



Technical Review Committee Agenda

CITY OF DELAND
THURSDAY FEBRUARY 15, 2024 AT 1:30 P.M.
CITY OF DELAND TRC MEETING ROOM
DELAND, FLORIDA

A. CALL TO ORDER

B. ROLL CALL

C. OLD BUSINESS

1. Review of January 18, 2024 TRC Meeting Minutes
2. **Applicant Name:** Martin Mitchell – CPH Corp
Project Name: SP23-271 – Class II Site Plan for African American Museum of the Arts
Project Location 0.66 acres located at 325 S Clara Ave
Description: 3,490 SF addition

D. NEW BUSINESS

1. **Applicant Name:** Mark Watts – Cobb Cole
Project Name: SSB24-002 – Sketch Plan for Highland Homes at Carter Road
Project Location 124.18 acres located at 1210 Carter Rd
Description: 322 lots single family and townhomes
2. **Applicant Name:** Sixto Su – Southpointe Commons Group LLC
Project Name: SP24-008 – Class II Site Plan for DeLand FSER
Project Location 1.59 acres located at 2490 S Woodland Blvd
Description: 10,860 sf free standing emergency room

E. OTHER BUSINESS

F. ADJOURNMENT

OLD BUSINESS

1



**CITY OF DELAND
TECHNICAL REVIEW COMMITTEE MEETING
MEETING MINUTES
THURSDAY, JANUARY 18, 2024 -1:30 P.M.
CITY HALL**

OPENING OF MEETING:

Call to Order:

1:33 pm

Members Present:

Carol Kuhn, Chairperson

Kendall Story

Debi Glick

Emily Kunkel

Belinda Collins

Phil Mangis

Kit Dennis

Jamie Lunsford

Ray Bahrami

Steve Danskine

Jim Ailes

Staff Present:

John Eiff – Airport Manager

OLD BUSINESS:

1. Review of December 21, 2023 TRC Meeting Minutes

Jim Ailes moved to approve the minutes as presented,

Ray Bahrami seconded the motion.

The TRC Committee voted unanimously in favor of motion.

2. **Applicant Name:** Mark Watts – Cobb Cole Emily
Project Name: Z23-250 – PD Rezoning for Summit Place Planned Development
Project Location 66.46 acres located on Summit Ave west of I-4
Description: PD Amendment

Applicants Present:

Nika Hosseini – Cobb Cole

Heinz Peies

The applicant will address the comments and resubmit.

*Jim Ailes moved to forward the application to Planning Board,
Belinda Collins seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

NEW BUSINESS:

1. **Applicant Name:** Derek Ramsburg – Kimley-Horn
Project Name: SP23-206 – Class II Site Plan for DeLand Hangar
Project Location: 3.08 acres located at 1991 Industrial Dr
Description: 14,600 SF Hanger

Belinda

Applicants Present:
None.

*Ray Bahrami moved to continue the application to the next TRC Meeting,
Jamie Lunsford seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

2. **Applicant Name:** Steven Darby – Darby Engineering Inc
Project Name: SP23-253 – Class II Site Plan for Admore
Project Location: 0.342 acres located at 1650 Old NDB Rd
Description: 4,200 SF Hanger

Belinda

Applicants Present:
None.

*Steve Danskine moved to eliminate TPA and conditionally approve the application,
Kit Dennis seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

3. **Applicant Name:** Andrea Schweizer – SMA Healthcare Inc
Project Name: SP23-262 – Class II Site Plan for SMA Healthcare
Project Location: 1.25 acres located at 1251 N Stone St
Description: 2 Story Medical Building 20,625 SF

Sam

Applicants Present:
Jake Stehr - ZCA
Eric Horst – SMA
Luke Kilic – ZCA

The applicant will address comments as discussed at the meeting and resubmit.

*Ray Bahrami moved to conditionally approve the application,
Jim Ailes seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

4. **Applicant Name:** A. Joey Posey, Jr. – Storch Law Firm
Project Name: Z23-259 – PD Rezoning for Gateway East
Project Location: 65 acres located at E New York and Summit Ave
Project Description: Planned Development Amendment

Emily

Applicants Present:

Joey Posey - Storch Law Firm

The applicant will address comments as discussed at the meeting and resubmit.

*Emily Kunkel moved to forward the application to Planning Board,
Ray Bahrami seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

5. **Applicant Name:** Zakia Elamine – Faith Construction of Central FL
Project Name: SP23-269 – Class II Site Plan for Florida Ave Apts
Project Location: 0.532 acres located at 216 S Florida Ave
Project Description: 7 Townhomes

Kendall

Applicants Present:

Brad Donley – Newkirk Engineering Inc.

David Reddinger – Faith Construction of Central Florida LLC

George Dennison – Dennisons and Matthews PLLC

The applicant will address the comments as discussed at the meeting and resubmit

*Kendall Story moved to continue the application to the next TRC Meeting,
Jim Ailes seconded the motion.
The TRC Committee voted unanimously in favor of the motion.*

6. **Applicant Name:** Martin Mitchell – CPH Corp
Project Name: SP23-271 – Class II Site Plan for African American Museum of the Arts
Project Location: 0.66 acres located at 325 S Clara Ave
Project Description: 3,490 SF addition

Phil

Applicants Present:

Mark Moor – AAMA

Danita Bryant – CPH

Reggie Williams – AAMA

Sharon Stafford – AAMA

Grady Ballenger – AAMA

Keith Riger – AAMA

Ket Inest – CPH
Martin Mitchell – CPH
Tyler Fitzgerald – CPH

The applicant will address the comments as discussed at the meeting and resubmit

*Ray Bahrami moved to continue to February 15th TRC as long as plans are received by 1/29/24,
Belinda Collins seconded this motion.
The TRC Committee voted unanimously in favor of the motion.*

OTHER BUSINESS:

None.

