



Technical Review Committee Agenda

CITY OF DELAND
THURSDAY JANUARY 18, 2024 AT 1:30 P.M.
CITY OF DELAND TRC MEETING ROOM
DELAND, FLORIDA

A. CALL TO ORDER

B. ROLL CALL

C. OLD BUSINESS

1. Review of December 21, 2023 TRC Meeting Minutes
2. **Applicant Name:** Mark Watts – Cobb Cole
Project Name: Z23-250 – PD Rezoning for Summit Place Planned Development
Project Location: 66.46 acres located on Summit Ave west of I-4
Description: PD Amendment

Emily

D. NEW BUSINESS

1. **Applicant Name:** Derek Ramsburg – Kimley-Horn
Project Name: SP23-206 – Class II Site Plan for DeLand Hangar
Project Location: 3.08 acres located at 1991 Industrial Dr
Description: 14,600 SF Hanger
2. **Applicant Name:** Steven Darby – Darby Engineering Inc
Project Name: SP23-253 – Class II Site Plan for Admore
Project Location: 0.342 acres located at 1650 Old NDB Rd
Description: 4,200 SF Hanger
3. **Applicant Name:** Andrea Schweizer – SMA Healthcare Inc
Project Name: SP23-262 – Class II Site Plan for SMA Healthcare
Project Location: 1.25 acres located at 1251 N Stone St
Description: 2 Story Medical Building 20,625 SF
4. **Applicant Name:** A. Joey Posey, Jr. – Storch Law Firm
Project Name: Z23-259 – PD Rezoning for Gateway East
Project Location: 65 acres located at E New York and Summit Ave
Description: Planned Development Amendment

Belinda

Belinda

Sam

Emily

5. **Applicant Name:** Zakia Elamine – Faith Construction of Central FL **Kendall**
Project Name: SP23-269 – Class II Site Plan for Florida Ave Apts
Project Location 0.532 acres located at 216 S Florida Ave
Description: 7 Townhomes
6. **Applicant Name:** Martin Mitchell – CPH Corp **Phil**
Project Name: SP23-271 – Class II Site Plan for African American Museum of the Arts
Project Location 0.66 acres located at 325 S Clara Ave
Description: 3,490 SF addition

E. OTHER BUSINESS

F. ADJOURNMENT

OLD BUSINESS

1



CITY OF DELAND
TECHNICAL REVIEW COMMITTEE MEETING
MEETING MINUTES
THURSDAY, DECEMBER 21, 2023 - 1:30 P.M.
CITY HALL

OPENING OF MEETING:

Call to Order:

1:34 pm

Members Present:

Carol Kuhn, Chairperson

Kendall Story

Debi Glick

Sam Nelson

Kristian Logan

Emily Ragusa

Mariellen Calabro

Kit Dennis

Jamie Lunsford

Ray Bahrami

Steve Danskine

Jim Ailes

Scott Zender

Staff Present:

Bill Lawton, Deputy Building Official

OLD BUSINESS:

1. Review of November 16, 2023 TRC Meeting Minutes

Kit Dennis moved to approve the minutes as presented,

Ray Bahrami seconded the motion.

The TRC Committee voted unanimously in favor of motion.

NEW BUSINESS:

1. **Applicant Name:** Nicole Martin – Madden Moorhead & Stokes **Phil**
Project Name: SP23-237 – Class II Site Plan for Beresford Woods
Project Location: 0.27 acres located at 1095 Happy Forest Loop
Project Description: Model Home

Applicants Present:
None.

The applicant will address the comments and resubmit.

*Ray Bahrami moved to conditionally approved the application,
Jim Ailes seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

2. **Applicant Name:** Bill Merckel – Merkel Development LLC Phil
 Project Name: MS23-242 – Minor Subdivision for N McDonald Ave
 Project Location 0.60 acres located at the NE corner of N McDonald and Arizona Ave
 Project Description: 2 single family lots

Applicants Present:
None.

The applicant will address the comments and resubmit.

*Jim Ailes moved to conditionally approve the application,
Jamie Lunsford seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

3. **Applicant Name:** Alex Magliacane, P.E. Sam
 Project Name: SP23-248 – Class II Site Plan for Roseborough Travel
 Project Location 0.5 acres located at 610 E New York Ave
 Project Description: New parking area and associated stormwater

Applicants Present:
Alex Magliacane - Engineer
Amanda Vallone – Owner

The applicant will address comments as discussed at the meeting and resubmit.

*Mariellen Calabro moved to conditionally approve the application with the following additional conditions, reduce south buffer from 20' to 10', reduce required TPA width from 30' to 10', if 24" oak on the south property line is historic one and half times the dripline must be shown on plan as a no disturbance area,
Ray Bahrami seconded the motion.
The TRC Committee voted unanimously in favor of motion*

4. **Applicant Name:** Mark Watts – Cobb Cole Emily
 Project Name: Z23-250 – PD Rezoning for Summit Place Planned Development
 Project Location 66.46 acres located on Summit Ave west of I-4
 Project Description: PD Amendment

Applicants Present:

Danalee Petyk – Cobb Cole
Nika Hosseini – Cobb Cole
Joey Posey - Storch Law Firm

The applicant will address comments as discussed at the meeting and resubmit.

*Jim Ailes moved to continue the application to the next TRC Meeting,
Steve Danskine seconded the motion.
The TRC Committee voted unanimously in favor of motion*

OTHER BUSINESS:

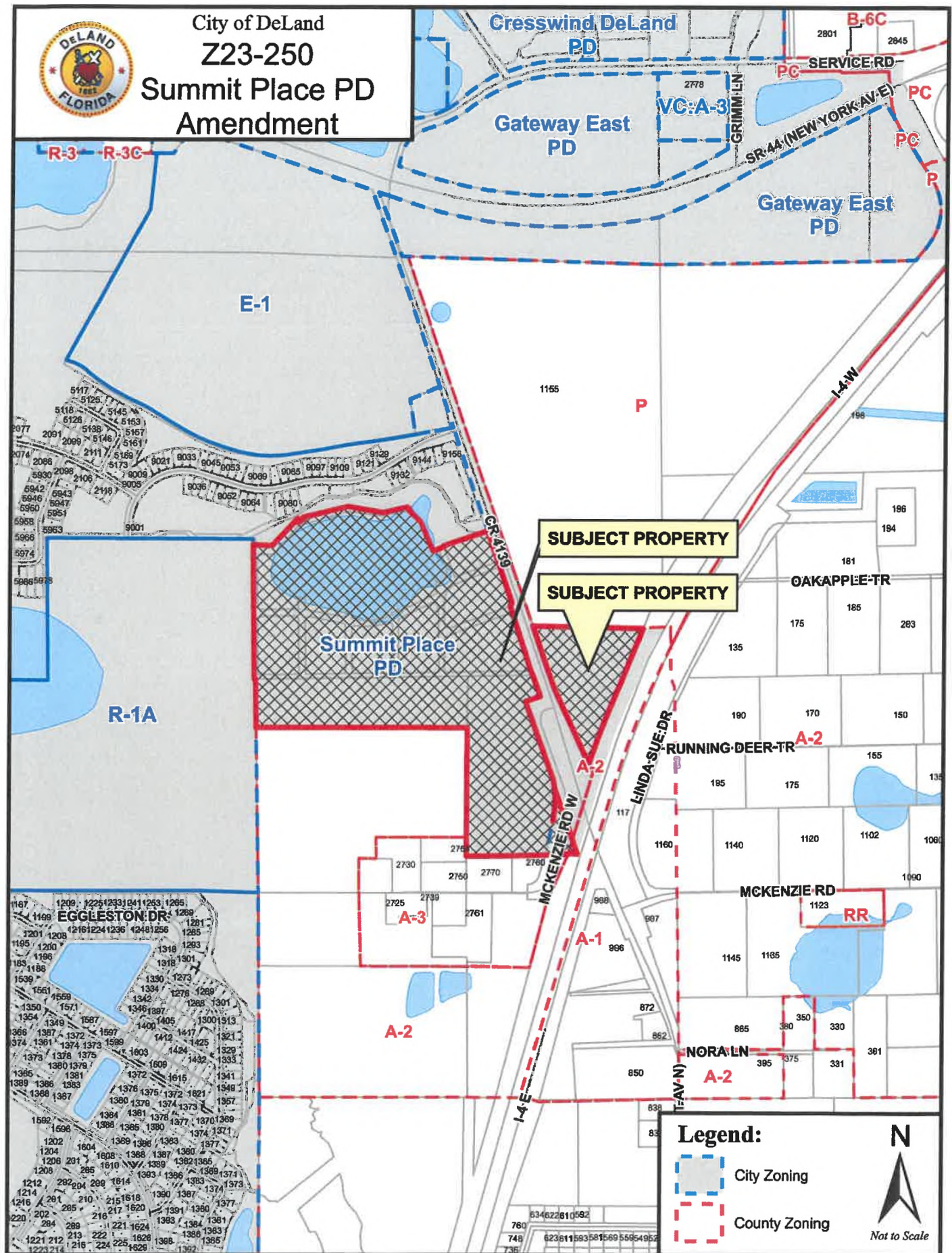
None.

