhole on Boston is a proposed new MH? Slope is at minimum propose grade. Also it will be follow against the flow direction on a large gravity flow pipe and will get surcharged. Un acceptable. Last comment from reviewer: Please consider a doghouse manhole based on original design. Either way Boston will need to be open cut and restored. This design will work, but is not typical for the deflections to occur. Last response: Sewer connection to the existing 24" sewer main on Boston Ave. has been revised to flow in the same direction of the existing flow.	C9.4	Jim Ailes	Jim Ailes	Yes
Utilities	Not Accepted	Water Call out water main size and show how it will be finished off. No fittings called out. Last comment from reviewer: Recommend reducing pipe size to 4 or 6" for water quality issues and maybe reduce to 2" for last water service main to Lot 41. Last response: Blowoff assembly call out has been added to the water main pipe end.	C9.3	Jim Ailes	Jim Ailes	Yes

OLD BUSINESS

4

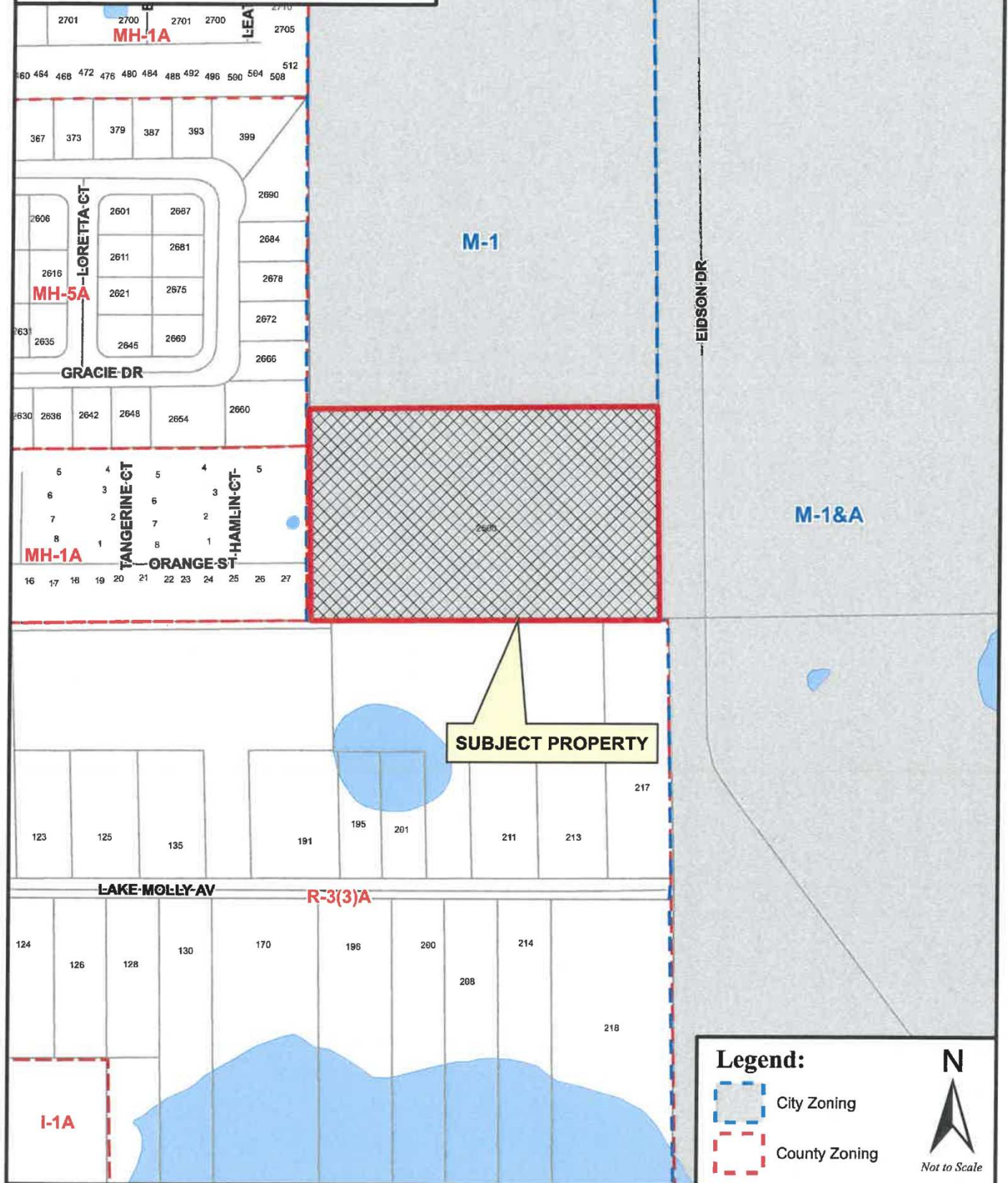


City of DeLand
SP24-198
DUPONT
WAREHOUSE





City of DeLand
SP24-198
DUPONT
WAREHOUSE



Issues for record SP24-198**Job Address: 2500 EIDSON DR, DELAND FL 32724****Job Description: This project includes the construction of a 41,800 sqft warehouse building including all utility and stormwater infrastructure.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	DA-1 Peak Stages The Max Stages for the modeled storm events exceed the top of berm elevation and vary from the peak stages shown on the wet pond details on Sheet C11 of the construction plans.	23310_STOR M CALCS (TMDL) 6 ac.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Table The results table appears to have the 25-24 and the 25-96 storm events switched from the results later in the report.	23310_STOR M CALCS (TMDL) 6 ac.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Not Accepted	Stormwater Retention 1. The City's requirement is that the 100yr-24hr storm event shall be retained on site. The bleed down orifice is required by SJRWMD, but the overflow weir must be set at or above the 100yr-24hr storm event. 2. It is unclear how the 5" Bleed Down Orifice is intended to be constructed. The detail indicates that the Tee is to be inserted in the Weir, however on Sheet C8, it identifies that it may be a part of the Mitered End Section ST-15. The slope of the berm and weir are 4:1, however the detail identifies that the Tee should protrude 12" from the face of the Weir and/or MES. Since the Tee extends down 6", that means that the Tee would need to protrude at least 2', and even at that, the orifice would be buried in the dirt. The detail also indicates that the pipe connecting ST-15 and ST-16 is to be 5". To the best of my knowledge, 5" diameter pipe is not a standard option. Is this to be a specially manufactured item? Last comment from reviewer: The Wet Pond, Discharge/Overflow, and Orifice Details do not appear to have been updated, and do not agree with the Stormwater Report. Last response: 1. Weir has been set above the 100yr-24-hour storm. 2. Bleed down orifice has been redesigned with the new site changes.	C11	Steven Danskine	Steven Danskine	Yes
Forestry	Draft	Tree protection barricade 1. Tree protection barricade is shown on the legend, but not on this page.	LA3	Belinda Collins	Belinda Collins	Yes
Forestry	Draft	Tree protection barricade 1. Tree protection barricade is shown on the legend, but not on this page.	LA2	Belinda Collins	Belinda Collins	Yes
Forestry	Draft	Acreage verification 1. The front page of the plans says the project area is 6.002 acres. The tree calculations have been based on 6.03 acres. Please correct whichever is incorrect.	C1	Belinda Collins	Belinda Collins	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Tree barricade 1. Tree barricades are required around all trees to be saved, not just the ones that you have circled. We recommend placing the orange tree barricade fence behind the silt fence to protect the entire tree protection area from disturbance during the construction process.	TP3	Belinda Collins	Belinda Collins	Yes
Forestry	Draft	Tree barricade 1. Tree barricades are required around all trees to be saved, not just the ones that you have circled. We recommend placing the orange tree barricade fence behind the silt fence to protect the entire tree protection area from disturbance during the construction process.	TP2	Belinda Collins	Belinda Collins	Yes
Forestry	Draft	Tree replacement 1. It appears that you will need 15" DBH to replace the trees removed. 2. The Trees Planted for Tree Replacement Table needs to match the one on Sheet LA1 3. Add the 2023 City of DeLand Tree Barricade Detail to this plan.	TP1	Belinda Collins	Belinda Collins	Yes
Forestry	Draft	Landscape Specifications (Notes) Note 7 - Add "and City Forester" to the end of the note. Note 15 - Fertilization is not recommended unless a soil test indicates a deficiency.	LA4	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Legend 1) "Denotes Tree Protection Area to Remain" should be "Natural Vegetation Retention/Tree Protection Area". 2) "Denotes Replanted Preservation Area" should be "Tree Protection Area". *** These corrections will need to be made on all of the TP and LA sheets.	TP1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Minimum on Site Trees Table Your plant schedule provides 107.5" DBH of non-palm trees, and 72" DBH of Palms. The total for Proposed Tree/Palm Inches Provided on Landscape Plan should be 179.5". The Total Number of Existing & Provided Tree/Palm Inches should be 771.5".	TP1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	15% Natural Preservation Table 1) Relabel the table as "15% Natural Vegetation Retention/Tree Protection Area" 2) Undisturbed Natural Preservation Area should be "Natural Vegetation Retention/Tree Protection Area". 3) Replanted Preservation Area should be "Tree Protection Area". 4) Total Preservation Area Provided should be "Tree Protection Area Provided".	TP1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Tree Barricade Detail The Tree Barricade Detail was removed from the plan with this submittal. It needs to be added back.	TP1	Kit Dennis	Kit Dennis	Yes