ADJOURNMENT:

3:49 pm

OLD BUSINESS

2

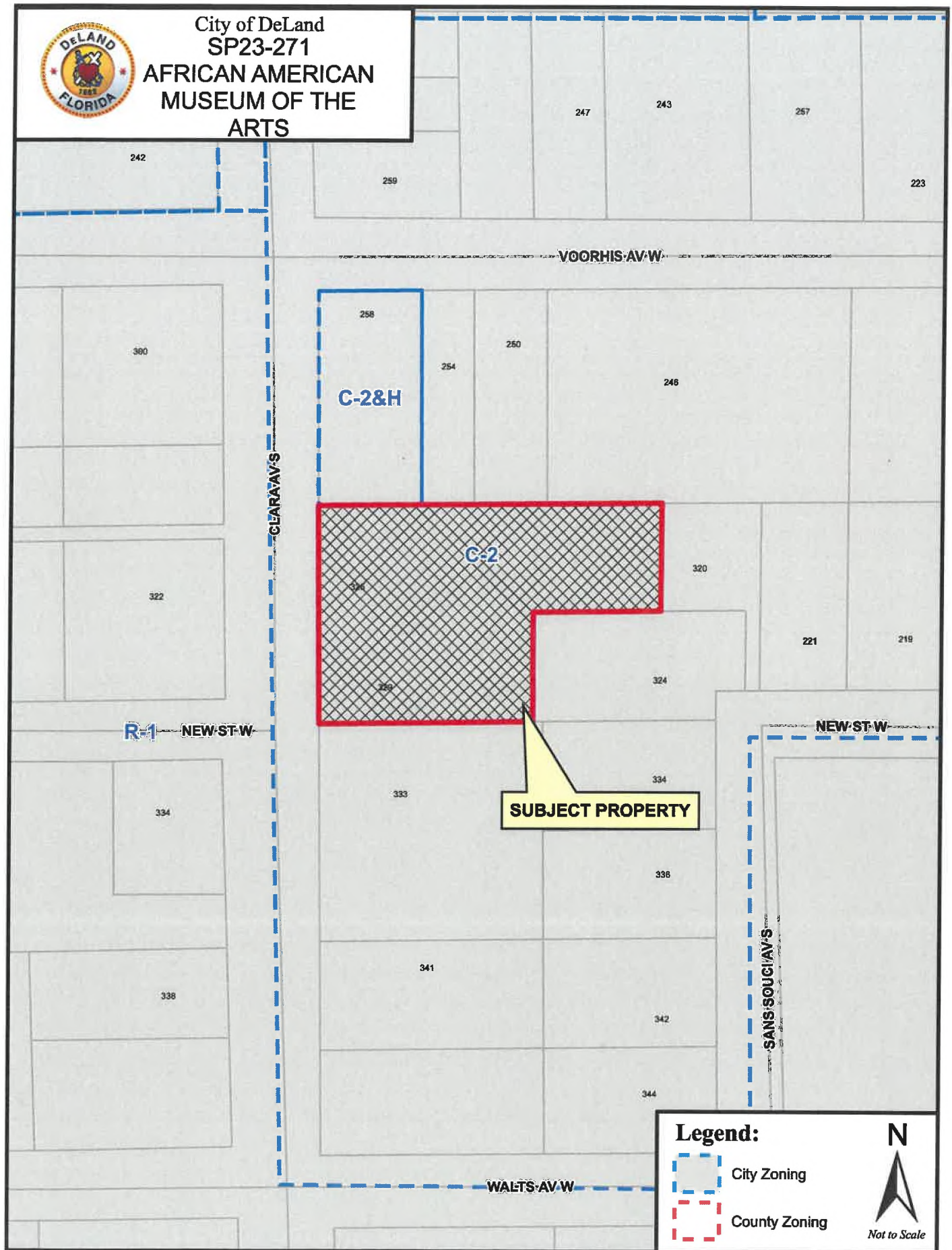


City of DeLand
SP23-271
AFRICAN AMERICAN
MUSEUM OF THE
ARTS





City of DeLand
SP23-271
AFRICAN AMERICAN
MUSEUM OF THE
ARTS



Issues for record SP23-271**Job Address: 325 S CLARA AV, DELAND FL 32720**

Job Description: The African American Museum of the Arts (AAMA) is proposing to expand the existing building located at 325 S. Clara Avenue in Deland. The site is ± 0.66 acres (Parcel ID: 701620020130). The following design is in compliance with the St. Johns River Water Management District (SJRWMD) and the City of Deland requirements. The project proposes a building expansion of ± 3,490 square feet, various improvements to the ± 1085 square foot existing building, a formal garden space, and accommodation for a future sculpture garden.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Silt Fence vs Tree Protection Areas When the silt fence reaches a tree protection area, it should follow the inside edge of the tree protection area rather than the perimeter of the site.	C1.0	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Tree Removal / Proposed Inches You are proposing removal of 334" DBH. Replacement is calculated by dividing by 3. The required replacement should show 111". Your plan provides 44" DBH replacement. Please correct the numbers to the left of the Tree Data table.	T-1.0	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Tree Protection Area Please indicate if you are requesting approval of reduced TPA and why the minimum requirement cannot be met.	T-1.0	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Root Barrier Detail The detail states root barrier is being used to control the roots of Ficus trees. I do not see Ficus trees in this plan. It should be noted that Ficus is not recommended for our hardiness zone.	L-5.0	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	2. Minimum Tree Coverage -Round the number of trees required to 11. -The minimum total DBH should be 66". -"Minimum DBH After Development" should be removed from this section. -"Non specimen after development" should be removed. -Total DBH after development should show 44+107=151	L-1.0	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
4. Tree Replacement Table						
Forestry	Draft	111" is the required mitigation for protected tree removals. Replacement inches provided is 44".	L-1.0	Kit Dennis	Kit Dennis	Yes
Tree Protection Area Proposed						
Forestry	Draft	Sheet T-1.0 shows 958 sqft Tree Protection Area. Please correct whichever is incorrect. If you are asking for reduced TPA, please indicate why the site requires a reduction approval.	L-1.0	Kit Dennis	Kit Dennis	Yes
Tree Replacement Reserve Account Payment						
Forestry	Draft	Where it says "removed 111" change the word "removed" to "mitigation required" Proposed inches should show 44" Payment calculation should be 67" x \$75 = \$5,025	L-1.0	Kit Dennis	Kit Dennis	Yes
Tree Mitigation						
Forestry	Not Accepted	The mitigation required would be 111" DBH. Your plan provides 46" replacement without the Fringe trees, or 50" replacement if the size of the Fringe trees are increased to 3" caliper. If the site meets minimum coverage requirements (requirements cannot be calculated until the site size is confirmed) the remaining required replacement deficit can be mitigated with a payment into the Tree Replacement Reserve Account. The payment amount would be \$75 per inch. Last comment from reviewer: Your plan has 334" of removals. The mitigation required is 111" DBH. Your current Plant List provides 44" DBH replacement. Your plan will meet the minimum coverage requirements so a payment to the Tree Replacement Reserve account for the remaining mitigation is an option. Based on your current plan, the payment amount would be \$5,025. (67" deficit x \$75/inch) Last response: Fringe tree revised to a Crape Myrtle due to availability, and mitigation calculations corrected. Request payment into the Tree Replacement Reserve Account, calculations are on sheet L-1.0.	L-1.0	Kit Dennis	Kit Dennis	Yes
Forestry	Not Accepted	Plant List Specifications In order to receive credit for the Fringe trees, the caliper must be increased to a minimum of 3", height should be 8', Spread should be 3.5', and the root ball should be 32" or 45 gallon. Root ball sizes or container sizes need to be added. MG, PE, and QV all should show 32" or 45 Gal. Last comment from reviewer: The following revisions will need to be made to meet	L-1.0	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		grade 1 standards: Little Gem Magnolia - 4" Cal, 10' HT, 3' SPD, 100 gallon container or 40" root ball. D.D Blanchard Magnolia - 4' Cal, 10' HT, 6' SPD, 100 gallon container or 40" root ball. Last response: 1. Plant list revised. 2. Container sizes have been added. 3. 45 Gallon added to these tree specifications.				
Total DBH After Development						
Forestry	Not Accepted	Your plan preserves 107" and provides 46" replacement for a total of 153". (157" if the Fringe tree size is increased to 3" calip or 2" DBH.) Last comment from reviewer: Your plan now provides 44" replacement and 107" preserved. The total DBH after development would be 151" Last response: Tree mitigation calculations revised and request payment into the Tree Replacement Reserve Account, calculations are on sheet L-1.0.	L-1.0	Kit Dennis	Kit Dennis	Yes
Tree Replacement Inches						
Forestry	Not Accepted	Once the specifications are edited in your plant list, the plan will provide 46" DBH replacement. If the Fringe tree size is increased to 3" calip (2" DBH) the plan would provide 50" DBH replacement. Last comment from reviewer: After the Magnolias specs are updated, your plant list provides 44" DBH replacement. It appears you have calculated your provided replacement based on caliper inches. Our code uses DBH. Last response: Calculations revised.	L-1.0	Kit Dennis	Kit Dennis	Yes