ADJOURNMENT:

3:20 pm

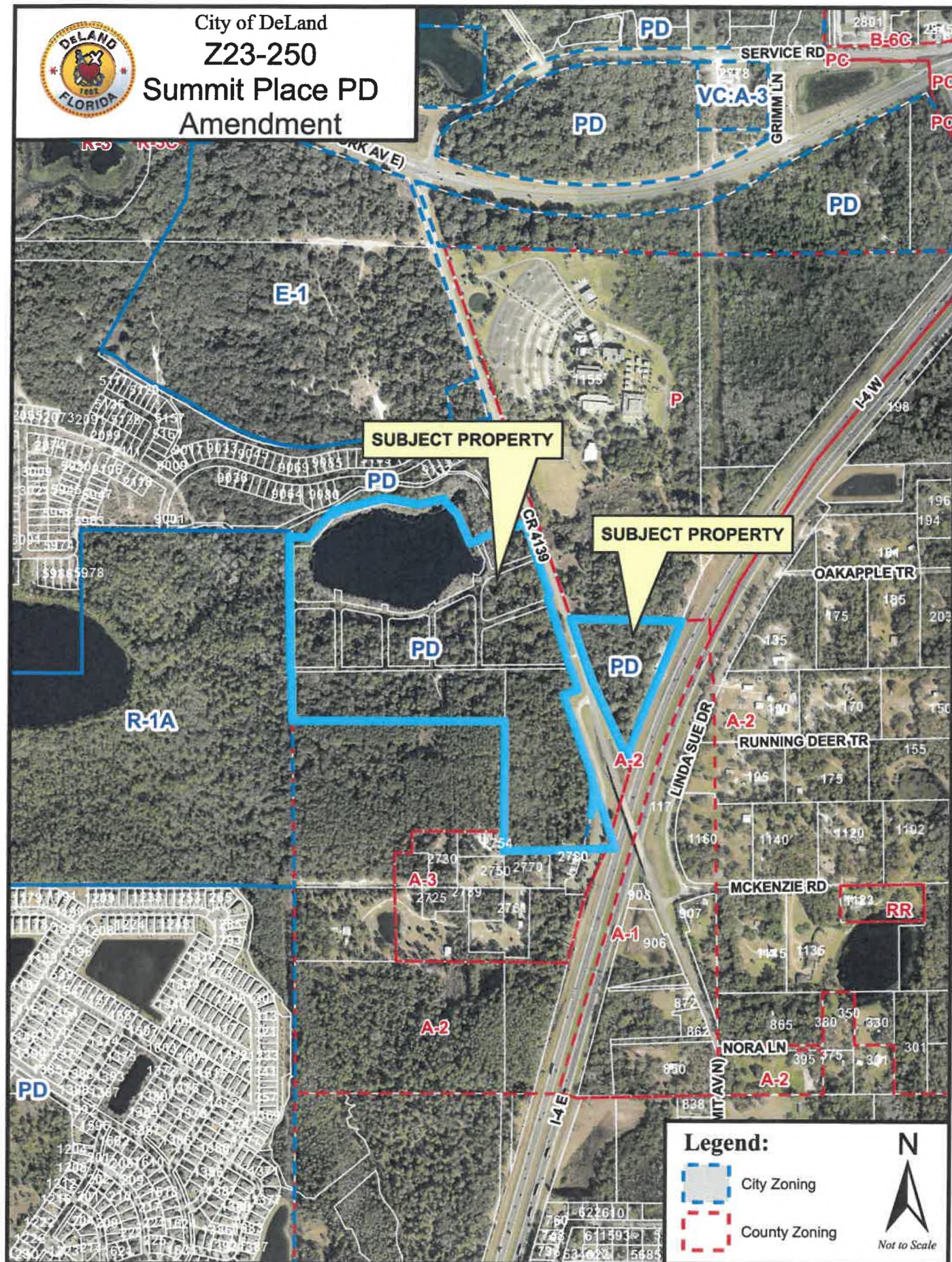
OLD BUSINESS

2





City of DeLand
Z23-250
Summit Place PD
Amendment



Issues for record Z23-250**Job Address: 0 E CR 4139, DELAND FL 32724****Job Description: To amend the Summit Place PD**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Lines 25 and 26 Please confirm with Planning that no buffer will be required along the interstate.	PD Amendment Agreement with exhibits-Summit Place PD.pdf	Mariellen Calabro	Mariellen Calabro	Yes
Revisions required						
Planning	Draft	The following comments and page number correlate to the PD Amendment Agreement - Summit Place PD - clean version 12.28.23.doc 1. Page 5 – Add additional language to the Development Concept section to state that the two Planned Developments (Gateway East & Summit Place) have been severed. 2. Page 5 – Add additional language to the Development Concept section to introduce the new PD name “First amended and restated Summit PD” 3. Page 11 – Recent Planned Developments (PD) have reduced the guest parking requirement from 0.5 spaces per unit to 0.25 spaces per unit. Please revise if this is a desired reduction for this PD. 4. Page 11 (line 6) & 13 (line 8) – It states the max building coverage is 85%, but then on page 13 it states the impervious surface shall not exceed 70%, these are inconsistent, revise to clarify the difference. 5. Page 14 (lines 22-23) - Add verbiage that all stormwater retention areas will be designed to meet all required governmental regulations in addition to the Land Development Regulations. 6. Page 15 - Since the two PDs (Gateway East and Summit Place) are being severed by the proposed amendments (if approved). The Traffic Impact Analysis (TIA) for each development must include all proposed uses as well as surrounding uses and developments within the Lake Winnemissett Gateway Corridor. 7. Staff encourages interconnectivity trails among internal and external uses as well as trails and connections to the Beresford Ave extension. Revise the concept plan to show these trails and connections.		Emily Ragusa	Emily Ragusa	Yes
Planning	Accepted	Revisions required An initial high-level review of the PD amendment yielded the following comments, for your reference, a copy of the City of DeLand updated Strategic Plan and Future Land Use Element (Lake Winnemissett Gateway Corridor) can be found within the attachments in the record. Staff found that significant and valuable portions of the previously-approved Summit		Emily Ragusa	Emily Ragusa	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Place PD have been removed, and staff does not support the removal of these portions. (Purpose & Intent, Transportation, Environmental, Development Standards, Tree Protection Areas, Design Requirements, Lighting, Landscaping). The name of the PD amendment will need to be changed to not be confused with previous versions (e.g. Summit Place PD first Amendment) Add new name and revision dates to the footer to clearly show the revisions progress Clarify the phasing plan. Will a phasing plan be implemented and if so, clearly outline how? The phasing plan section provided is unclear and contradictory. Create a purpose and intent section similarly to the previous approved PD. As stated in previous correspondences, the Lake Winnemissett Gateway Corridor does not support RV sales/service use. Similar uses were stated as prohibited uses in the approved PD. A full updated TIA will be required to reflect this use and ensuring the use adheres to the Lake Winnemissett Gateway Corridor and City's Strategic Plan. Previously-referenced prohibited uses are now listed as allowed uses in this amendment. Please review the Lake Winnemissett Gateway Corridor and City's strategic plan to ensure the proposed allowed uses coincide with these documents and the City's future plans. It appears the interstate buffer has been removed, a buffer along the interstate is required. Staff does not support reducing and/or removing the previously-approved PD for buffers, impervious surface area and building coverage. The Lake Winnemissett Gateway Corridor outlines the requirements for buffers and landscaping. Staff does not support removal of the overall unit count. The unit count is specifically outlined in the Lake Winnemissett Gateway Corridor, and will need to be addressed in the PD amendment. Additional architectural design standards and concept drawings which include the signage package must be included with the next submittal package. A resubmittal will need to include a redlined version of the PD amendment along with detailed/itemized project narrative outlining the proposed changes including the reason for the proposed changes. The City's Strategic Plan and Lake Winnemissett Gateway Corridor will need to be reviewed and incorporated into the new PD amendment. Please provide a revised PD amendment that adequately addresses these review comments in order for a full review of the next submittal.				

Last comment from reviewer: Staff accepts the response to comments, these issues

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		have been addressed. Additional issues found. Last response: This application for an amendment to the Summit Place PD is for the purpose of separating the Summit Place PD from the Gateway East PD. Separation of the PDs will create two distinct, standalone Planned Developments which both implement the Lake Winnemissett Gateway Corridor policies while establishing separate development standards specific to the development programs within the individual PDs. More specific to the Summit Place PD, the development program is for a 302-unit townhome development, a commercial area, and open space and tree preservation around Tatum Lake/Lake Towanda. Moreover, establishing a specific development program and entitlements for the Summit Place PD requires amending the existing Summit Place PD Development Agreement to remove permissive and vague language and create development standards. Summaries of the changes in the amendment are below: • Revised "C. Phases of Development" to add an optional phasing plan as shown in Exhibit "C" of the amended DA. • Clarified "D. Uses Allowed Within the PD" to list out the permitted uses for the residential area and the commercial area. The uses correspond with the original Summit Place PD and the R-16 and C-2 zoning classifications in the LDR. The existing prohibited uses in the Summit Place PD are not included as permitted uses in the amended DA. • Revised "E. Development Standards" to remove language already required by Section 33-94.03 of the Land Development Regulations and to create specific site and building standards for the proposed development. These revised standards include adding lot and setback dimensional requirements, adding requirements for Florida-Friendly landscaping and low impact development design, adding minimum landscape buffers, establishing a maximum impervious surface area, requiring dark sky lighting, and creating sign standards. • Revised "Tree Protection Areas" under "F. Environmental" to specify 15% of the overall site will be dedicated as tree protection and to remove the language allowing "shifting" of open space and tree preservation between the Summit Place PD and the Gateway East PD. • Revised "I. Access and Transportation System Improvements" to remove vague language and conditions already required by the Comprehensive Plan and to specify a Traffic Impact Analysis will be provided with this PD amendment. ----- PLANNING COMMENTS: Emily Ragusa 1. An initial high-level review of the PD amendment yielded the following comments, for your reference, a copy of the City of Deland updated Strategic Plan and Future Land Use Element (Lake Winnemissett Gateway Corridor) can be found within the attachments in the record.				