Forestry	Not Accepted	Plant Schedule In order for the proposed trees to meet the grade 1 standard, you will need to update the specs with the following information: AR - 4' spread, 45 gallon JV - 10' height, 3' spread	LA1	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		LJ - 45 gallon MGD - 4' spread, 45 gallon MGL - 2' spread QS - 10' height, 6' spread * After the specs are corrected to meet grade 1 standards, your plan will provide 24" DBH of palms and 55" DBH of non-palm species. Last comment from reviewer: Several species will need to have the specifications corrected in order to meet grade 1 standards for the proposed DBH's. I've provided the specifications below. AR - 2.5" DBH - 9'HT, 5'SPD, 65 gallon JV - 4" DBH - 14'HT, 4.5'SPD, 100 gallon MGD - 2.5" DBH - 9'HT, 5'SPD, 65 gallon MGL - 2.5" DBH - 9'HT, 2.5'SPD, 65 gallon QS - 2.5" DBH - 9'HT, 5'SPD, 65 gallon QV - 2.5" DBH - 9'HT, 5'SPD, 65 gallon Last response: The proposed DBH has changed. Please see the revised plant schedule.				
Forestry	Not Accepted	15% "Natural Preservation" Table 1) Change all references of "natural preservation" to "tree protection area" to be consistent with the language in our code. 2) Total Site Area - Is the site area shown, correct? Property Appraisers website shows it as 6.03 AC. 3) Replanted Preservation Area - There is not any area in the landscape plan that is labeled as Tree Protection Area and shows planting. Where is this planted protection area located? Please show it as Tree Protection Area on the plan sheets. Last comment from reviewer: The area that contains the 2" - 5" trees will need to be labeled as "Natural Vegetation Retention Area/Tree Protection Area". The area of Tree Protection Area that is being created through planting should be labeled as "Tree Protection Area". Last response: See revised LA plans	TP1	Kit Dennis	Kit Dennis	Yes
Forestry	Not Accepted	Trees 25 & 72 Trees 25 & 72 are less than 6" DBH. Please remove them from the spreadsheet and do not include them in calculations. Last comment from reviewer: The area that contains the 2" - 5" trees will need to be labeled as "Natural Vegetation Retention Area/Tree Protection Area". The area of Tree Protection Area that is being created through planting should be labeled as "Tree Protection Area". Last response: It is my understanding that trees 2"-5.9" can be used for preservation. Shouldn't they remain?	TP1	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Not Accepted	Irrigation Plan & Details An irrigation plan is shown in the sheet index but is not included in the plan set. It is required. Last comment from reviewer: The site plan cannot be approved without an irrigation plan. Last response: An irrigation plan shall be provided upon final approval.	C1	Kit Dennis	Kit Dennis	Yes
Planning	Draft	Stub-out Plan shows a stub-out, what is the proposed future use/intent for this? This area needs to be removed from TPA calculations if proposed as future connection.	C6	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Land Use Table Provide the square footage in addition to the acreage for the land use table	C6	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Mechanical Equipment Repeat Comment. Revised Elevations need to be submitted - Building mechanical equipment shall be visually screened from pedestrian areas and from public view. Revise plans to show the roof top mechanical equipment as dashed lines behind the screen wall on all facades and add a note detailing the material and dimensions for the screening. (LDR Sec. 33-94.03 (a)(4))	A-201	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	True South Elevation Repeat Comment. Revised Elevations need to be submitted - Consider painting the internal pillars the same color as others - SW6538 to break up the blank wall (LDR Sec. 33-94.03(b)(4)(h))	A-202	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Blank Walls (rear - true west) Repeat Comment. Revised Elevations need to be submitted - Blank wall areas shall not exceed 20 feet in vertical direction or 20 feet in horizontal direction of any building façade. Consider adding additional architectural elements such as blue vertical pillars similar to other side facades (true east example) (LDR Sec. 33-94.03(b)(4)(h))	A-201	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Landscape Sheets Revise the legend as its partially cut off on landscape pages	LA2	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Parcel ID Remove if this lot is not included	C1	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Sheet Index Update to reflect the sheet numbers	C1	Emily Ragusa	Emily Ragusa	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Not Accepted	TPA 15 percent Tree Protection Area must be based on the 6.03acres, not the 11.81acres. Last comment from reviewer: Tree protection areas must contain at least one tree per 2,500 square feet. Provide a table showing the number & species of existing trees to remain and the number and species of proposed planted trees. Last response: Please see sheet TP1 for the revised 15% minimum calculation. The 15% minimum tree protection has been accomplished by naturally occurring vegetation and planted preservations areas. See sheet TP1 for clarification.	TP1	Emily Ragusa	Emily Ragusa	Yes
Planning	Not Accepted	Landscape Buffer table Add headers for which column is required and which is proposed Last comment from reviewer: Provide header for each column, to clearly show which is required and which is proposed Last response: See sheet LA1 for required vs. proposed landscape buffer requirements.	LA1	Emily Ragusa	Emily Ragusa	Yes
Planning	Not Accepted	C11 and C12 Sheets C11 and C12 are not labeled in order, please revise. Last comment from reviewer: Now sheets C10 & C11 are incorrect, make sure when uploading the plans they're in correct order and tied to the correctly labeled sheet Last response: Sheets have been updated.		Emily Ragusa	Emily Ragusa	Yes
Planning	Not Accepted	Retaining wall Provide dimensional elevations of the retaining wall from top to bottom in 5-ft increments. Last comment from reviewer: Repeat Comment. Plan states "see structural plans" but none are provided. Update note to reference the HP and LP on sheet C7 or provide structural plans to make a complete reference. Last response: Please see Sheet C7 for the high point (HP) and low point (LP) of the retaining wall. The wall never exceeds 4 feet.	C6	Emily Ragusa	Emily Ragusa	Yes
Planning	Not Accepted	Landscape Buffer (True East) Eidson is a local road - buffer must be at least a type "B" (LDR Sec. 33-92.02 (b)) Last comment from reviewer: Show the dimensions of all the landscape buffers (linear and width) Last response: The landscape buffer for Edison has been changed to reflect a type 'B' buffer. See LA1 & LA2.	LA2	Emily Ragusa	Emily Ragusa	Yes
Planning	Not Accepted	Landscape Buffer (True West & true South) Specify the buffer standard proposed. Because this is abutting residential use, the buffer standard of "D" shall be used and in addition to the specific requirements for Buffer	C6	Emily Ragusa	Emily Ragusa	Yes