Protected Tree Removals						
Forestry	Not Accepted	Your plan indicates that you will be removing 334" DBH of protected trees. The mitigation for this will be 111" DBH replacement. Last comment from reviewer: The amount will need to be updated to show a payment amount of \$5,025, based on the current plan. Last response: Acknowledged, the tree replacement will be revised, Due to site constraints funds will be deposited into the Tree Replacement Reserve Account, calculations are on sheet L-1.0.	L-1.0	Kit Dennis	Kit Dennis	Yes
Planning	Not Accepted	Cross Access Easement Label and dimension of the recorded cross access easement on the site plan and include	C2.0	Phillip Mangis	Phillip Mangis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		book and page. Last comment from reviewer: Will need to provide a written agreement for the cross-access easement signed by both property owners. Last response: A letter from the Owner will be provided as a supporting document. A signed written agreement between the client and the church (northern property) is in a working format. This agreement will be provided to the City of Deland as a supporting document once it is executed. This written agreement will state that the cross-access easement will allow access between the two properties for vehicular access. The easement will be recorded, and the book and page will be provided as soon as the record process is complete.				
Planning	Not Accepted	Additional Information Please provide a lighting photometric plan, per Section 33-94.02(c)(2), only if new lighting is proposed. Please provide height of the proposed addition. If a dumpster is proposed, please show where the dumpster is going to be located. Some sheets show a Phase III, while other do not please be consistent and revise sheets. Show all proposed signage, signage is shown for illustrative purposes only, a separate sign permit is required. Include a statement/note on elevations that new addition will be constructed with similar materials and colors. Live oaks may not be the best plant option adjacent to the stormwater pond. Live oaks have an intrusive root system and may be problematic when adjacent to stormwater ponds. Please provide a detail for statement for sculpture garden. Last comment from reviewer: Will need to provide a lighting photometric plan. Last response: 1. Electrical photometric plan will be provided with the final design documents. There will be wall pack lighting on three sides of the buildings (north, east, and south) for security. A wall mounted sconce light will be utilized at the two primary building entrances (north wall of the existing building, and west wall of the building addition). The parking area is existing and utilizes an existing pole-mounted light fixture. 2. The proposed building addition will have a height of approximately 21'-4". This information can be found in the site data on sheet C2.0. 3. There will be no proposed dumpster for this project. The museum will continue to	C0.1	Phillip Mangis	Phillip Mangis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		utilize the manual rolling bins for curbside service. 3. Phase III will not be a part of the proposed project and has been removed from all plans. 4. There will be two proposed signs onsite when complete. One proposed sign will be designed for the new entrance on the northwest corner of the existing building – denoting the "African American Museum of the Arts". The second proposed sign will be a small plaque adjacent to the new building entrance on the north side of the existing building. This plaque is required by the conditions of grant money for the project. All proposed signage will be permitted separately. 5. The design goal for the new addition is to provide a new aesthetic that will fit within the context of the neighboring residential construction and matching the traditional aesthetic of the existing museum building. Accordingly, the new building addition has been designed with a Hardie plank siding to match the same aesthetic profile of the existing building. Following are the Owner approved finishes that we intend to specify for the project: Exterior Paint colors • Sherwin Williams SW 7043 Worldly Gray for exterior Hardie plank walls and CMU • Sherwin Williams SW6258 Tricorn Black for hollow metal door frames and steel stair and ramp railings • Sherwin Williams SW7675 Sealskin for fascia metal, gutters, and downspouts Aluminum Storefront • Dark Bronze finish for the aluminum storefront Asphalt Shingle System • New roof and existing building will be replaced with a charcoal color architectural dimensional asphalt shingle roof system (Timberline HDZ shingles or equal). Exterior Signage • Proposed signage at the entrance will consist of three new cast-in-place concrete columns with a steel structure and perforated metal panel field for the proposed signage lettering. The concrete columns will remain with a natural finish. The steel and perforated panels will be a white color (similar to Sherwin Williams SW7005 Pure White). The signage lettering will be a Helvetica style font with black powder coated finish. 6. The tree species has been revised to account for the pond grading. 7. The sculpture garden will be an outdoor space reserved for permanent and rotational artwork.				
Planning	Not Accepted	Core Getaway Buffer The West property boundary requires Class 'B' buffer, per Table 33-92.02(b). Please label and show on the site plan the dimensions of the ingress/egress. If the required landscape buffers cannot be met, please make a formal request for TRC to reduce the buffers based on redevelopment standards, per section 33-92.	L-1.0	Phillip Mangis	Phillip Mangis	Yes