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Response: Noted. 2. Staff found that significant and valuable portions of the previously-approved Summit Place PD have been removed, and staff does not support the removal of these portions. (Purpose & Intent, Transportation, Environmental, Development Standards, Tree Protection Areas, Design Requirements, Lighting, Landscaping). Response: This is inaccurate. Please see below notes on each portion noted in the comment above. o Purpose & Intent This has been reinstated. o Transportation "Access and Transportation System Improvements" section has been revised to state a new TIA will be provided. The existing PD language repeated the requirements of the Comprehensive Plan and are no longer applicable due to the new TIA being prepared. The Summit Place traffic methodology was recently approved by Volusia County. The City had no comments and deferred to the County. The base parameters have been agreed to for the full study. As such, any additional commercial land uses will provided for in the full TIA. o Environmental The environmental section is in the amended PD (Section F(1) through F(4)) and has been slightly updated to include additional standards within this updated redline version. o Development Standards Additional "Development Standards" have been provided to establish lot standards such as setbacks and maximum building coverages. The existing PD restated existing applicable LDR standards and are superfluous in a Development Agreement. More specifically, the code sections restated in the existing PD are as follows: E(1): Topography - Section 33-94.03(a)(2) E(2): Building design and scale - Section 33-94.03(b)(4) E(3): Rooflines - Section 33-94.03(f) E(4): Building spacing - Section 33-94.03(a)(5) E(5): Architectural styles - Section 33-94.04(a)(6)* E(6): Mech equipment - Section 33-94.03(a)(4) E(7): Lighting - Section 33-94.03(g)(9) E(8): Fences - Section 33-94.03(h)(1) E(9): Accessory structures - Section 33-94.03(i)(1) These were removed as the entirety of Section 33-94.03 already applies to any developments within the PD and a partial listing of standard design requirements from the code is confusing and unnecessary. *this code section is from the historic district requirements and is not applicable to the proposed development program o Tree Protection Areas "Tree Protection Areas" section has been revised to state the 15% tree preservation area				

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		will be provided. The existing PD language is no longer needed as the required tree preservation area and open space are being provided and will not be "shifted" between the PDs. o Design Requirements The existing PD does not have a section for "Design Requirements". o Lighting See response under "Development Standards." o Landscaping The existing PD does not have any specific landscape requirements and only refers back to the LDR. The proposed amendment provides landscape standards. 3. The name of the PD amendment will need to be changed to not be confused with previous versions (e.g. Summit Place PD first Amendment). Response: The name has been revised to "First Amended and Restated Summit Place PD." 4. Add new name and revision dates to the footer to clearly show the revisions progress. Response: Noted. Thank you. Please see updated footer. 5. Clarify the phasing plan. Will a phasing plan be implemented and if so, clearly outline how? The phasing plan section provided is unclear and contradictive. Response: The first sentence under Section C has been deleted to clarify a phasing plan will be provided. There is a phasing plan being provided under Exhibit "C" which shows two phases of development; the remainder of the language allows flexibility in phasing so it can be modified at the time of site or subdivision plan and does not require a major amendment to the PD. 6. Create a purpose and intent section similarly to the previous approved PD. Response: The previous purpose and intent section from the original PD has been reinstated. 7. As stated in previous correspondences, the Lake Winnemissett Gateway Corridor does not support RV sales/service use. Similar uses were stated as prohibited uses in the approved PD. A full updated TIA will be required to reflect this use and ensuring the use adheres to the Lake Winnemissett Gateway Corridor and City's Strategic Plan. Response: RV sales and services has been removed as a permitted use. 8. Previously-referenced prohibited uses are now listed as allowed uses in this amendment. Please review the Lake Winnemissett Gateway Corridor and City's strategic plan to ensure the proposed allowed uses coincide with these documents and the City's Mure plans. Response: None of the "prohibited uses" have been listed as allowed uses in the amendment – with the exception of RV Sales which has been removed. The list of uses corresponds with the original PD and the permitted uses in the R-16 and C-2 zoning classifications. The uses provided generally correspond with the "suggested land uses" in the LWGC policies.				

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		9. It appears the interstate buffer has been removed, a buffer along the interstate is required. Response: Based on discussion at TRC, we have updated the buffer along the interstate to provide 15 feet of buffer, Type B. This allows for an appropriate buffer while not severely restricting the ability to develop the parcel based on its shape and width. 10. Staff does not support reducing and/or removing the previously-approved PD for buffers, impervious surface area and building coverage. The Lake Winnemissett Gateway Corridor outlines the requirements for buffers and landscaping. Response: The previous PD did not have specific requirements for buffers, impervious surface area, or building coverage at all. Further, the LWGC policies do not specify any requirements for buffers and landscaping. This amendment provides specific building coverage limits, landscaping requirements, and minimum buffer requirements that provide clarity as to development standards unlike the original PD that failed to refer back to the Code or note any sort of development standards. 11. Staff does not support removal of the overall unit count. The unit count is specifically outlined in the Lake Winnemissett Gateway Corridor, and will need to be addressed in the PD amendment. Response: Per discussion at TRC, staff agrees that the overall unit count should NOT be included in this agreement. It is noted that when combined with the units for the revised Gateway East PD, the unit count will not exceed the 480 unit limit of the Comprehensive Plan. 12. Additional architectural design standards and concept drawings which include the signage package must be included with the next submittal package. Response: The development will meet the requirements of the LDR's Community Design Standards and Sign requirements. Per discussion at TRC, specific language regarding signage has been added to both PDs. 13. A resubmittal will need to include a redlined version of the PD amendment along with detailed/itemized project narrative outlining the proposed changes including the reason for the proposed changes. Response: A redlined DA and a project narrative are provided with this submittal. 14. The City's Strategic Plan and Lake Winnemissett Gateway Corridor will need to be reviewed and incorporated into the new PD amendment. Response: A statement that the PD will comply with the LWGC has been added to the DA. 15. Please provide a revised PD amendment that adequately addresses these review comments in order for a full review of the next submittal. Response: Noted. Thank you.				
Utilities	Accepted	Utilities Needs to extend and be required for reuse as well.	PD Amendment Agreement with exhibits-	Jim Ailes	Jim Ailes	Yes

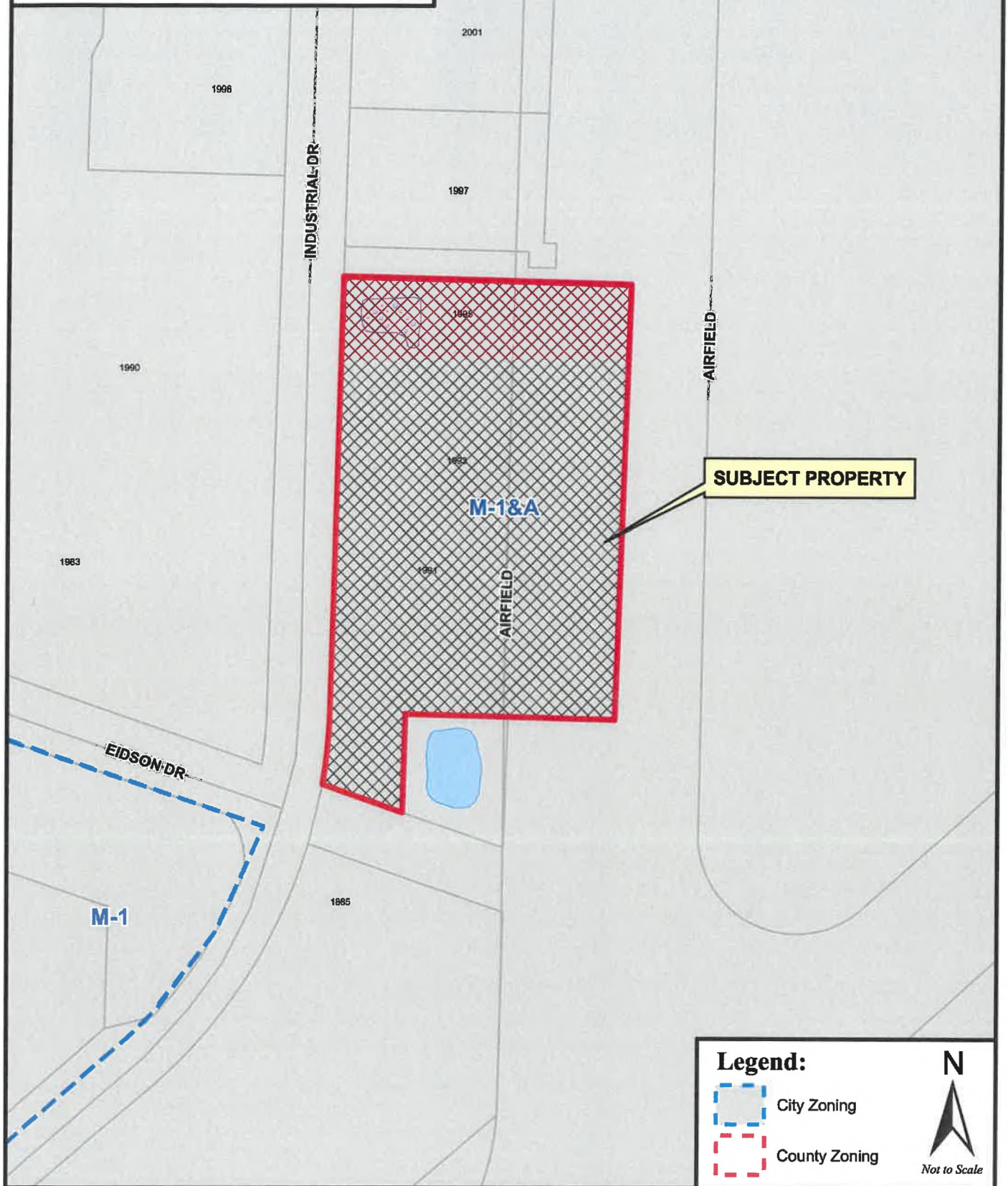
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Last response: Response: Noted. Thank you. This will be addressed with a USA in the future.	Summit Place PD.pdf			

NEW BUSINESS

1



City of DeLand
SP23-206
DELAND HANGAR





City of DeLand
SP23-206
DELAND HANGAR



SUBJECT PROPERTY

AIRFIELD

AIRFIELD

2001

1997

1995

1993

1991

1996

1998

1983

EIDSON DR

INDUSTRIAL DR

M-1

M-1&A

Legend:



City Zoning

County Zoning



Issues for record SP23-206**Job Address: 1991 INDUSTRIAL DR, DELAND FL 32724****Job Description: We are proposing a 14,600 sf hangar on an existing development. We are proposing to relocate the stormwater to accommodate this.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Drainage Report Concerns	DeLand Hangar - Drainage Memo.pdf	Steven Danskine	Steven Danskine	Yes
		1. Please provide a Permit Determination Exemption letter from SJRWMD. Otherwise an ERP Permit will be required. 2. For developments up to 1-acre in size, percolation of the retained volume is required within 3-days. Provide calculations demonstrating that this requirement is met, including the Kv and Kh of the existing soils on site. 3. The Stormwater Management Approach "assumed (a) water table elevation of 73'." Please substantiate this assumption with a Geotechnical evaluation of the proposed stormwater retention area. Provide either an evaluation from a Geotechnical Engineer and/or new soil borings to confirm. 4. The Existing Treatment Volume & Stage/Storage calculation apparently assumes that the volume should be calculated from elevation 72.5'. It appears that this elevation was chosen based on the pond elevation picked up on 01/10/2021 by the surveyor. As stated above, please provide geotechnical support for this assumption. 5. It is unclear how the Proposed Dry Retention Required Treatment Volume was derived. As shown in the existing conditions, it is shown that 0.16 acre-ft of storage is required,				
Engineering	Draft	Site Plan Comments	C4.0	Steven Danskine	Steven Danskine	Yes
		1. The northern leg of the proposed stormwater retention area is shown on the adjacent parcel. Provide documentation from the owner (City of DeLand) allowing this use. 2. Please provide the proposed Finished Floor Elevation (FFE) of the new hangar.				
Engineering	Draft	Demolition Comments	C3.0	Steven Danskine	Steven Danskine	Yes
		1. There is an existing parking lot light pole in the middle of the parking lot almost directly inline with the proposed hangar door that is not indicated for removal. It may be difficult to maneuver airplanes around this light pole. 2. There is an existing MES and 8" PVC pipe entering the existing stormwater pond at the southern end that are called out for removal. It appears that the pipe may be connected to the roof drain of the adjacent building. It is not apparent how this connection is to be maintained or restored on Sheet C5.0 – Paving, Grading, and Drainage Plan. 3. Is the existing A/C Pad that is called for removal currently in use by the adjacent building? If so, how will the facility being served continue to be serviced?				

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Fire	Draft	Fuel Tanks 20 ft distance from structure requirement based on the size of tanks. Tank specifications may reduce distance.	C4.1	Jamie Lunsford	Jamie Lunsford	Yes
Fire	Draft	Fire Flow Provide a fire flow analysis from the closest two hydrants within 500 ft.	C6.0	Jamie Lunsford	Jamie Lunsford	Yes
Fire	Draft	FDC Provide the location of the FDC for the hanger.	C6.0	Jamie Lunsford	Jamie Lunsford	Yes
Fire	Draft	Fire Line The existing fire line on the plans is the supply for the sprinkler system at 1993 Industrial. These plans show it being removed. Please provide a separate sprinkler system for the hanger. indicate where the exiting and the new fire line will be installed and the location at which they will enter the structures.	C6.0	Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	Note G Fertilizer is not recommended unless a soil test confirms a deficiency.	L1.51	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Note D 2 a. Add "and City Forester" to the end of the note.	L1.51	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Tree Protection Fencing Detail Replace this with the latest revision of the City's Tree Barricade Detail.	L1.50	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Shrub/Groundcover Planting 10 Fertilizer is not recommended unless a soil sample confirms a deficiency.	L1.50	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Plant Schedule See comments from sheet L1.00	L1.01	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Wax Myrtle Wax myrtle is not an approved replacement tree and will not be counted towards replacement.	L1.00	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Plant Schedule (Specifications)						
Forestry	Draft	In order to meet Grade 1 standards the follow changes will need to be made to the specs. QV - 8' HT, 4' SPR, 32" or 45 GAL ROOT BALL TD - 8' HT, 2' SPR, 32" or 45 GAL ROOT BALL AF - 8' HT, 4' SPR, 32" or 45 GAL ROOT BALL	L1.00	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Note 27 Add "and City Forester" to the end of the note.	L1.00	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Note 17 This note references "Walmart specifications?"	L1.00	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Note 6 Please provide a Tree Staking Detail.	L1.00	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	F. Fertilization Fertilization is not recommended unless a soil sample confirms a deficiency.	L0.52	Kit Dennis	Kit Dennis	Yes
Tree Mitigation Specifications (Throughout)						
Forestry	Draft	1. Change all text "Tree Protection Fencing" to "Tree Barricade" to be consistent with code language. 2. Change all text "Tree Protection Zone" to "Tree Protection Area" to be consistent with code language.	L0.52	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Tree Mitigation Specifications General #11 a. - Change "Tree Protection Fencing" to "Tree Barricade" to be consistent with code language.	L0.52	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Tree Barricade Detail Update with the most recent version.	L0.52	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Deficit Payment This should be 50" deficient at \$75 per inch. The total amount should be \$3,750. If you are planning on mitigating the deficit through payment, add a note that \$3,750 will be paid to the Tree Replacement Reserve Account.	L0.51	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Site Deficient Per Minimum Tree Coverage Worksheet This should be labeled "Required Replacement Deficit." and should show a deficit of 50" based on your current plan.	L0.51	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Replacement Inches Provided Replacement inches is calculated by DBH, not caliper. Being Wax myrtle is not an approved replacement tree, your Plant Schedule provides 22" DBH replacement.	L0.51	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Tree Protection Barrier Relabel the Tree Protection Barrier, "Tree Barricade" to be consistent with code language. Also add the symbol for it to the legend.	L0.51	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Identify Oaks By Species Identify all Oaks 10" or greater by species.	L0.51	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Identify Oaks By Species Identify all Oaks 10" or greater by species.	L0.50	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Sheet List Table Add the Irrigation, Landscape, and Tree Mitigation sheets to the table.	C0.0	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Minimum Tree Coverage Worksheet This site is exempt from Tree Protection Area requirements and minimum tree requirements under 33-33.09(d) in the Municode.		Kit Dennis	Kit Dennis	No
Forestry	Draft	Tree Protection Area Worksheet This site is exempt from Tree Protection Area requirements and minimum tree requirements under 33-33.09(d) in the Municode.		Kit Dennis	Kit Dennis	No
Planning	Draft	Impervious surface The proposed impervious surface amount is 85%. The maximum permitted for M-1 zoned properties is 70%	C4.0	Belinda Collins	Belinda Collins	Yes
Planning	Draft	TPA requirement Please verify that the required tree protection area for the previous site configuration, has been met. (Sec. 33-57.07 (b) 1 – "By approval of a site plan for redevelopment sites or		Belinda Collins	Belinda Collins	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		sites within the aviation access area of the DeLand Municipal Airport, requirements for tree protection areas may be modified or waived if it is determined that it is impractical to establish a tree protection area.")				
		Parking requirement				
Planning	Draft	There is a net loss of 7 parking spaces. Parking requirements are based on the customer service area and employee needs for the use. Verify if the parking provided will adequately meet the needs of this use.		Belinda Collins	Belinda Collins	Yes
		Stormwater pond adjustment				
Planning	Draft	Provide information demonstrating that the adjacent property owner (City of DeLand) is acceptable of the adjustments made to the stormwater pond and it being located on their property. Verify if an easement agreement or other documentation will need to be prepared to memorialize the agreement.		Belinda Collins	Belinda Collins	Yes
		Traffic				
Planning	Draft	Verify if it is anticipated that there will be an increase of traffic to the site as a result of this change. Increases over a certain amount require a traffic impact analysis.	C0.0	Belinda Collins	Belinda Collins	Yes
		One inch irrigation meter				
Utilities	Draft	Does this already exist or is it proposed as new. City does not issue new irrigation only meters.	L2.00	Jim Ailes	Jim Ailes	Yes
		Portable 1				
Utilities	Draft	Lines 4" and larger must be swabbed prior to pressure testing.	C1.1	Jim Ailes	Jim Ailes	Yes
		Sanitary 1				
Utilities	Draft	Please provide thumb drive and not tape.	C1.1	Jim Ailes	Jim Ailes	Yes
		Utilities Address				
Utilities	Draft	1101 S. Amelia Ave.	C0.0	Jim Ailes	Jim Ailes	Yes
		Sewer Cleanout				
Utilities	Draft	If not already there install a sewer cleanout at right of way.	C6.0	Scott Zender	Scott Zender	Yes
		City Details				
Utilities	Draft	missing city details dated 11/7/23	C0.0	Scott Zender	Scott Zender	Yes

NEW BUSINESS

2



City of DeLand
SP23-253
ADMORE HANGAR

OLD NDB RD

R-4A

1580

1580

1670

SPORT AVIATION WAY

SUBJECT PROPERTY

M-1&A

AIRFIELD

SKYDIVE DR

Legend:



City Zoning



County Zoning





City of DeLand
SP23-253
ADMORE HANGAR

SUBJECT PROPERTY

M-1&A

Legend:



City Zoning

County Zoning



Issues for record SP23-253**Job Address: 1650 OLD NDB RD, DELAND FL 32724****Job Description: New 4200 sq.ft. airport hanger within the Deland Airport**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Group Classification						
Fire	Draft	Provide the group classification of hanger to be built. Comments may be added depending on classification.	C-3	Jamie Lunsford	Jamie Lunsford	Yes
Fire Protection						
Fire	Draft	Verify if the structure will be protected with a fire sprinkler. Plans indicate a sprinkler system, but not shown on the plans.	C-5	Jamie Lunsford	Jamie Lunsford	Yes
Live Oak and Red Bay Trees						
Forestry	Draft	We would recommend against using Live oaks and Red bay trees on the site due proximity of the site to the taxiway/runway. We recommend selecting understory trees from our list of approved species.	04	Kit Dennis	Kit Dennis	Yes
6. Tree Staking Detail						
Forestry	Draft	I believe the first line should be "Three (2") two inch lodge poles"	02	Kit Dennis	Kit Dennis	Yes
Southern Live Oak and Red-Bay						
Forestry	Draft	We would recommend against using Live oaks and Red bay trees on the site due proximity of the site to the taxiway/runway. We recommend selecting understory trees from our list of approved species.	01	Kit Dennis	Kit Dennis	Yes
Minimum Tree Coverage Requirements						
Forestry	Draft	Please add a note that states the site is exempt from minimum tree coverage and landscape requirements due to its proximity to the taxiway.	01	Kit Dennis	Kit Dennis	Yes
Tree Mitigation and Requirements						
Forestry	Draft	If there are no trees being removed for this project, please indicate that with a note on the plan. If there are trees to be removed, please provide a tree survey and a spreadsheet that includes the species and DBH for all protected trees 6" DBH or greater. Specify which trees are proposed for removal and which are being preserved.	01	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Plan Index Add the Landscape and Irrigation sheets to the Plan Index.	C-1	Kit Dennis	Kit Dennis	Yes
Planning	Draft	Elevations Include shading and identifiers on the building elevations (i.e. North elevation) to clearly clarify which elevation is which.	C-1	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Doorway There may be a potential conflict with the doorway being located adjacent to the handicapped space (unless the door opens inwardly).	C-3	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Size - parking spaces 33-91.06. Design standards for off-street parking and loading areas. (b) size 1. Parking spaces in surface parking lots shall be sized according to Figure 33-91.06(b). COMMENT: Standard parking spaces arranged at a 90-degree angle should measure 19 feet long. 6. Spaces for handicapped parking shall measure 12 feet wide by 20 feet long and shall be located adjacent to handicap access ramps. COMMENT: Adjust size of the parking spaces as required.	C-3	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Interference Sec. 33-33 3. No operations from any type shall produce electronic interference with navigation signals or radio communication between the airport and aircraft. Verify that this use does not produce any electronic interference with navigation signals or radio communication.	C-1	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Hazards Sec. 33-33 2. No operations from any type shall produce smoke, glare or other visual hazards within three statute miles of any usable runway of a public airport. Verify that this use does not create any smoke, glare or other visual hazards.	C-1	Belinda Collins	Belinda Collins	Yes

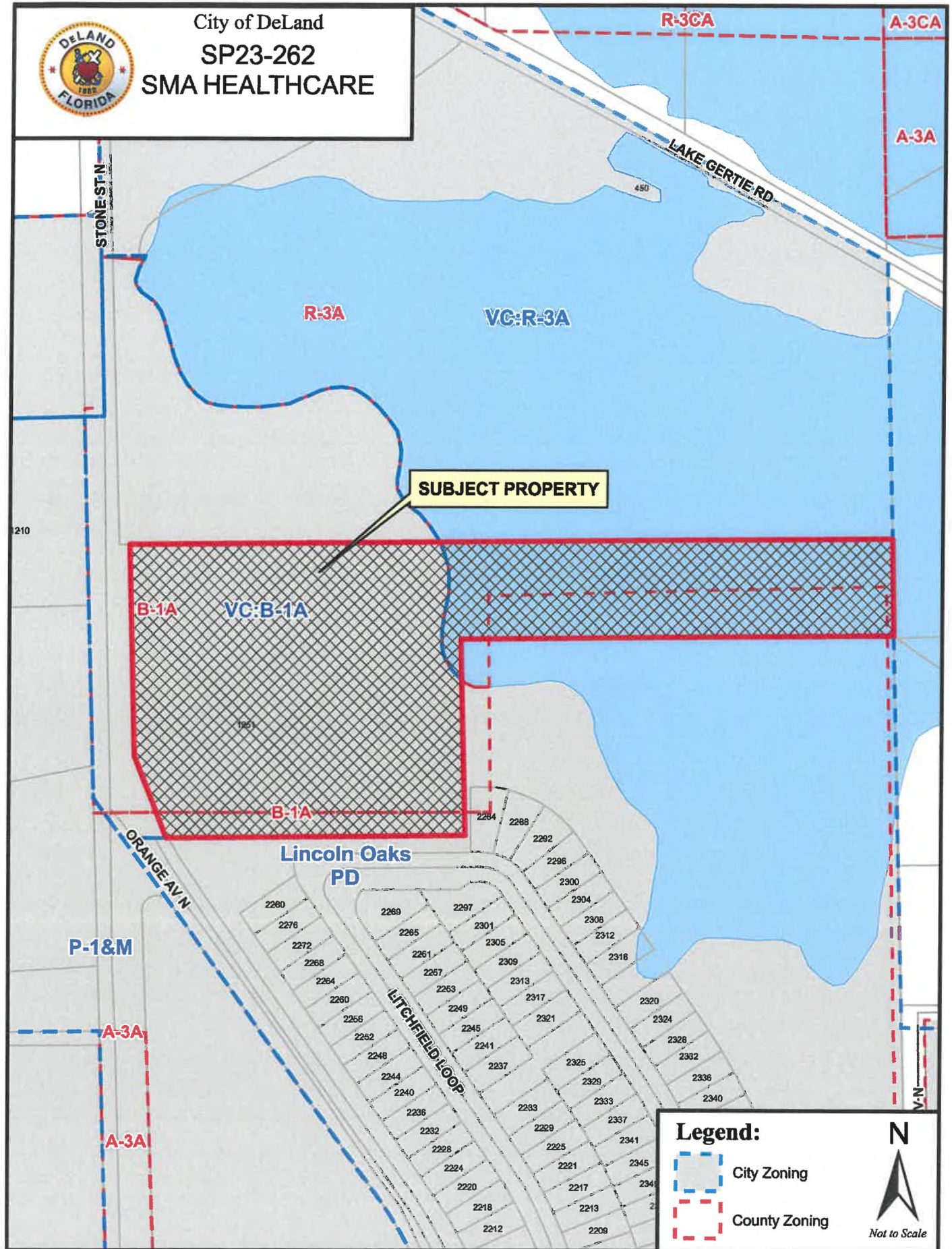
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Building/dumpster finish The dumpster detail references a "stucco finish to match building exterior". Verify the materials to be used for both structures.	D-3	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Aircraft maneuverability Verify the number of aircraft that could potentially be housed in this building and that an aircraft will be able to maneuver in and out (in light of the placement of parking and a dumpster in the paved area).	C-3	Belinda Collins	Belinda Collins	Yes
Planning	Draft	Lighting Sec. 33-33.09 (a) DeLand Municipal Airport zoning regulations 1. All lights or illumination used in conjunction with street, parking, signs or use of land and structures shall be arranged and operated in such a manner that it is not misleading or dangerous to aircraft operating from a public airport or in the vicinity thereof. 33-94.03 General Design Criteria (g) Lighting. 2. Off-site areas shall be shielded from offensive or excessive illumination. Illumination from any light source onto adjacent properties or into the public right-of-way shall not exceed 0.5 foot-candles. COMMENT: Verify that the lighting proposed would not interfere with operation of any aircraft and that the foot-candle limitations have been met.	PH-1	Belinda Collins	Belinda Collins	Yes
Utilities	Draft	Clearance Please confirm that wings will clear backflows and hydrants on the property or transition to taxiway.	C-5	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Modify Change address to 1101 S. Amelia Ave. 386-626-7252	C-1	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	City Details Missing potable city details dated 11/7/23	D-5	Scott Zender	Scott Zender	Yes
Utilities	Draft	City Details need updated city details dated 11/7/23	D-5	Scott Zender	Scott Zender	Yes

NEW BUSINESS

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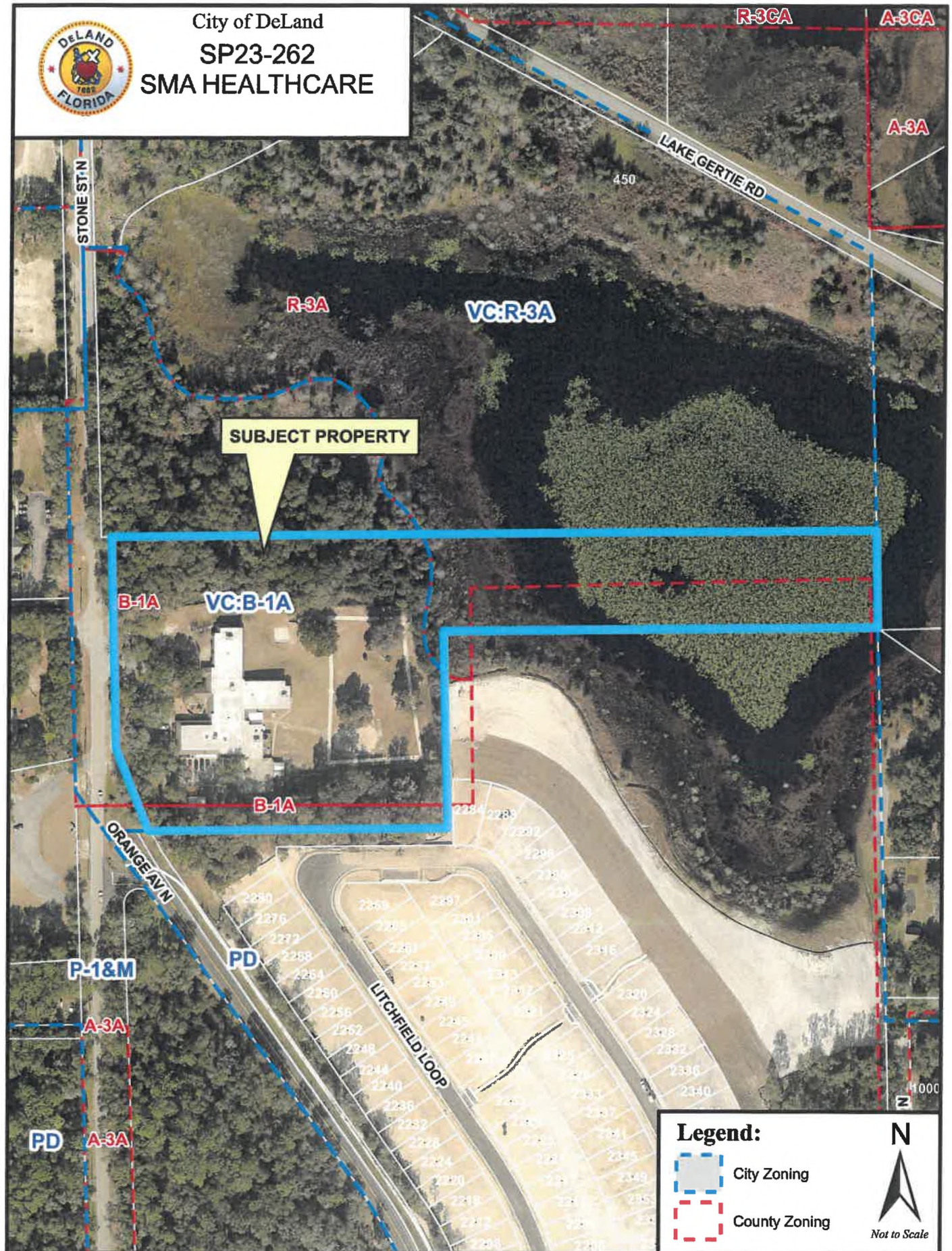