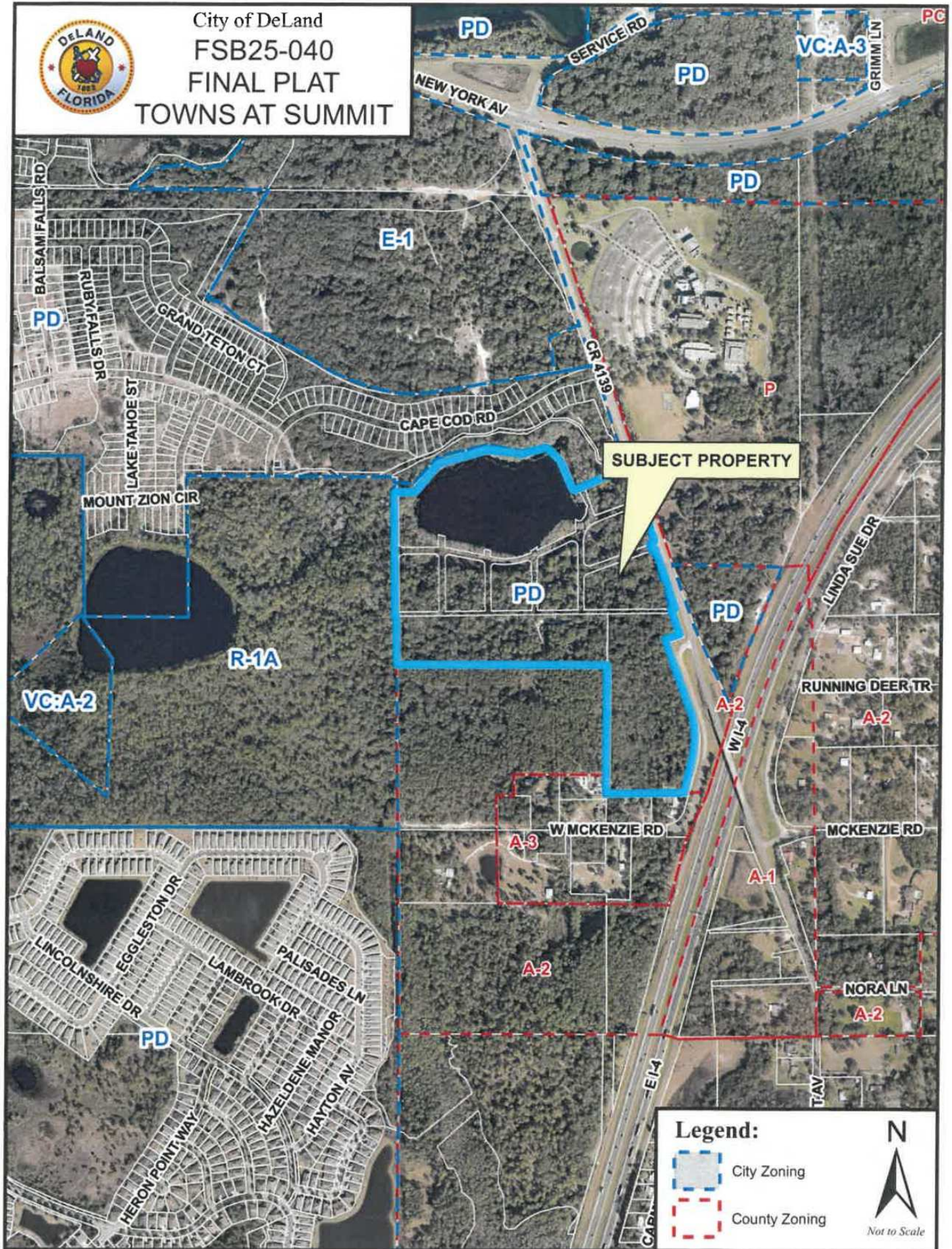
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Standards "D" contained in Table 33-92.02(b), the buffer must also include a 100 percent opaque screen (fence or wall) along the rear or side lot line. The screen shall be a minimum of six feet high and a maximum of eight feet high. The screen shall be located no closer than ten feet to the abutting property line and landscape materials shall be located between the screen and the abutting property line. (LDR Sec. 33-92.02 (b)) Last comment from reviewer: Vinyl webbing, shade screen or slats may not be used to provide the required screening. Last response: The West & South buffer requirements have been revised to match type 'D' buffer. See sheet LA1 for buffer requirements and provided. A fence has been added to the pans as stated above.				
Planning	Not Accepted	Site Plan Sheet Provide a site plan sheet that shows the locations and dimensions of all buildings/structures/sidewalks and proposed pavement - similar to sheet C6 but label as overall site plan and include the additional details as outlined within these comments (LDR Sec. 33-132.10(a)(2)) Last comment from reviewer: It appears all the dimensions were removed with this submittal. Last response: Please see Sheet C6 for added dimensions.	C6	Emily Ragusa	Emily Ragusa	Yes
Planning	Not Accepted	Project Area The plan shows only parcel 602800000052, which per the survey is +/- 6.03 AC. The cover sheet states 16,109 AC. Please clarify the new lot configuration from the minor subdivision (MS24-139) and verify that all calculations are based off of the new lot. If drainage is to be off-site, easements shall be recorded and shown on the site plan. Last comment from reviewer: Stormwater and impervious calculations need to be calculated based only on the +/-6.03AC. If proposing a shared stormwater system, a preliminary and final plat will be required for all lots/tracts to be included in the shared system. Last response: The proposed stormwater will treat the entire 16,109 acres; this includes an assumed 70% impervious for the 2 vacant lots and proposed impervious for the 6.03acre lot.	C1	Emily Ragusa	Emily Ragusa	Yes
Utilities	Not Accepted	Irrigation Show how site will be irrigated. Reclaim line is north on Edison by Davita Way intersection. A 12" reclaim line is available. Last comment from reviewer: Design for cistern still pending. Last response: A cistern will be utilized for irrigation and the design is being finalized and forwarded upon completion.	C1	Jim Ailes	Jim Ailes	Yes