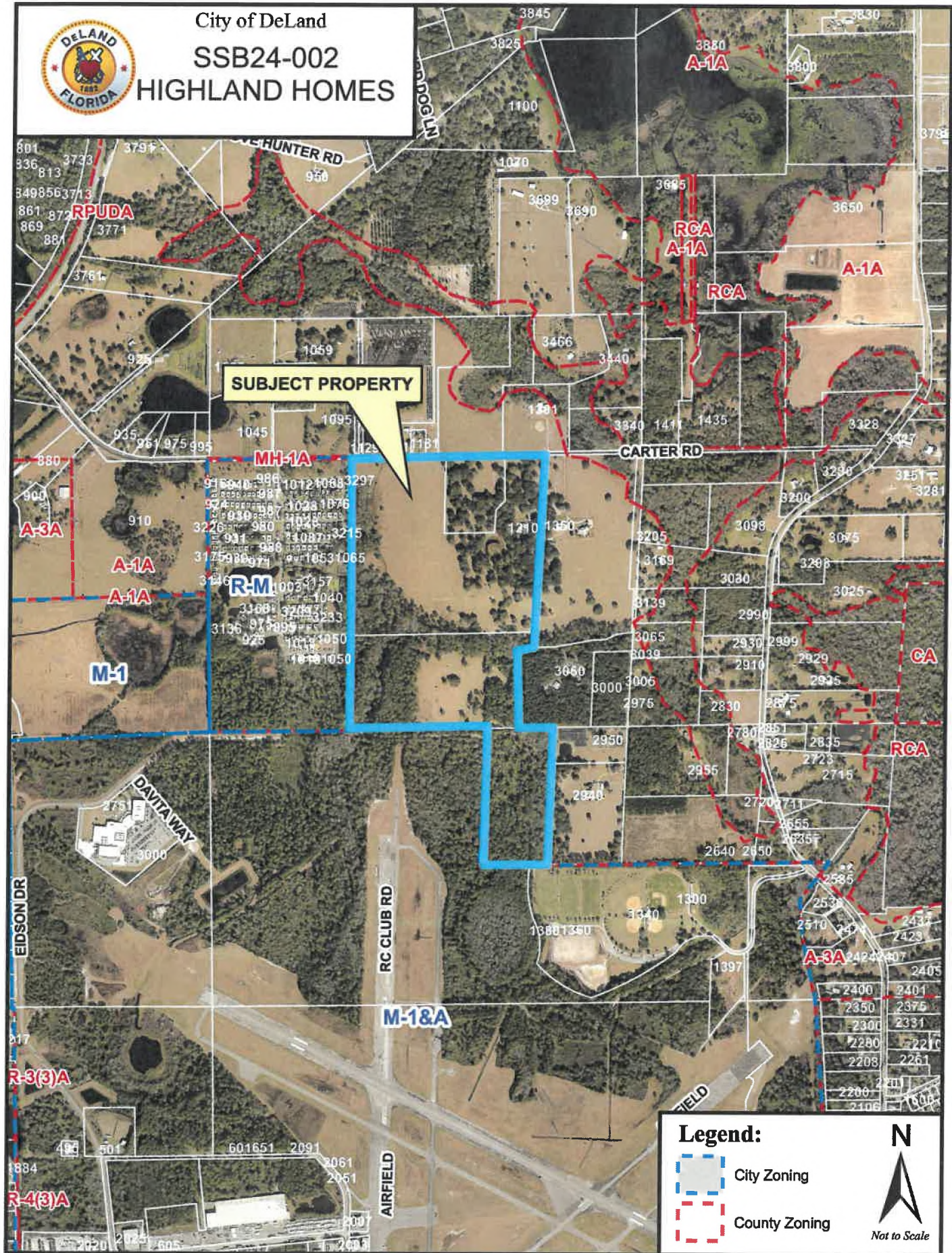
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Last comment from reviewer: The provided shrub calculation will need to match the amount shown on the site plan. Last response: 1. The western property buffer width was revised to 15'. The buffer requires 3.6 canopy trees, 1.2 understory trees, and 12.0 shrubs per 100 LF. The access drive and existing building widths were subtracted from the total LF, a dimension of 65 LF has been noted on sheet L1.0. 2. The ingress/egress dimensions to be included on sheet C2.0. 3. We formally request TRC approval for a reduced western buffer based on the redevelopment standards. The required Class 'B' buffer cannot be met because the building addition and entrance hardscape will within the buffer.				
		Landscape Buffer Parking spaces and proposed stormwater area cannot encroach into the buffer area. Please show the actual number of existing trees on the site plan. It appears that the field measurements and actual measurement provided for landscape buffer do not match, please clarify. Please include actual TPA percentage.				
Planning	Not Accepted	Last comment from reviewer: The parking spaces and proposed stormwater area cannot encroach into the buffer area. Please clearly show the existing trees on the site plan. The provided buffer calculations will need to match the amount shown on the site plan. Last response: Tree protection percentages have been added to sheet L1.0. The plans have been revised so that the proposed stormwater system and existing parking does not encroach the buffer areas.	L-1.0	Phillip Mangis	Phillip Mangis	Yes
		Show Setback Distance Please update to show setback distances for the proposed building Phase I and existing vehicle use area; the minimum setback for the vehicle use area is 10ft. If the required setbacks cannot be met, please make a formal request for TRC to reduce setbacks based on redevelopment standards.				
Planning	Not Accepted	Last comment from reviewer: Will need to show the side and rear setback distances from the proposed building Phase I. Last response: The setback distances to be included on Sheet C2.0. The front setbacks for the existing and proposed buildings will be represented in the site data. The vehicle use separation will be represented in the site data.	C2.0	Phillip Mangis	Phillip Mangis	Yes