City of DeLand
SP23-262
SMA HEALTHCARE





City of DeLand
SP23-262
SMA HEALTHCARE



Issues for record SP23-262**Job Address: 1251 N STONE ST, DELAND FL 32720****Job Description: This project includes the construction of a 2-story medical office building with drive access, parking areas & associated utilities & storm water infrastructure**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering Comments						
Environmental Assessment:						
1. Section 5.1, Wood Stork. In the middle of this paragraph the word Wood is misspelled "Woof."						
Stormwater Calculations:						
Engineering	Draft	1. Design Analysis Summary Table does not include the 100yr/24hr storm results which is identified as being performed in the paragraph immediately above the table. 2. As this is a closed basin, provide analysis of the 100yr/24hr storm event. 3. The ICPR Simulation SJ 25YR96HR lists the Rainfall Amount of 11.20 in. This rainfall amount is consistent with the 100-year 24-hour rainfall listed on page 54 of 78. No supporting documentation is provided for the rainfall amount for the 25yr/96hr storm event. Please provide the proper rainfall amount for this storm event. 4. The Tailwater condition should be the 25yr/24hr storm event.	23074 Storm Calcs.pdf	Steven Danskine	Steven Danskine	Yes
General Comments						
Engineering	Draft	1. Stone St is a Volusia County Right of Way. Provide a Volusia County Right of Way Use Permit prior to work within the Right of Way. 2. Provide SJRWMD ERP Permit upon receipt.	C1	Steven Danskine	Steven Danskine	Yes
Callout Clarification						
Engineering	Draft	1. The callout for yellow curb near the fire lane signs only has one arrow, yet the callout says "yellow between." Between what/where and what/where?	C7	Steven Danskine	Steven Danskine	Yes
Pavement Section						
Engineering	Draft	1. The Typical Parking Lot Section Detail does not match the recommendations for asphalt paving in the Geotech Report. Also, the Geotech Report has recommendations for heavy duty asphalt in locations subject to heavy vehicles. It would seem appropriate for the areas subject to garbage truck travel and turning motions to qualify for heavy duty asphalt.	C13	Steven Danskine	Steven Danskine	Yes
Stormwater Comments						
Engineering	Draft	1. Discharging untreated runoff from new impervious surfaces into an existing lake is not	C8	Steven Danskine	Steven Danskine	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		acceptable. Provide for runoff treatment prior to discharge. 2. Structure ST-1 must have energy dissipation and erosion control at the outfall. 3. It is not clear whether the proposed FFE of 57.7' is for the basement or the main floor. Please clarify. 4. Provide a skimmer or other means for the removal of floating debris or pollutants.				
Fire	Draft	Fire Flow Provide a Fire Flow Analysis utilizing the closest existing non private hydrants.	C9	Jamie Lunsford	Jamie Lunsford	Yes
Fire	Draft	Fire Hydrants Provide location of existing fire hydrants within 500 ft of structure.	C9	Jamie Lunsford	Jamie Lunsford	Yes
Forestry	Draft	Replacement Provided After the specs have been corrected, your plan provides 116.5" DBH replacement. We cannot determine if this will be sufficient until a correct spreadsheet showing species, DBH, removal/retained for the entire parcel is provided.	LA1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Wax Myrtle Wax Myrtle is not on our list of approved replacement trees and will not count as planted replacement, or towards minimum coverage requirements.	LA1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Plant Specs In order to meet Grade 1 standards for the trees listed in your Plant Schedule at the DBH's you've specified, the specs should be as follows: AR - 2" DBH, 8' HT, 4' SPD, 45 GAL IAE - 2.5" DBH, 9' HT, 2.5' SPD, 65 GAL JV - 4" DBH, 14' HT, 4.5' SPD, 100 GAL MGL - 2" DBH, 8' HT, 2' SPD, 45 GAL QV2 - 4" DBH, 14' HT, 8' SPD, 100 GAL QV - 5" DBH, 17' HT, 10 SPD, 200 GAL TD - 4" DBH, 14' HT, 4.5' SPD, 100 GAL	LA1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Minimum Coverage Requirements Minimum coverage requirements are calculated based on the entire parcel area, not the project area. The area that is covered by the lake can be subtracted, but we need to know what the remaining acreage is in order to calculate what the minimum coverage requirements are. Sheets C1, TP1, and LA1 all have a different acreage shown for the "site area." All sheets should match.		Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Rounding						
Forestry	Draft	Replacement calculations should be rounded to the nearest inch. You have rounded down Laurel oak replacement but did not round up Sugarberry. This would change the current replacement to 428" DBH.	TP1	Kit Dennis	Kit Dennis	Yes
Tree Protection Area						
Forestry	Draft	At least 15% of the entire site will need to be designated as "Tree Protection Area." Identify, and show the measurements of the area on the plan.	TP1	Kit Dennis	Kit Dennis	Yes
Spreadsheet						
Forestry	Draft	Please provide a spreadsheet that identifies all trees with a DBH of 6" or greater with a number, and number the trees on the plan to match. Information included in the spreadsheet should include DBH, Species, and if it is being proposed for removal or remaining.	TP1	Kit Dennis	Kit Dennis	Yes
Possible Historic Tree						
Forestry	Draft	There is 30"LO shown as a removal on the plan. This tree is one of at least three trees shown as removals but are not accounted for in the Replacement Calculations. If this tree is a Live Oak, it would be historic and would need to be presented to the Tree Advisory Committee and then be approved for removal by the City Commission.	TP1	Kit Dennis	Kit Dennis	Yes
Existing Bus Stop						
Planning	Draft	Please confirm whether the existing bus stop is being kept.	C5	Samuel Nelson	Samuel Nelson	Yes
Trip Generation Memo						
Planning	Draft	Please provide a trip generation memo for the proposed addition.		Samuel Nelson	Samuel Nelson	Yes
Volusia County ROW Permit						
Planning	Draft	A Volusia County ROW use permit will be required.		Samuel Nelson	Samuel Nelson	Yes
Existing Site Lighting						
Planning	Draft	If new lighting is proposed at the existing site please include it on the photometric plan.	E1	Samuel Nelson	Samuel Nelson	Yes
Exterior Wall Mounted Lighting						
Planning	Draft	Please show any exterior wall mounted lighting on the photometric plan and update the photometric plan to include this wall mounted lighting.	E1	Samuel Nelson	Samuel Nelson	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Rooftop Mechanical Equipment						
Planning	Draft	Is rooftop mechanical equipment proposed? If so, all rooftop mechanical equipment shall be screened. Show all rooftop mechanical equipment as dashed lines behind a screened wall.	A2.0	Samuel Nelson	Samuel Nelson	Yes
Landscape Plan						
Planning	Draft	Please provide information for the entire site in the landscape plan.		Samuel Nelson	Samuel Nelson	Yes
Bicycle Parking						
Planning	Draft	Per the Bicycle Parking Standards (33-91.03. (I)) 3 bicycle parking spaces will be required with the addition of 67 automobile spaces. Please show the location the spaces will be provided.	C6	Samuel Nelson	Samuel Nelson	Yes
Existing Parking						
Planning	Draft	Please provide the number of parking spaces that will be provided for the entire site.	C1	Samuel Nelson	Samuel Nelson	Yes
W. Howry Ave						
Planning	Draft	This project is not located adjacent to W. Howry Avenue. Please correct this callout.	LA1	Samuel Nelson	Samuel Nelson	Yes
Landscape Buffer Requirements						
Planning	Draft	Zoning specific dimensional requirements will follow standards of the Volusia County B-1A zoning district. Other requirements must meet the City of DeLand's standards.	LA1	Samuel Nelson	Samuel Nelson	Yes
Note						
Planning	Draft	Please include a note stating that the appearance of the new building will match the existing building and similar colors and materials will be used.	A2.0	Samuel Nelson	Samuel Nelson	Yes
Tree Protection Area						
Planning	Draft	Please include a data table showing the required and provided tree protection area for the entire site.	C1	Samuel Nelson	Samuel Nelson	Yes
New Signage						
Planning	Draft	Please show the location of any new signage, including directional, if proposed. Note: All signage shown is for illustrative purposes only; a separate sign permit is required.		Samuel Nelson	Samuel Nelson	Yes