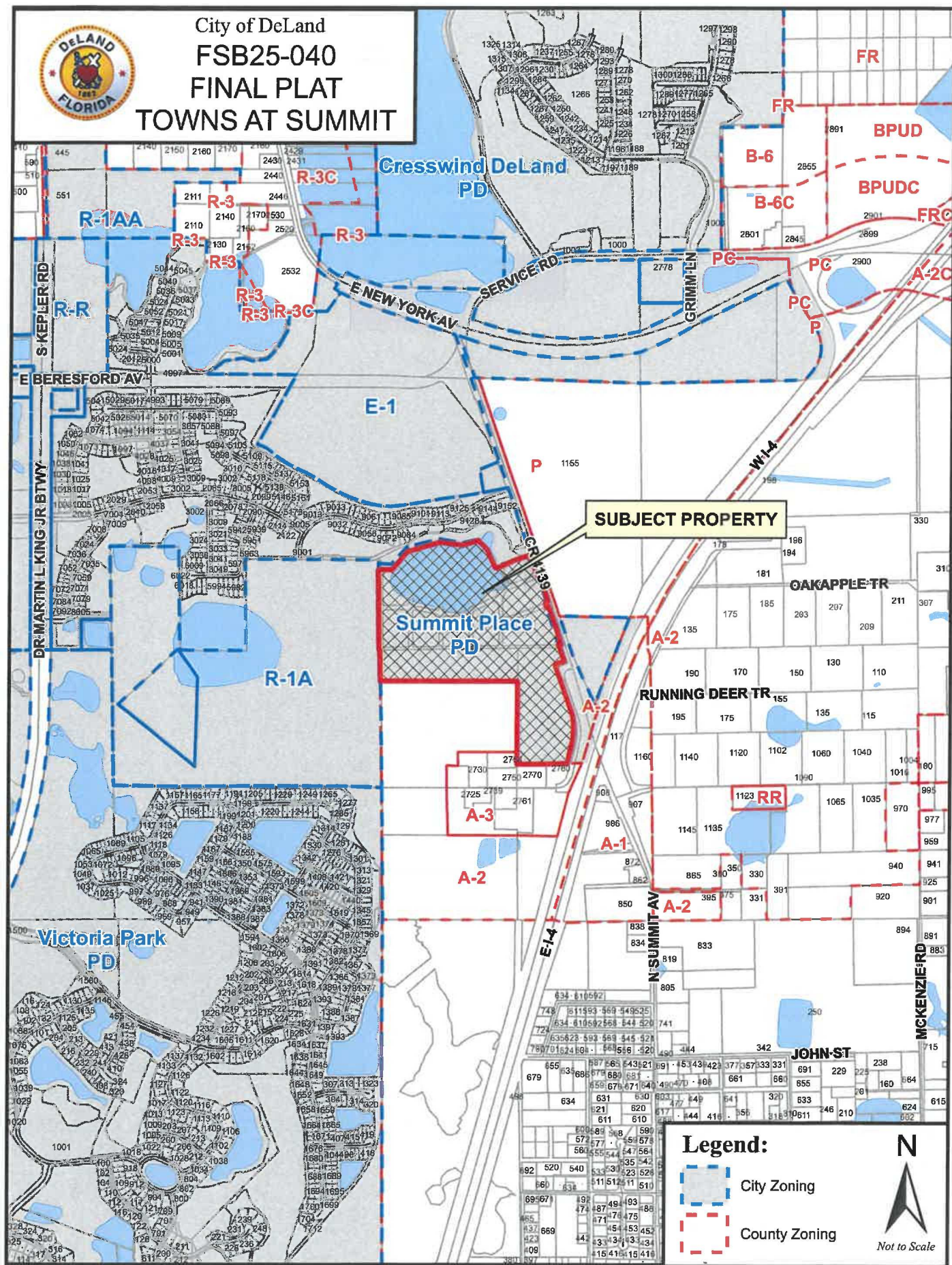
NEW BUSINESS

1



City of DeLand
FSB25-040
FINAL PLAT
TOWNS AT SUMMIT





Issues for record FSB25-040**Job Address: 0 CR 4139,****Job Description: FINAL PLAT FOR 300 TOWNHOME UNITS IN THE CITY OF DELAND.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	TPA In the legend. Change "PRESERVATION" to "PROTECTION"	1	Belinda Collins	Belinda Collins	Yes
Planning	Draft	TPA Revise TPA easements to be their own TPA tracts and called out as Tree Protection Areas	1	Samuel Nelson	Emily Ragusa	Yes
Planning	Draft	Tree Protection Revise Tree Protection Easement to "Tree Preservation Area" on all sheets	6	Samuel Nelson	Emily Ragusa	Yes
Planning	Draft	ROW Dimension Provide the ROW width from curb to curb	3	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Median Width Provide the width of all proposed medians (M-1 & M-2)	3	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Sidewalk - Multi-Modal trail Per 10/7/24 City Commission meeting - Add the sidewalk along Summit Ave as a multi-modal trail and include the dedications on page 1	1	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	SMA-2 Other sheets do not show SMA-2, only show SMA-1	1	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	OS Plat shows up to OS-8, but does not show OS-7. Update to reflect all OS tracts	1	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	OS-8 Should this be OS-7?	2	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Street Names Add the approved street names	2	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	CR 4139 Correct to CR 4139	1	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Dedication Add the name of Michael J. Good as the Manager for KBC Summit Place, LLC	1	Emily Ragusa	Emily Ragusa	Yes