NEW BUSINESS

1

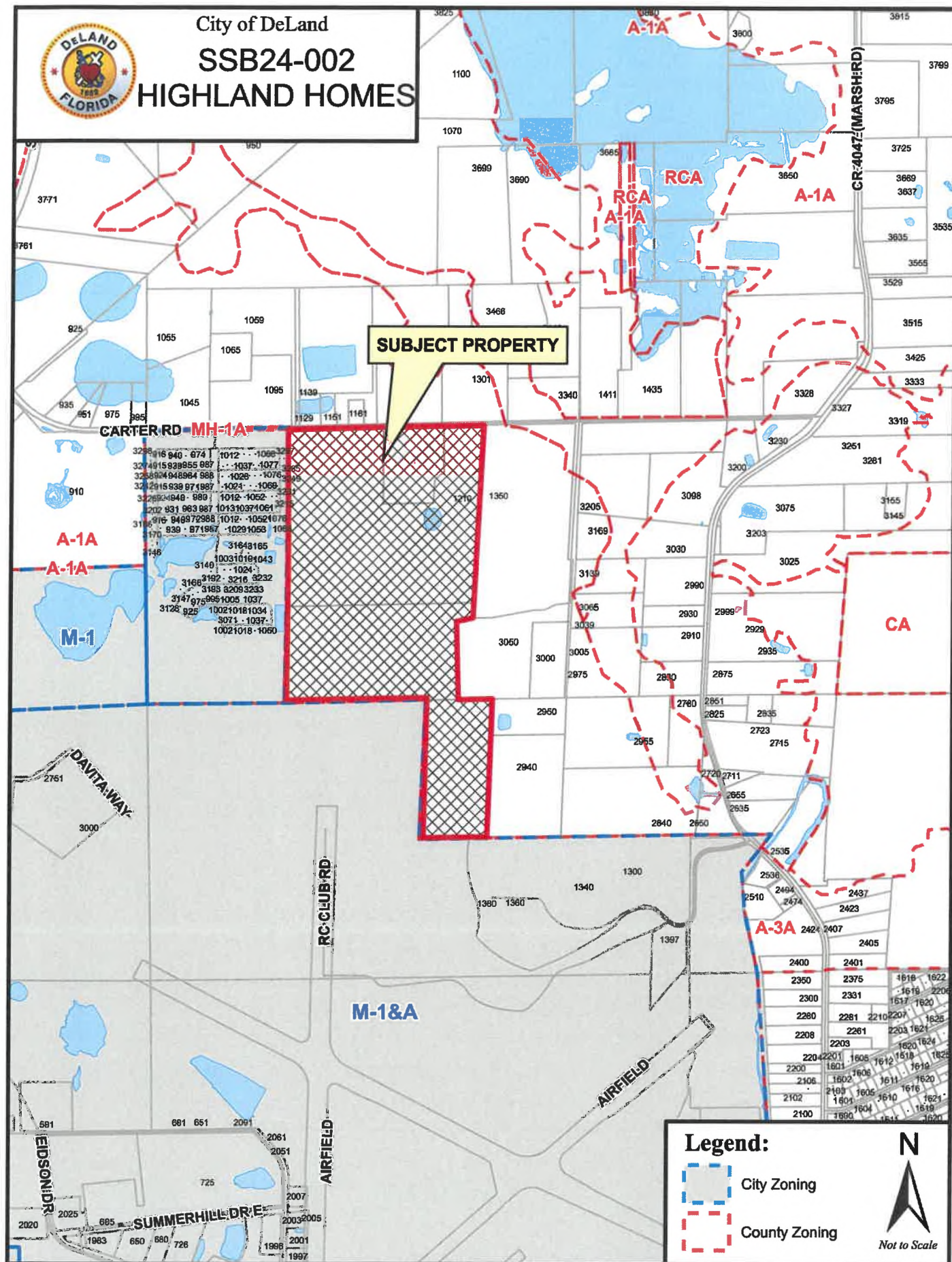


City of DeLand
SSB24-002
HIGHLAND HOMES





City of DeLand
SSB24-002
HIGHLAND HOMES



Issues for record SSB24-002**Job Address: 1210 CARTER RD, DELAND FL 32724****Job Description: Residential project (single-family & townhomes)**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Matt Fair Blvd Portions of the roadway through the sports complex are not sufficiently wide to accommodate two way traffic. Some improvements may be required to access the new proposed parking area.	Concept Plan (11-9-2023).pdf	Steven Danskine	Steven Danskine	No
Forestry	Draft	Informational Attached for your review are comments from Public Works, Forestry: 1. The following general comments are provided to assist you at the Site Plan stage: a. During future submissions, a tree survey, completed tree worksheets, and landscape plan will be required. b. At least 15 percent of the site will need to be designated as tree protection area, and a minimum of one tree per 2,500 square feet will need to remain or be planted on the site. c. Removal of trees will require at least one third diameter replacement. Removal of specimen trees will require 50% replacement of the DBH inches lost. Unhealthy specimen trees, as determined by the city forester, will be replaced at the same rate as non-specimen protected trees. d. The City's current list of specimen trees can be found in Section 33-57.05(c)1 at: ARTICLE VI. - RESOURCE PROTECTION STANDARDS Code of Ordinances DeLand, FL Municode Library Laurel Oaks (Quercus laurifolia) which are larger than 20" DBH and in deteriorated condition may be replaced by one two-inch DBH (three-inch caliper) minimum sized canopy tree from the "List of Permitted Shrubs and Trees for Landscaping and Tree Protection." An Arborist Report documenting the deteriorated trees will be required to receive reduced replacement. Removal of all other non-specimen protected trees greater than 6" DBH will require the replacement of one third of the DBH inches lost. e. Any historic tree that is proposed for removal will require a review by this office, recommendation by the City Tree Advisory Committee and approval by City Commission. The developer must demonstrate that the tree is a hazard or that it is not economically or practically feasible to develop the parcel without removing the historic tree. Historic trees are defined as Bald Cypress 20-inches or larger DBH, Live Oak 25-inches or larger DBH, and Red Cedar 25-inches or larger DBH. f. For historic trees that will be preserved, tree protection fence must be installed by the contractor and inspected by the City Forester prior to any land disturbing activity. g. Unless the applicant proposes a method of root protection which is acceptable to the City, no construction activity shall take place within an area equal to one and one-half times the area of the drip line. h. All new Class II and Class III site plans require the following statement: "Tree barricades are required around all trees which have been designated on the site plan to be retained and protected. Prior to any clearing or construction activity occurring on the	Concept Plan (11-9-2023) (2).pdf	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		site, tree barricades shall be constructed by the contractor and approved by the City." i. A Tree Barricade detail showing how remaining trees will be protected needs to be included on all Site Plans. A barrier needs to be constructed around your Tree Protection Area and at the drip line or ten feet from each tree that will remain, whichever area is larger. An example of a Tree Barricade detail can be found at: Tree Permitting DeLand, FL				
		General comments				
Planning	Draft	1. This site is located outside of the city limits and would require annexation, a land use amendment, rezoning, subdivision and site plan review. Verify if this will be a planned development and the land use designation to be requested. 2. The concept plan includes it, but the application details do not include the 10.01-acre parcel #602700000160. The project totals 134.19 acres when it is added. 3. An analysis of the traffic anticipated to be generated by this project will be required. Carter Road capacity issues, Impact fees, Proportionate fair share for road improvements are also to be considered. 4. An analysis of any Environmental issues and resources on-site – vegetation/tree protection area, wildlife, topography/wetlands. Identify all elements to be preserved. Retain natural features as much as possible. 5. Explain any connection/relationship to the Sperling Sports Complex 6. Phasing - Verify how the lots will be developed – timing wise 7. Identify any historic/specimen trees on the property 8. Explain how emergency access will be provided. 9. Low impact development should be considered everywhere possible. 10. Sidewalks should be provided throughout. 11. Verify whether or not on-street parking is to be considered. 12. Verify what the street widths will be and if the roads will be open to the public and maintained by the city. 13. Consider clustering lots around smaller common areas where possible to provide each unit with open spaces closer to the individual lots. 14. Verify if the stormwater ponds are wet or dry ponds, wet ones could serve as an amenity. A preliminary drainage report must be provided with the PD zoning submittal. 15. Verify the depth/anticipated sizes of the 3 types of lots (50, 60 and 20 foot) 16. Verify if there are alleys between the townhouse lots. An alley loaded design is preferred to avoid a predominance of garages on the front facades of the buildings. 17. Provide a more detailed narrative of the thought process for this development, describe the amenities to be offered and include a detailed description of the project's conformance to the PD standards. 18. Provide a map showing the no-fly zone for the airport and its proximity to this site.		Belinda Collins	Belinda Collins	Yes
Utilities	Draft	Information 1. Would require a Utility Service Agreement. 2. A lift station and force main would be required for sewer connection on the North Access Airport Rd.	Concept Plan (11-9-2023).pdf	Jim Ailes	Jim Ailes	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		3. A 12" reclaim line is available for use along southern edge of project. 4. A 12" water line is available on Carter Rd.				