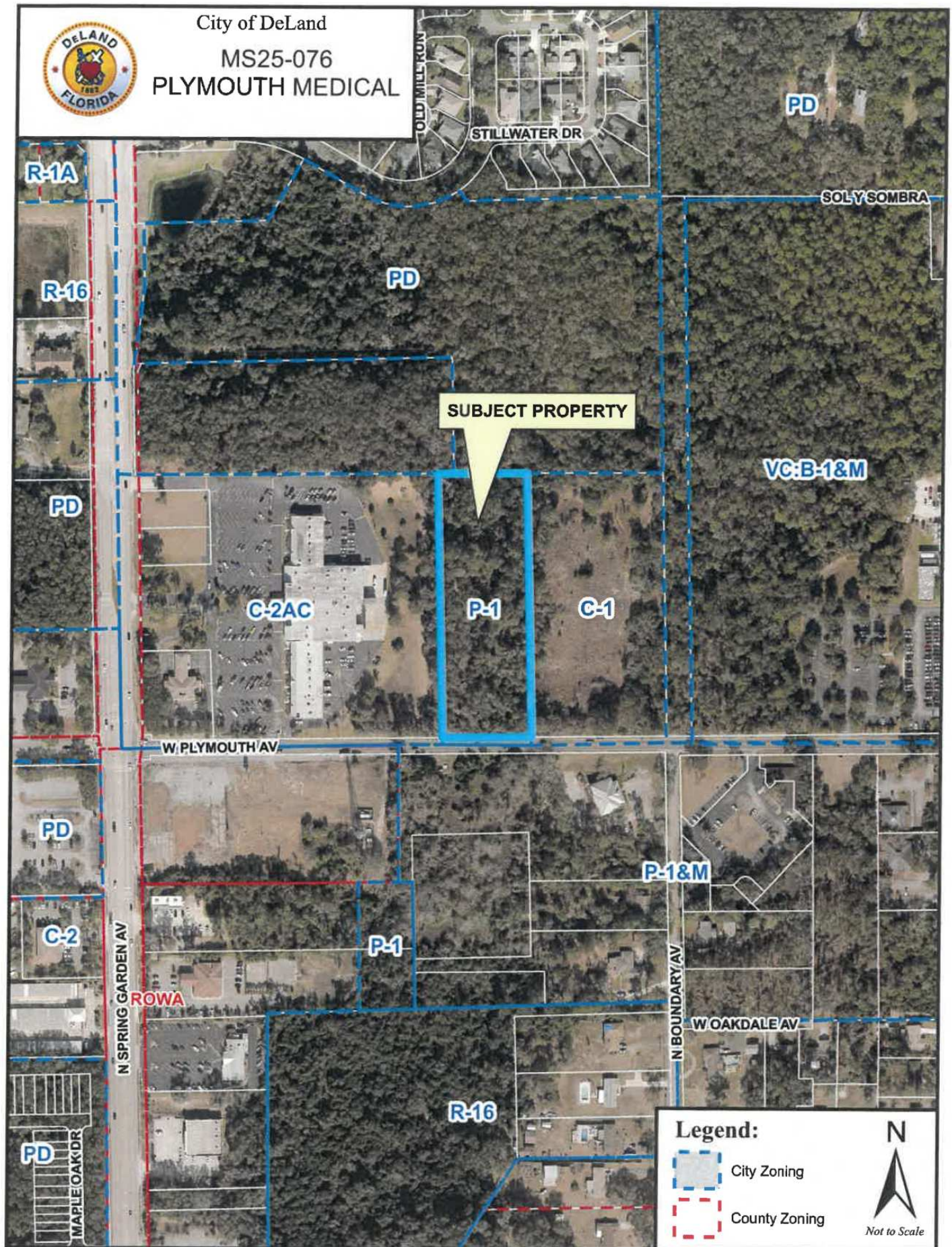
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	City Names Add the City Mayor, City Engineer and City Clerk names	1	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	City Surveyor Block City Surveyor block needs to be updated, correct block can be found in documents.	1	Emily Ragusa	Emily Ragusa	Yes
Planning	Draft	Surveyors Note 10 Tract M-1 is repeated twice, please correct to show Tracts M-1 and M-2.	1	Samuel Nelson	Samuel Nelson	Yes

NEW BUSINESS

2

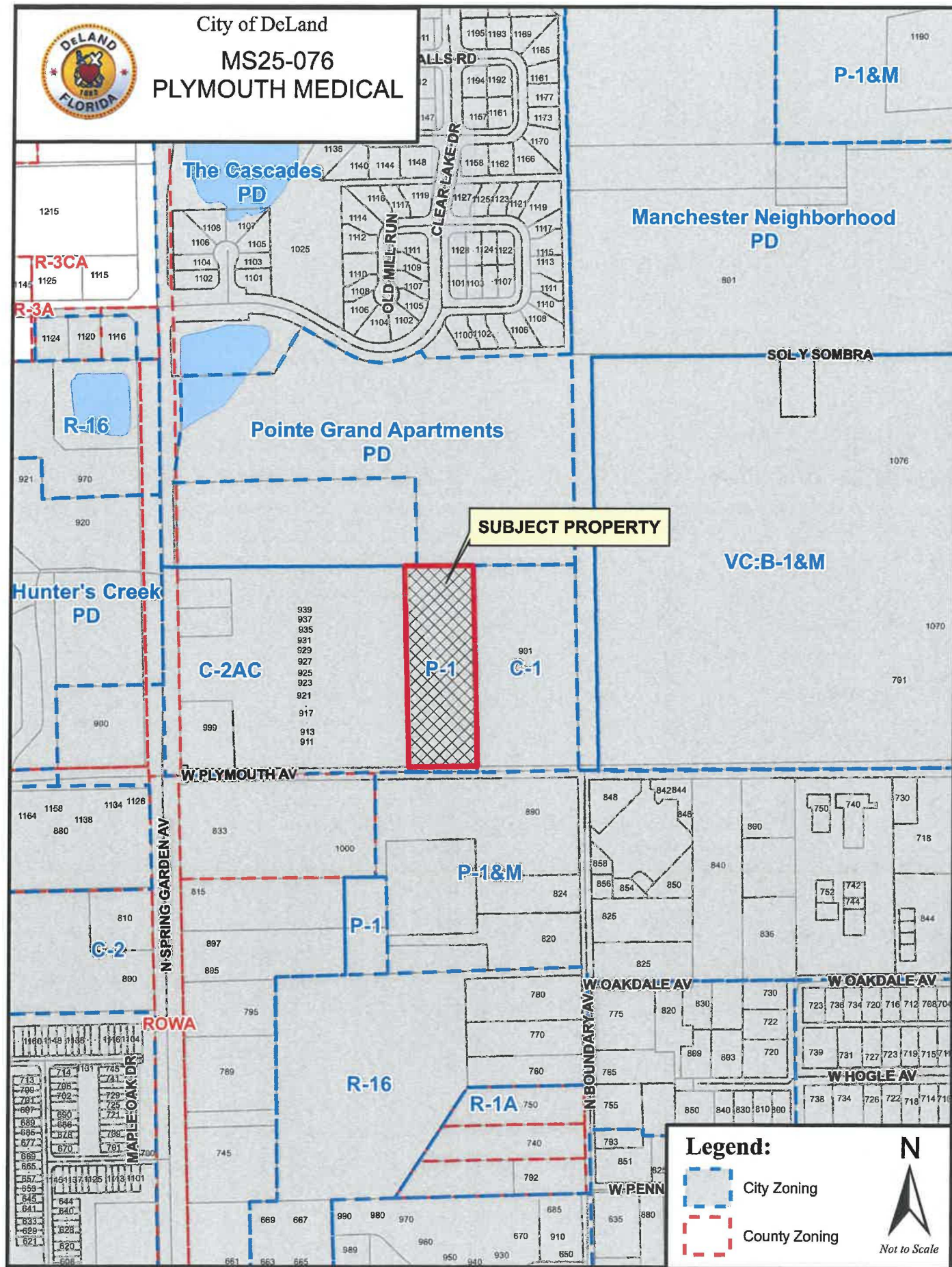


City of DeLand
MS25-076
PLYMOUTH MEDICAL





City of DeLand
MS25-076
PLYMOUTH MEDICAL



Legend:

- City Zoning
- County Zoning



Issues for record MS25-076**Job Address: 0 Plymouth AV, Deland FL 32720****Job Description: Propose Minor Subdivision**

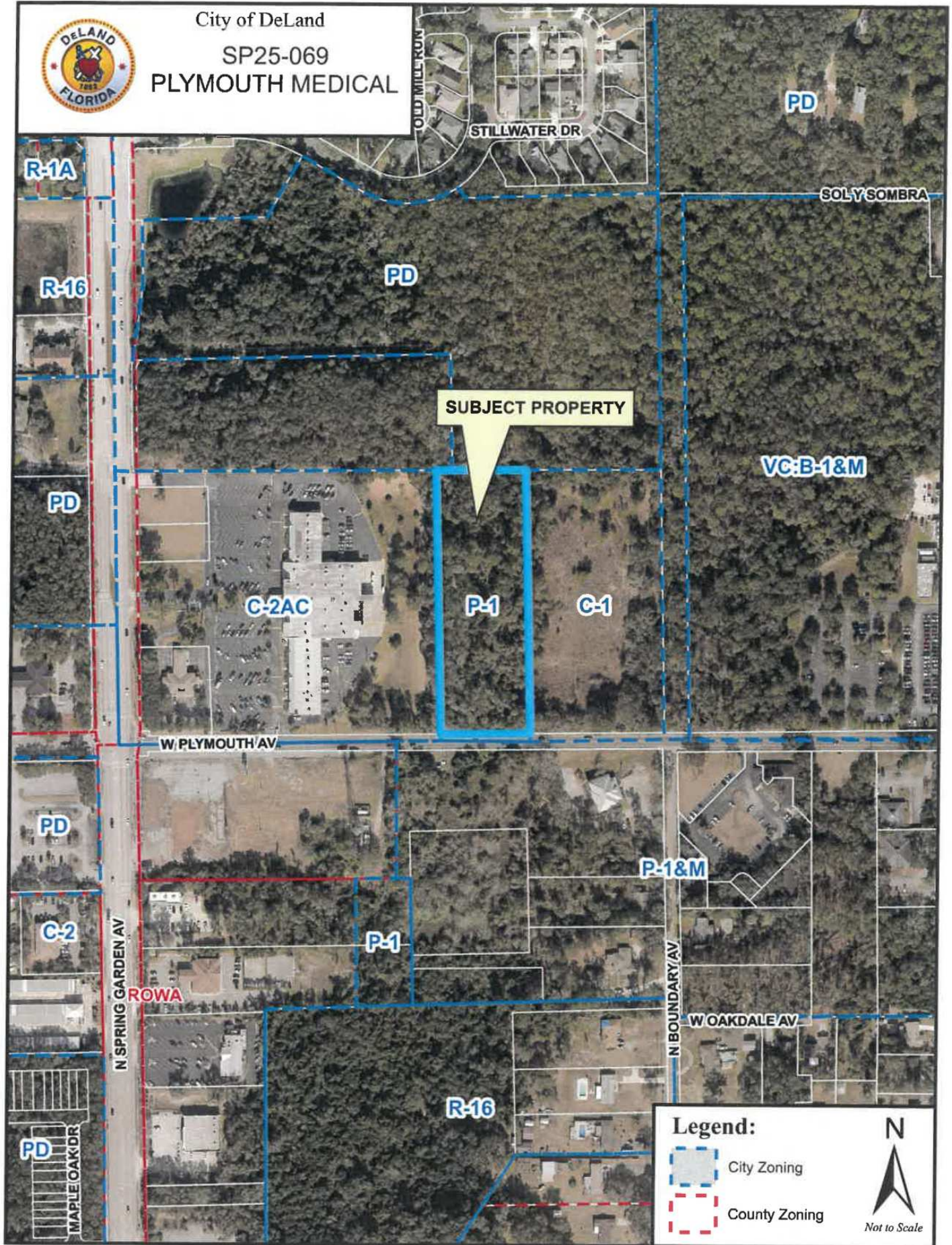
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Fire	Draft	FDC Provide separate FDC for each building.	C7	Jamie Lunsford	Jamie Lunsford	Yes
Utilities	Draft	Comments Same comments on previous plans apply	C1	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Outdated City Details Please use city details that are dated 12/30/2024	C11	Scott Zender	Scott Zender	Yes
Utilities	Draft	Outdated City Details Please use city details that are dated 12/30/2024	C10	Scott Zender	Scott Zender	Yes
Utilities	Draft	Outdated City Details Please use city details that are dated 12/30/2024	C9	Scott Zender	Scott Zender	Yes