Conditions and notes for record SSB24-002
Job Address: 1210 CARTER RD, DELAND FL 32724
Job Description: Residential project (single-family & townhomes)

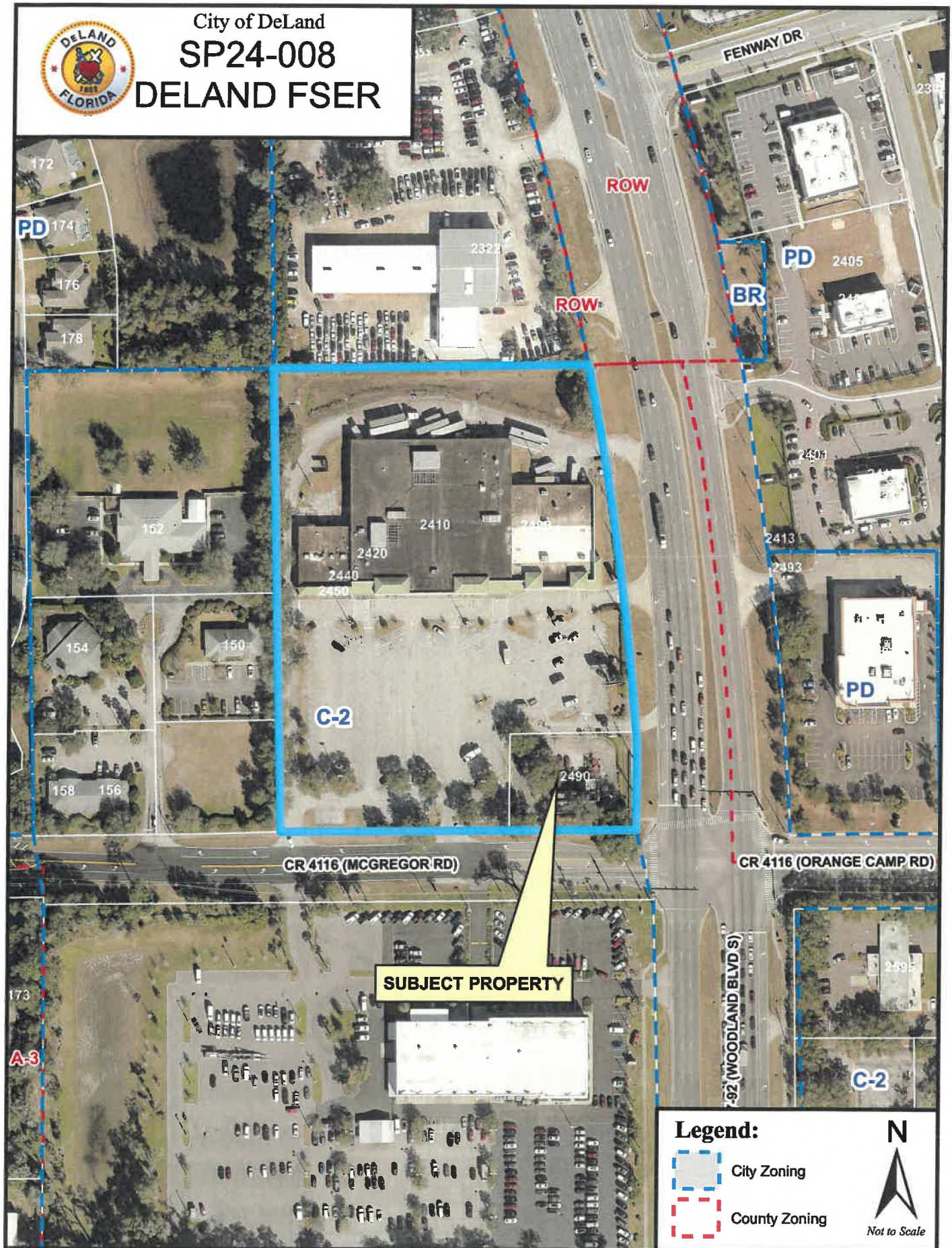
Discipline	Status	Type	Details	Attached To	Created By
Fire	Draft	Note	Comments Comments will be made during site plan review.		Jamie Lunsford

NEW BUSINESS

2



City of DeLand
SP24-008
DELAND FSR



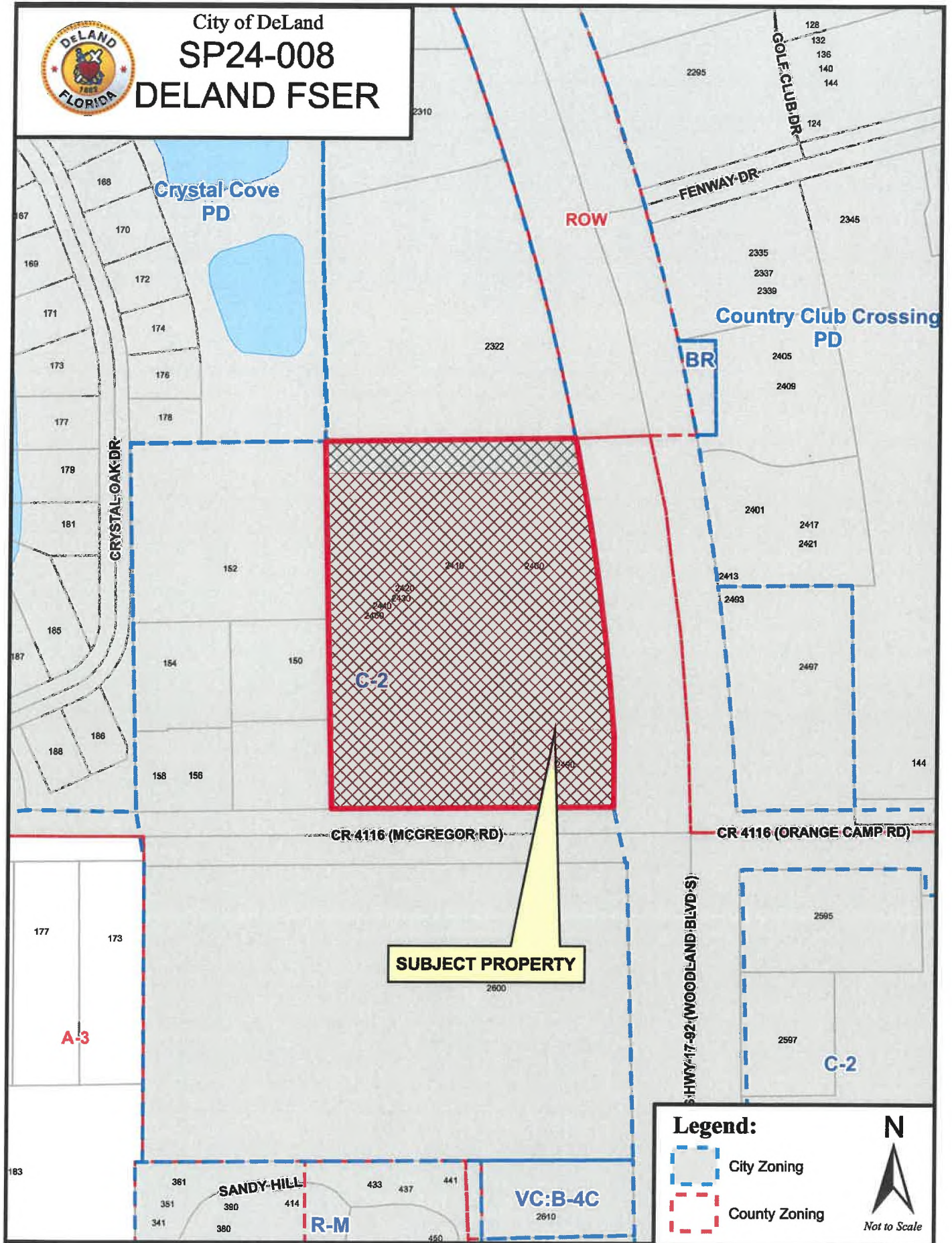
Legend:

- City Zoning
- County Zoning





City of DeLand
SP24-008
DELAND FSR



Issues for record SP24-008**Job Address: 2490 S WOODLAND BLVD, DELAND FL 32720****Job Description: The proposed project entails a 10,860 SF FSER, with all associated vehicular parking, driving aisles and utilities.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Invert Elevations The invert elevations between structures D3, D2 and D1 do not run downhill.	C6.0	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Agency Permits Please provide FDOT, Volusia County and FDEP permits prior to construction.	C0.0	Steven Danskine	Steven Danskine	No
Engineering	Draft	SJRWMD Response Letter Please provide the City with a copy of SJRWMD determination.	2024-01-17_Drainage Design Letter Modification.pdf	Steven Danskine	Steven Danskine	No
Fire	Draft	Fire Flow Provide a fire flow analysis for the location. Additional fire hydrant likely needed on SW side of the building. (see circled area)	C7.0	Jamie Lunsford	Jamie Lunsford	Yes
Fire	Draft	Fire Hydrant Relocate the fire hydrant closer to the FDC so that if connection to the hydrant is needed flow of traffic will not be blocked.	C7.0	Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	Detail 7 Trees with a caliper of less than 3" would not receive replacement credit. If you plan to update the specs to min 3" caliper, this detail would not be needed.	L1.2	Kit Dennis	Kit Dennis	No
Forestry	Draft	Additional Note Add a note stating that any substitutions of plant material, or relocating of planting locations, must be approved by the City Forester.	L1.1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Landscape Notes Note 7. - Add "and City Forester" to the end of the note.	L1.1	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Note 19. - Tree protection means shall be approved by the City Forester.				
		Plant Schedule				
		The trees specified in your plant schedule will require the following changes in order to meet Grade 1 standards:				
Forestry	Draft	AR - 8' HT, 4' SPR, 45 Gallon Container or 32" Root Ball MG - 10' HT, 6' SPR QVC - 8' HT, 4' SPR, 45 Gallon Container or 32" Root Ball SP - Specify the CT HT TD1 - 3" Caliper minimum if you want to receive credit for planting these. 2' SPR, 45 Gallon Container or 32" Root Ball LIM - 3.5' SPR, 45 Gallon Container LI - 8' HT LN - 3" Caliper minimum if you want to receive credit for planting these. 8' HT, 45 Gallon Container	L1.1	Kit Dennis	Kit Dennis	Yes
		Tree Mitigation Calculation Table				
Forestry	Draft	If the mentioned corrections are made to your Plant Schedule, your plan would provide 190" DBH replacement.	L1.0	Kit Dennis	Kit Dennis	Yes
		Tree Barricades Needed				
Forestry	Draft	The trees on the south side of the site need to be protected with a tree barricade. All trees within the area that construction activities will be occurring also need to be protected. Please indicate the limits of the project area, and show tree barricades around all the trees within, or bordering the area. Please show this on sheets C3.0-C7.0.	C4.0	Kit Dennis	Kit Dennis	Yes
		Tree Protection & Barricade Elevation Detail				
Forestry	Draft	Replace "Tree Protection & Barricade Elevation" detail with the latest version of the City's Tree Barricade Detail. It can be found on the City's website.	C3.1	Kit Dennis	Kit Dennis	Yes
		Project Area				
Forestry	Draft	Indicate the limits of the work area. All trees within the area, or bordering the area need to be protected with a tree barricade.	C3.0	Kit Dennis	Kit Dennis	Yes
		Tree Protection Notes 6.				
Forestry	Draft	Add something to this note that states absolutely no equipment or materials can be placed within the tree barricaded areas.	C2.0	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Tree Protection Notes 4. Add something to the note that states no grading or excavation can occur within the areas protected by tree barricades.	C2.0	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Tree Protection Areas At 297,079 sqft, the site requires 44,562 sqft of Tree Protection Area. Show the TPA in the plans with the dimensions of the area.		Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Tree Survey A tree survey for the entire site is needed. The survey should list trees by species and show their DBH. Indicate which trees are to be retained and which will be removed. I cannot determine if the site will meet minimum coverage requirements until the survey has been received.		Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Minimum Coverage Requirements (Informational) The site is shown as 297,079 sqft. The minimum coverage requirements would be 119 trees, 714" DBH, 44,562 sqft of Tree Protection Area.		Kit Dennis	Kit Dennis	No
Planning	Draft	Traffic Impact Please remove the trip generation table from the cover and provide a signed and sealed traffic impact memo from an engineer. The memo will need to reflect the current uses, which do not include a supermarket, as well as all anticipated future retail or commercial uses for the existing structure.	C0.0	Phillip Mangis	Phillip Mangis	Yes
Planning	Draft	Community Design Standards Please provide a photometric plan, per Section 33-94.02(c)(2) showing all exterior lighting schemes and designs, of the entire site. No more than 0.5-foot candles are permitted at the property line. Building mass shall be varied by height and width so it appears to be divided into distinct massing elements and architectural details can be viewed from a pedestrian view point. Please verify that the proposed architecture meets the community design standards. For each of the elevations, please provide the dimensions and indicate how the building complies with the uninterrupted façade requirements. For structures with 75 or less linear feet of building ground floor frontage, fronting on or visible from the public right-of-way, no uninterrupted horizontal length or uninterrupted curve of the building facade shall exceed 35 linear feet, except for architectural facades, which may be allowed to have an uninterrupted length of 60 linear feet. For structures with greater than 75 but less than 200 linear feet of building ground floor frontage, fronting on or visible from the public right-of-way, no uninterrupted horizontal length or uninterrupted curve of the building facade shall exceed 100 linear feet, except for architectural facades, which may be	C0.0	Phillip Mangis	Phillip Mangis	Yes