NEW BUSINESS

3

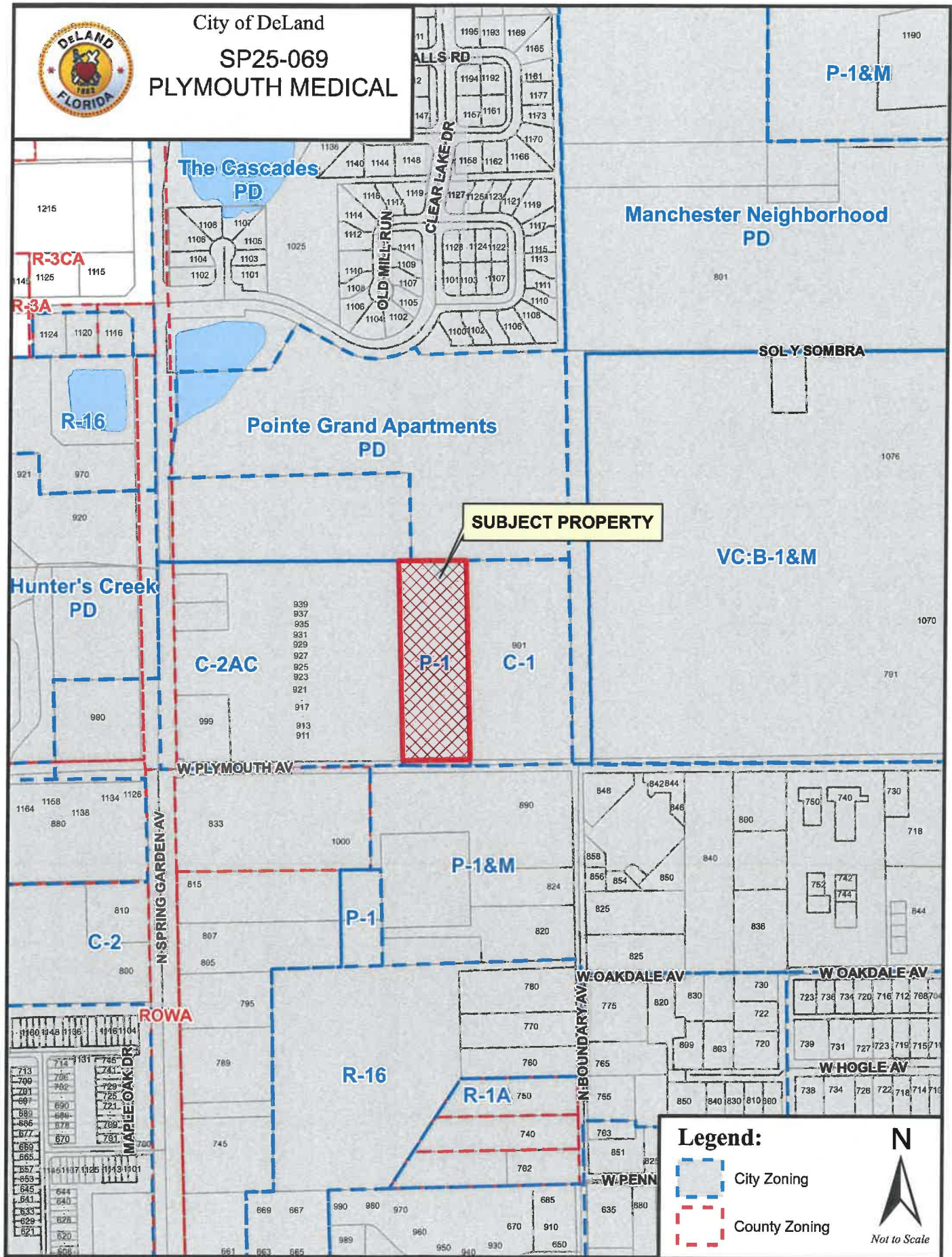


City of DeLand
SP25-069
PLYMOUTH MEDICAL





City of DeLand
SP25-069
PLYMOUTH MEDICAL



Issues for record SP25-069**Job Address: 0 W Plymouth AV, DELAND FL 32720****Job Description: Proposes the construction of a medical office including all parking, utility and stormwater infrastructure.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Recovery Analysis Please provide a recovery analysis for the system.	24048 STORM CALCS.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Dumpster Detail The plans appear to indicate a double dumpster enclosure; however, a single enclosure detail appears on Sheet C8	C8	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Rainfall Amount According to the NOAA ATLAS 14 POINT PRECIPITATION FREQUENCY ESTIMATES, the 100yr/24hr rainfall amount for this location is 11.2", not the 13.0" shown.	24048 STORM CALCS.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Pipe Information Various pipe information for Pipes 1, 2, and 3 do not match with what is shown on Plan Sheet C6.	24048 STORM CALCS.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Labels The pipe connecting ST-3 and ST-2 is not labeled.	C6	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	ICPR Inputs 1. The pipe connecting DSC-1 and DEP-1 is shown to be 18" and 57' long as opposed to 12" and 65' as shown in the ICPR model. 2. The Geotech Report indicates that the Seasonal High Groundwater Table is approximately 2' above the depth encountered, or at approximately ground level. Interpolating the boring map and the survey would indicate that ground level, i.e. SHGWT would be approximately 41.5'. 3. Horizontal and Vertical Conductivity are required to have a factor of safety of 2. The Geotech Report indicates that Kv is 11.1 ft/day approximately 4' below existing grade, but only 6.0 ft/day at the surface. Is it intended to over excavate the pond to remove the top two lower permeability layers? Also, the model needs to be re-run with the factor of safety included.	24048 STORM CALCS.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Grading The legend indicates that there should be drainage arrows to assist in interpreting the grading plan, however none appear in the plan. Please clarify.	C6	Steven Danskine	Steven Danskine	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Retaining Wall Provide fall protection where the retaining wall exceeds 30" in height.	C6	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	As-Builts Signed and Sealed As-Built Drawings shall be submitted electronically to the City of DeLand in .pdf format, as well as .dwg format.	C3	Steven Danskine	Steven Danskine	Yes
Fire	Draft	FDC Provide separate FDC for each building.	C7	Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	Plant Specs 1. ED: Change spread to 32" and gallon to 60 2. UA: Change 45 gallon to 100 gallon. Change remarks to 14' height minimum. 3. With the modifications above, the plan will add 159" DBH. This does not match Sheet TP1. Please correct whichever is incorrect.	LA1	Belinda Collins	Belinda Collins	Yes
Forestry	Draft	Wall/Tree conflict 1. There is a proposed wall next to a 27" DBH Laurel Oak. This wall is also shown sheet LA1. This tree appears to be too close to survive this construction. You may want to consider removing it and replacing or increase the area of protection around it.	C5	Belinda Collins	Belinda Collins	Yes
Forestry	Draft	Silt Fence 1. The silt fence area does not match the tree barricade area. Please expand the silt fence area to avoid trenching within the Tree Protection Area.	C4	Belinda Collins	Belinda Collins	Yes
Forestry	Draft	General 1. Add a header to the column of numbers on the left side of the page 2. Why are half of the trees in the table shown shaded. Please remove them if they are not on site or explain the shading on the plan. 3. What is the condition of the 34" DBH in the northeast corner of the property? The trenching required for the silt fence may cause sufficient damage that it may be better to remove and replace it. 4. There is a tree barricade next to a 27" DBH Laurel Oak in an area where a retention wall is proposed on sheet LA1. This tree appears to be too close to survive this construction. You may want to consider removing it and replacing or increase the area of protection around it. 5. There are several oak trees on the west side of the property (14", 7", 7", 18"/23", 9"/14", etc.) that appear to be too close to the proposed silt fence trenching. You may want to consider expanding these areas or removing and replacing these trees if more root area cannot be preserved. 6. 15% Tree Protection Area Table. Change Tree Preservation to Tree Protection in three	TP1	Belinda Collins	Belinda Collins	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		places in the table.				
		7. At the end of the tree protection calculation table, change tree bank fund to Tree Replacement Reserve Account.				
		8. Tree Replacement calculations to the left of the tree barricade detail do no match what is shown on Sheet LA1. Please correct whichever is incorrect.				
		9. There are a number of discrepancies in trees to be saved or removed between sheet C4 and TP1. Verify all instances and correct on both sheets for consistency.				
		10. Ensure that tree inches noted in the "Minimum on site Trees" table is consistent with the information provided in the tree protection Area worksheet.				
		11. Verify that ALL the trees are Laurel on this site as listed and that no Live Oaks were noted.				
Planning	Draft	Data Table - Square Feet Please provide the area of improvements and impervious calculation in square feet.	C1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Tree Protection Area Dimensions The minimum size for any tree protection area is 30 feet in width for protecting existing trees, and 20 feet for planting replacement trees. All TPA shown appears to be a maximum of 15' in width. Please provide and show the required TPA width.	TP1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Pedestrian Crossing There does not appear to be sidewalk connectivity or pedestrian crossing between the western and eastern buildings. Please show how pedestrian crossing across the parking lot will be provided.	C5	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Stormwater Pond - Fencing Is any fencing proposed around the stormwater pond? If so, please include it on the site plan. Note: Chian-link is not an approved fence material.	C5	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Natural Preservation Area - Clearing The area within the silt fence to be cleared includes area designated on the landscape plans as natural preservation. Trees shown being kept in this preservation area on the landscape plan are also shown as being removed on the clearing plan. Please confirm which trees are intended to be removed. Healthy trees within the natural preservation area are not permitted to be cleared.	C4	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Lighting Please show any wall-mounted lighting on the photometric plan and confirm all lighting meets the criteria of Sec. 33-94.03 (g).		Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		9. All lighting shall be downward and of the full cut off shield variety in which the light source is recessed and shielded in a manner which prohibits upward light overspill into the night sky. Upward illumination is prohibited except: a. Ground level light fixtures, which shall be of the burial vault type and shall be fully screened by landscaping. Illumination from ground level light fixtures shall not exceed the roof line of the illuminated structure by greater than 0.01 foot-candles. b. Illumination from building wall lights providing architectural detail where a component of the lighting is designed to illuminate the building in an upward manner as part of the building aesthetic design shall not exceed the roof line of the illuminated structure by greater than 0.01 foot-candles.				
Planning	Draft	Handicap Parking Sign The proposed locations of the handicap parking signs conflict with the required 20' length for the handicap parking spaces. Please move the signs so that the parking spaces can maintain the required 20' of uninterrupted length.	C5	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	South Buffer Dimension Inconsistency The southern landscape buffer is shown as 30' on page C1& C5, 20' on LA2, and 15' on LA1. A Class B Landscape Buffer is required between office uses and a collector roadway, and this buffer is required to be a minimum of 15'. Please correct the plans to show the actual proposed buffer.	LA2	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Buffer Requirement - North The landscape buffer requirement between office uses and multi-family uses is a minimum of a Class B Landscape Buffer. Please update the data table to reflect compliance with Class B buffer requirements.	LA1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Parking Calculation The total area provided for the medical office buildings is 21,470 sf. The net area of these buildings (21,460 x .85) is 18,249.5 sf. Thus, the code's required parking is (18,249.5/150) 122 spaces. If the provided area used in the parking calculation was determined differently, please provide the methodology. Otherwise, please correct the calculation in the table.	C1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Bicycle Parking Bicycle parking is required subject to Sec. 33-91.03 (I). Buildings totaling 21,470 square feet of floor area require a minimum of 3 bicycle parking spaces. Please show where these will be provided on the plan and include the total # of spaces in the calculation.	C1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Retaining Wall Provide dimensional spot elevations of the retaining wall from top to bottom in and show how it will comply with Sec. 33-94.03. (h). (h) Fences, walls, screens and landscape buffers. 1. Any fence, wall or visual screen which is visible from any public right-of-way shall be designed as an integral feature of the design of the principal structure, expressing similar	C6	Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		character through the use of materials, colors, or textures, excluding the use of shade cloth and woven slats. 2. Long stretches of fence, wall, or screen shall be relieved through use of offsets, bends, breaks, landscaping, or other design device.				
Planning	Draft	Construction Schedule Are the buildings proposed to be constructed concurrently, or in phases?		Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Elevations for Each Building Type Please provide dimensioned, color elevations for each of the proposed building types.		Samuel Nelson	Samuel Nelson	Yes
		Legal Lot of Record (Minor Subdivision) A minor subdivision application is required to create a legal lot of record which will allow construction. This application must be approved prior to development order issuance. Please submit this application in the Accela Portal. Sec. 33-145.03. (a) Subdivision plat required. No real property shall be divided into two or more lots for the purpose, whether immediate or future, of sale or other transfer of ownership, nor shall development plans be approved or permits issued, without compliance with the requirements of this chapter. (b) 4. A minor subdivision shall be exempt from the review and approval of a plat, however development plans meeting the requirements of this chapter shall be reviewed by the technical review committee and approved by the planning director; except that any division of a tract or parcel of land located on the Local Register of Historic Places into two or more lots shall be reviewed by the historic preservation board, in accordance with sections 33-34.03(a)(1)f., (b)(5), and (c). A minor subdivision is defined as meeting all of the following criteria: a. An overall tract in single ownership of no more than twenty acres is divided into no more than three lots. b. No adjoining lots, tracts, or parcels are in the same ownership. c. No new streets are proposed or required. d. No dedication of right-of-way, drainage areas, conservation areas, or other publicly maintained property is proposed or required. e. All proposed lots meet or exceed the dimensional requirements of article VIII and required easements for utility, drainage, conservation, or other purposes are delineated for transfer to the city as part of the development order. f. Water and sewer services are available to serve the property.	C1	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Mechanical Equipment Please show the location of any proposed mechanical equipment and confirm how it will be screened from public view.	C5	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Dumpster Enclosure Detail Please provide a detail and color elevations for the proposed dumpster enclosure.		Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Building Elevations Please provide the color, material, and dimensions for all exterior building facades as required by Sec. 33-94.02 (c) 33-94.02(c) Required submittal items. Minimum submittal requirements are: 1. Architectural building elevations, in color, of all facades of buildings with material and texture indications, and with any exterior building signage illustrated, together with color swatches corresponding to the actual colors of the proposed building. 2. A set of clearly-labeled and dimensioned building elevations which demonstrate consistency and compliance with the required design standards. Such elevations shall include dimensions, colors, and materials for all building façade lengths; building heights; window, door, and entryway openings and features; fenestrations; wall articulations; façade features; vertical and horizontal transitions; building heights; roof heights, profiles, materials, and appearance; and historical styles clearly dimensioned and illustrated through the use of call-outs, dimensions, labeling, and other methods. 3.. In addition to the above building elevation requirements, the following must also be submitted, if applicable: exterior lighting scheme, lighting photometric design, fences and walls, landscaping, site furnishings, building landscaping design, specified pedestrian access paving and/or marking details and building signage.	Deland Medical Center-Elevation G.pdf	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Vehicle Use Area Separation Please provide the vehicle use area separation dimension from each property line.	C5	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Building Setbacks Please provide the setback distances from property lines for each building (including the dumpster enclosure) on the property.	C5	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Photometric Plan Please provide a photometric plan showing the foot-candles to the property lines and adjacent rights-of-way. Note: Off-site areas shall be shielded from offensive or excessive illumination. Illumination from any light source onto adjacent properties or into the public right-of-way shall not exceed 0.5 foot-candles Sec. 33-94.03. (g)		Samuel Nelson	Samuel Nelson	Yes
Utilities	Draft	Reclaim Extension a Reclaim Extension from Spring Garden down the east property line is required. A 6" stubout is just south of the Pointe Grand Apts. Roughly 900 Ft.	IR1	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Irrigation How will site be irrigated?	IR1	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	North Building Shows to potable water connections if correct. Middle building would share a 2" meter.	C7	Jim Ailes	Jim Ailes	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Utilities	Draft	Private utilities MH-1-3and collection system will be private and two hydrants onsite as well.	C7	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Sewer Connection What is depth of offsite manhole and proposed connection method.	C7	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Fair Share Agreement This project will require a fair share agreement as well.	C1	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Utility Service Agreement A utility service agreement will be required for this project.	C1	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Outdated City Details Please use city details that are dated 12/30/2024	C11	Scott Zender	Jim Ailes	Yes
Utilities	Draft	Outdated City Details Please use city details that are dated 12/30/2024	C10	Scott Zender	Jim Ailes	Yes
Utilities	Draft	Outdated Utility Details Please use city details that are dated 12/30/2024	C9	Scott Zender	Jim Ailes	Yes
Utilities	Draft	Valve Please show valve on 10" x 12" Tap	C7	Scott Zender	Jim Ailes	Yes

Conditions and notes for record SP25-069**Job Address: 0 W Plymouth AV, DELAND FL 32720****Job Description: Proposes the construction of a medical office including all parking, utility and stormwater infrastructure.**

Discipline	Status	Type	Details	Attached To	Created By
Planning	Draft	Note	Resubmittals Please note, a resubmittal may result in additional comments if plans did not provide enough detail to complete the review, or if substantial changes are required based on staff comments. Applicant initiated changes may also result in additional comments.		Samuel Nelson
Planning	Draft	Note	Signage All signage shown is for illustrative purposes only. Separate sign permits are required for approval.	C5	Samuel Nelson