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		allowed to have an uninterrupted length of 120 linear feet. Please provide dimensions for each of the projections and recesses to demonstrate consistency with the Community Design Standards (Projections and recesses from uninterrupted facade lengths shall be architectural features and have a minimum depth of three feet. A minimum of 25 percent of the uninterrupted facade lengths shall be of varied length.) Buildings shall have consistent window expression visible from the street. A punched window expression is encouraged. Windows (real or false) shall be placed along at least 30 percent of any facade length that is visible from a public right-of-way. Windows shall be recessed or shall project at least one-half inch and shall include prominent sills, shutters, cementitious material reliefs or other such forms of framing. The elevations do not appear to meet this standard. Please verify that this standard has been met and provide additional windows where needed. Please provide manufactures' colors and materials for all of the building elevations.				
		Additional Information				
Planning	Draft	Please show location of all rooftop mechanical equipment as dashed lines behind a screen wall. Identify any additional mechanical on the site and include all screening materials. For better clarity, please provide a minimum scale of 1" = 20'.	C0.0	Phillip Mangis	Phillip Mangis	Yes
		Drainage and Utility layout				
Planning	Draft	The drainage and utility layout do not need to be shown on the site layout plan. Please remove.	L1.0	Phillip Mangis	Phillip Mangis	Yes
		Landscape Buffers				
Planning	Draft	Please label and dimension all landscape buffers and their widths to show how they were calculated.	L1.0	Phillip Mangis	Phillip Mangis	Yes
		Project Area				
Planning	Draft	Please provide a clear outline of the project area, shown in linear feet and square footage of the area.	L1.0	Phillip Mangis	Phillip Mangis	Yes
		Singage				
Planning	Draft	Please add a note stating that all signage is shown for illustrative purposes only; a separate sign permit is required. The property is located within the Redevelopment Gateway Corridor. Please see section 33-36.04 for standard ground and building sign requirements.	C5.0	Phillip Mangis	Phillip Mangis	Yes

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Planning	Draft	Parking Please indicate the number of parking spaces in specific areas.	C5.0	Phillip Mangis	Phillip Mangis	Yes
Planning	Draft	Drainage and Utility Layout The drainage and utility layout do not need to be shown on the site layout plan. Please remove.	C5.0	Phillip Mangis	Phillip Mangis	Yes
Planning	Draft	Site Layout and Signage Keynotes Please remove all site layout and signage keynotes from this sheet.	C5.0	Phillip Mangis	Phillip Mangis	Yes
Planning	Draft	Building Footprint Label and dimension the building footprint. No building dimensions were provided.	C5.0	Phillip Mangis	Phillip Mangis	Yes
Planning	Draft	Entrances to the new Building The site layout plan does not clearly label the entrances to the new building. Please identify and label.	C5.0	Phillip Mangis	Phillip Mangis	Yes
Planning	Draft	Property Lines It is unclear where the property lines are located. Please show all property lines as solid, bold lines throughout the construction plans. The dimensions of all features on the site must be indicated such as building dimensions, building setbacks measured from the property line, all driveway widths, sidewalk and street widths. All proposed improvements must be tied to the property lines.	C5.0	Phillip Mangis	Phillip Mangis	Yes
Planning	Draft	Ground Sign Location Ground signs must be located a minimum of 5' from the right of way and maintain a clear visibility triangle from intersecting corners. Please note, all signage must comply with the City's sign code regulations; additional monument signs may not meet the signage requirements.	C5.0	Phillip Mangis	Phillip Mangis	Yes
Planning	Draft	Tree Protection Area Fifteen percent (15%) of the square footage of any new development shall be designated for the protection of trees. Please clearly indicate the location of the tree protection areas on the site plan and provide a calculation of the area.	C4.0	Phillip Mangis	Phillip Mangis	Yes
Planning	Draft	Buffers Please label and dimension the buffers on the site plan.	C4.0	Phillip Mangis	Phillip Mangis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Site Plan Please provide a full-sized site plan for the project area. The small inset plan is difficult to read.	C4.0	Phillip Mangis	Phillip Mangis	Yes
Planning	Draft	Land Use Data The plans indicate that the total impervious surface area is 71.5%. However, the Highway Commercial future land use only permits 70% impervious surface. Please revise the plans to comply with the maximum impervious area and provide a pre-and post-development impervious area. Please provide a breakdown of the impervious calculations (sidewalks, pavement, roadway, buildings).	C0.0	Phillip Mangis	Phillip Mangis	Yes
Planning	Draft	Building Data The square footage of the existing building is inconsistent throughout the provided documents. The square footage of the existing building on the survey shows 61,993 sq. ft., however, on C0.0 the Parking Calculation has the building size as 57,668 sq. ft., and under Building Data, the building size is shown as 58,648 sq. ft. Please update all affected sheets. The proposed building height of 22'8" does not match the height measurement on the elevations sheet A200 of 30'. The proposed parking calculation will need to be updated to show a breakdown of what is existing and what is new, for each building.	C0.0	Phillip Mangis	Phillip Mangis	Yes
Planning	Draft	Statement of Intended Use and Development Activities Please provide a statement of intended use and development activities.	C0.0	Phillip Mangis	Phillip Mangis	Yes
Planning	Draft	Lot Consolidation All comments are based on the applicant's statement that the two lots will be combined. Prior to resubmitting the site plan, please submit a complete application for a lot consolidation to combine the two existing lots.	C0.0	Phillip Mangis	Phillip Mangis	Yes
Utilities	Draft	POC Cannot use potable water for irrigation.	L2.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Utility Details Need to show and use latest version of utility details dated 11/7/2023 on all sheets.	C9.0	Jim Ailes	Jim Ailes	Yes

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Utilities	Draft	sewer demo Needs to be properly moved and capped till new manhole is installed. Mark stub out with a board.	C4.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Water Demo Needs capped at property line and marked with a board for construction	C4.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	USA A Utility Service Agreement will be required for this project.	C7.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Irrigation Irrigation only meter not allowed on domestic water connection. Will need to connect to 12" reclaim line.	C7.0	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Water Why have 2- 2" water lines with meters to the building?	C7.0	Jim Ailes	Jim Ailes	Yes