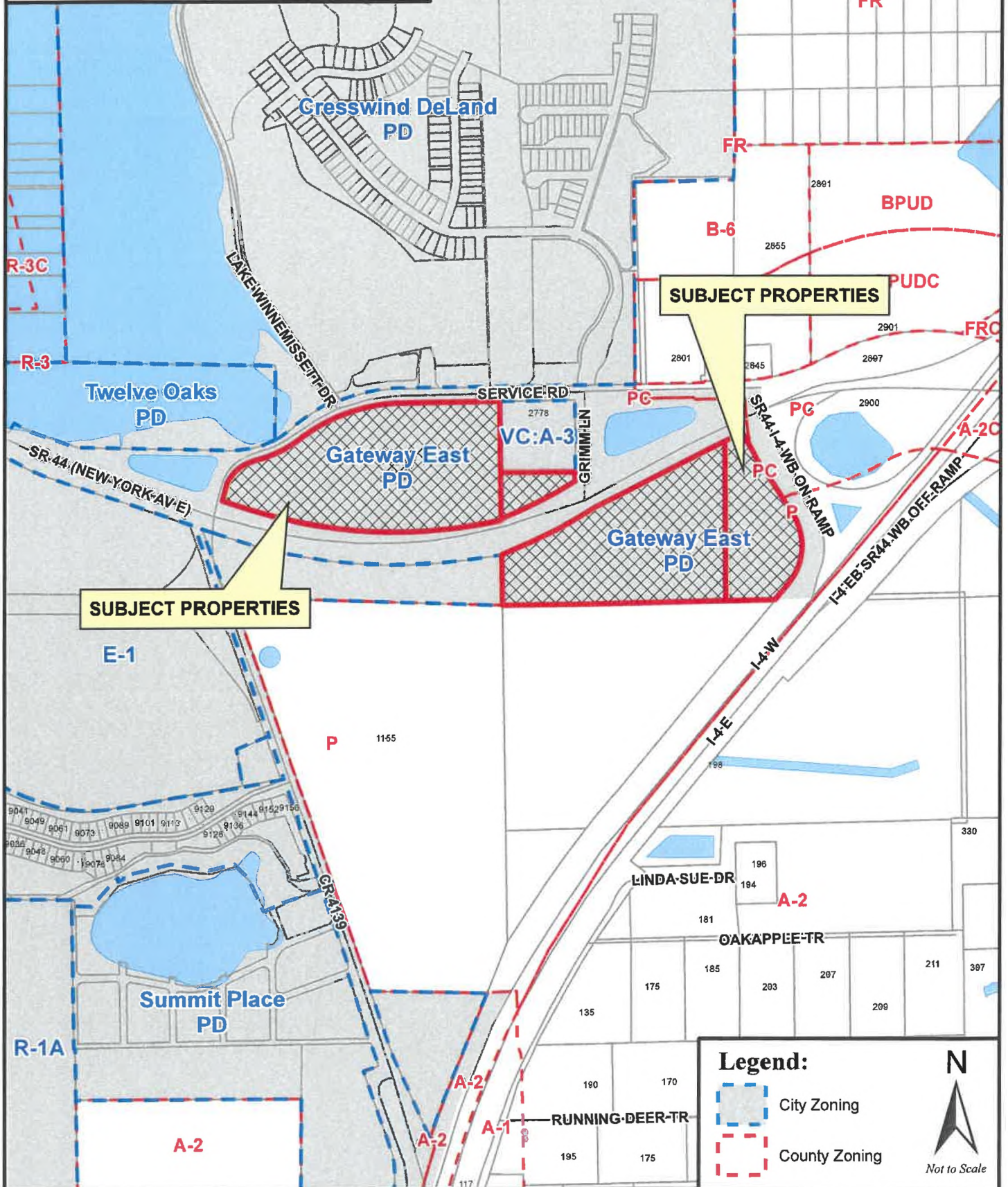
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Proposed Building Area Discrepancy The proposed building areas shown on the plan and table are different by 30 square feet. Please confirm the correct square footage.	C6	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Parking Calculation Please show how the net floor area was calculated for parking and confirm that both floors were used in the calculation.	C6	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Maximum Building Height The maximum building height in the Volusia County B-1 zoning designation is 45 feet. Please correct this on the cover sheet. (Volusia County Code of Ordinances Sec. 72-241) Additionally, please provide the proposed height to the from the basement level to the top of the building.	C1	Samuel Nelson	Samuel Nelson	Yes
Utilities	Draft	Sanitary #32 Wire gauge size should be #10	C2	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	Sanitary #22 City only allows Gate Valves on city owned force mains to allow for swabbing.	C2	Jim Ailes	Jim Ailes	Yes
Utilities	Draft	RPZ Need a RPZ after meter on water line and located close to the tie in point.	C9	Scott Zender	Jim Ailes	Yes
Utilities	Draft	Updated City Details Need most current details dated 11/7/23	C12	Scott Zender	Scott Zender	Yes
Utilities	Draft	Updated City Details Need most current details dated 11/7/23	C11	Scott Zender	Scott Zender	Yes
Utilities	Draft	Updated City Details Need most current details dated 11/7/23	C10	Scott Zender	Scott Zender	Yes

NEW BUSINESS

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City of DeLand
Z23-259
**GATEWAY EAST
PD AMENDMENT**





City of DeLand
Z23-259
GATEWAY EAST
PD AMENDMENT



Issues for record Z23-259

Job Address: 0 E New York AV, DeLand FL 32724

Job Description: Rezoning Submittal / Amended and Restated Gateway East Planned Development

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Revisions required				
		The following comments and page number correlate to the Updated Gateway PD - 12-27-2023.doc 1. Page 9 (lines 28, 32, &35)- The following uses are conditional uses within the C2 district. They should not be constructed along I-4 frontage, but rather allowed North of State Road 44. Create a bubble plan/use are showing where these uses would be allowed versus overall allowance within the PD. a. Multiple family dwelling compliant with R16 standards b. Moving, packing and storage companies c. Warehousing and commercial storage 2. Page 13 (lines 7-11) – Are townhomes proposed? If so, provide a townhome condition/option to allow for zero lot lines, allowing the structures to be attached and be sold as fee simple lots. Example from R16 multifamily setback "In instances where the duplex is being subdivided for individual ownership, the interior side setback shall be reduced to 0 feet." 3. Page 14 (lines 6-7) – Revise the rear setbacks for commercial to more closely match C-2 General Commercial District setback verbiage...Rear setback, abutting residential uses 4. Page 14 (line 9) – Revise the side setbacks for commercial to more closely match C-2 General Commercial District setback verbiage...Side setback, abutting residential uses 5. Page 14 (lines 14-15) – Recent Planned Developments (PD) have reduced the guest parking requirement from 0.5 spaces per unit to 0.25 spaces per unit. Please revise if this is a desired reduction for this PD. 6. Page 15 (line 20-21) – Add verbiage that all stormwater retention areas will be designed to meet all required governmental regulations in addition to the Land Development Regulations. 7. Page 16 - Since the two PDs (Gateway East and Summit Place) are being severed by the proposed amendments (if approved). The Traffic Impact Analysis (TIA) for each development must include all proposed uses as well as surrounding uses and developments within the Lake Winnemissett Gateway Corridor. 8. Staff encourages interconnectivity trails among internal and external uses as well as trails and connections to the Beresford Ave extension. Revise the concept plan to show these trails and connections.				
Planning	Draft			Emily Ragusa	Emily Ragusa	Yes

NEW BUSINESS

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City of DeLand
SP23-269
FLORIDA AVE
APARTMENTS

205

201

127

135

131

145

HOWRY AV W

C-2A&H

SUBJECT PROPERTY

C-1

228

220

216

208

200

201

138

209

218

225

CAROLINA AV W

236

P-1

222

C-2A

224

227

231

233

243

257

207

201

145

143

137

C-2

223

VOORHIS AV W

Legend:



City Zoning



County Zoning

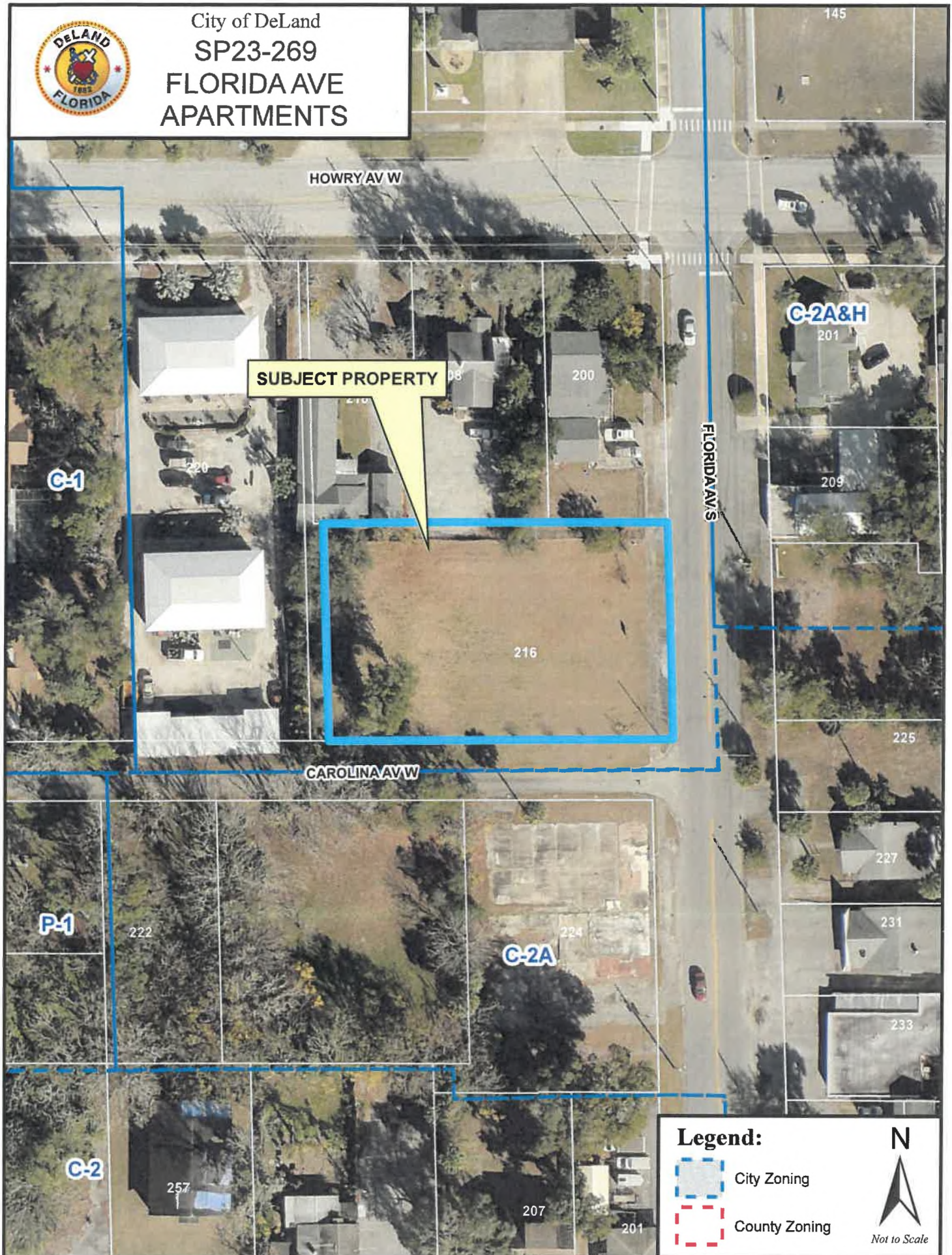
N



Not to Scale



City of DeLand
SP23-269
FLORIDA AVE
APARTMENTS



Issues for record SP23-269**Job Address: 216 S FLORIDA AV, DELAND FL 32720****Job Description: Propose the development of a 7-unit multifamily development with site improvements consisting of paving, grading, drainage, utilities, and landscaping. The total project site consists of 0.532 acres and proposes 0.317 acres of impervious surface.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Environmental Report 1. The Figures and Appendices appear to be missing.	Stormwater Report - Florida Ave Apartments.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Stormwater Report 1. Soils: Please provide a Geotech report providing percolation rates, Seasonal High Groundwater Table, etc. to support the modeling provided. 2. Positive Outfall: A site visit confirms that runoff from the northwest corner of the site in fact travels northward to Howry Ave, not southward to Carolina Ave. 3. Rainfall Depths: According to the NOAA Atlas Precipitation Frequency Estimates, the following rainfall depths are appropriate: Mean Annual/24hr = 4.40", 25yr/24hr = 8.09", and 100yr/24hr = 11.2". https://hdsc.nws.noaa.gov/pfds/pfds_map_cont.html	Stormwater Report - Florida Ave Apartments.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Cross Section B Inlet Bypass 1. Cross Section B appears to allow a significant proportion of the runoff to bypass inlet structure I-01. Please make it clear to the Contractor to direct runoff to the inlet.	09	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	ADA Ramp Apron There should be an ADA transition at the sidewalk ramp in front of Building 1.	08	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Provide Skimmer 1. Provide a skimmer to the Control Structure (CS-01) to capture floating debris and pollutants.	07	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Parking Lot Geometry As discussed via telephone conversation, please adjust parking & sidewalk dimensions to better accommodate the desired 19' handicapped parking stall length.	06	Steven Danskine	Steven Danskine	Yes
Fire	Draft	Fire Hydrants	06	Jamie Lunsford	Jamie Lunsford	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Provide the location of all fire hydrants within 500 ft of buildings.				
Tree Preservation Note 3						
Forestry	Draft	Replace first line of Note 3 with "OAK TREES 25-INCHES AND ABOVE (HISTORIC) PRUNING SHALL BE PERFORMED BY AN"" and remove "OF DIVISION 4.0" from the last line.	04	Mariellen Calabro	Mariellen Calabro	Yes
Plant Specification Note 2						
Forestry	Draft	Replace "City Staff" with "City Forester" at the end of Note #2.	L2	Kit Dennis	Kit Dennis	Yes
Landscape Notes - Note 1						
Forestry	Draft	Remove "or their equal as determined by Landscape Architect" from note #1.	L2	Kit Dennis	Kit Dennis	Yes
Tentative Tree Mitigation						
Forestry	Draft	Based on your current tree removal plan and proposed planting, you will be 23" deficient in mitigation requirements. The deficit can be satisfied by either planting more inches, or making a contribution to the Tree Replacement Reserve Account. The payment rate is \$75 per inch. 23" @ \$75/inch equates to a payment of \$1,725. *These calculations would change if the Crape myrtles are removed.	L1	Kit Dennis	Kit Dennis	Yes
Plant Schedule						
Forestry	Draft	Add the crown diameter and root ball size to the proposed tree specifications. AR & QV should have a crown diameter or "spread" of 4' and a root ball size of 32" or 45 gallon. UDP & IAE should have a crown diameter or "spread" of 2' and a root ball size of 32" or 45 gallon.	L1	Kit Dennis	Kit Dennis	Yes
Replacement Inches Required						
Forestry	Draft	Currently your plan shows 105" DBH of protected tree removals. The mitigation would be 35" DBH. Please correct the tables. *This number will change if the Crape myrtles are being removed.	L1	Kit Dennis	Kit Dennis	Yes
Proposed Inches						
Forestry	Draft	Your plan provides 12" DBH replacement. Make to correction on the Trees Removed table.	L1	Kit Dennis	Kit Dennis	Yes
Total Trunk Diameter Removed						
Forestry	Draft	After adding the 39" Podocarpus, the subtotal should be 105". "Total inches removed" should also show 105". This number will change if the Crape myrtles are going to be removed.	L1	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	39" Removal Identify the 39" removal as Podocarpus. The trunk diameter column of the Tree Removal table should be 39 for this tree.	L1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Missing Trees There are ten Crape myrtles on the site that are not shown on the plan. Identify them on the plan and add them to either the "Trees Removed" or "Trees Remaining" tables.	02	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Misidentified Tree The tree identified as a 39" Pine is a Podocarpus tree. Correct the label and identify it in the "Trees Removed" table. The mitigation for this tree will be 13" DBH replacement.	02	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Tree Preservation Note 1 Remove the word "preservation" between the words tree and barricade in the first line. Replace the word "protective" with the word "tree" (first word, second sentence), to be consistent with code language.	04	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Misidentified Tree The tree identified as a 39" Pine is a Podocarpus tree. Correct the label and identify it in the "Trees Removed" table. The mitigation for this tree will be 13" DBH replacement.	04	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Missing Trees There are ten Crape myrtles on the site that are not shown on the plan. Identify them on the plan and add them to either the "Trees Removed" or "Trees Remaining" tables.	04	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Irrigation Plan An irrigation plan needs to be provided.	01	Kit Dennis	Kit Dennis	Yes
Planning	Draft	Historic Preservation Board (HPB) Due to this project being located within the 'Historic Design District', a review by the Historic Preservation Board will be required. The Historic Preservation Board and staff will be reviewing the project against Land Development Regulations Section 33-94.04. Please review and resubmit detailed architectural plans/drawings outlining the proposed layout, and colors to be used for the exterior of the building (the proposed colors will need to match the City of DeLand approved color palate and we will need the color swatch number, example: SW1665). Any additional questions regarding the Historic Preservation Review, please contact Emily Kunkel at KunkelE@deland.org or 386-626-7018		Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Historic Preservation Board (HPB) The subject property is in the Downtown Historic Design District and will require approval from the Historic Preservation Board (HPB).		Kendall Story	Kendall Story	Yes
Planning	Draft	.5 Foot Candles Maximum - Community Design Standards Maximum of .5 foot candles permitted at the property line. Please revise (see property boundary at the south entrance). 33-94.03(g)	18	Kendall Story	Kendall Story	Yes
Planning	Draft	Perimeter Fencing - Community Design Standards Will there be fencing or other barriers around the development perimeter? If yes, please provide the height and materials and indicate the location of all fencing on the site plan. See Community Design Standards section 33-94.03(h) for design criteria.	06	Kendall Story	Kendall Story	Yes
Planning	Draft	Night Sky - Community Design Standards All lighting shall be downward and of the full cut off shield variety in which the light source is recessed and shielded in a manner which prohibits upward light overspill into the night sky. Upward illumination is prohibited. Please confirm all lights are of the full cut off shield variety.	18	Kendall Story	Kendall Story	Yes
Planning	Draft	Building lighting - Community Design Standards The following must be submitted, if applicable: exterior lighting scheme, lighting photometric design, General architectural lighting of building exteriors, including canopies, shall be designed so as to conceal illumination sources from direct view, by use of recessed lamps, shielding, or other means. 33-94.03(g)6 Please include all building lighting on this plan.	18	Kendall Story	Kendall Story	Yes
Planning	Draft	General Design Criteria - Community Design Standards Building design, scale and details shall be such that architectural interest is created from BOTH the pedestrian and the vehicular (street) point of view. 33-94.03. Please provide the rear and side elevations for staff review.		Kendall Story	Kendall Story	Yes
Planning	Draft	Parcel ID PID is 701610000014. Please update on cover sheet.	01	Kendall Story	Kendall Story	Yes
Planning	Draft	Building front - Community Design Standards. For new commercial and multi-family development within the core area of the city, along		Kendall Story	Kendall Story	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Florida Avenue... all buildings shall be constructed fronting the street right-of-way. This is not being met. See 33-94.03(a)1 in the Community Design Standards. Can the building fronts be flipped?				
Planning	Draft	Place holder Place holder for any additional city architect comments.		Kendall Story	Kendall Story	Yes
Planning	Draft	Irrigation Plan Irrigation plan needs to be provided.		Kendall Story	Kendall Story	Yes
Planning	Draft	Group Mailbox - Community Design Standards How will the mail be handled? Will there be a group residential mailbox? See section 33-94.03(a)7.	06	Kendall Story	Kendall Story	Yes
Planning	Draft	Monument signage Please show the location of any ground signs. See 33-36.04. Core Gateway District for ground sign standards. Ground signs must be set back a minimum of 5' from the property lines and must maintain a clear visibility triangle.	06	Kendall Story	Kendall Story	Yes
Planning	Draft	Screening of mechanical equipment - Community Design Standards Building mechanical equipment, service, delivery, and work areas, shall be visually screened from pedestrian areas and from public view. 33-94.03(a)4 - Community Design Standards. Please show all rooftop and ground level mechanical equipment as dashed lines behind a screen wall.	06	Kendall Story	Kendall Story	Yes
Planning	Draft	Elevations for rear of buildings Are the elevations the same on both the front and rear of each building? If not, please provide those elevations as well.		Kendall Story	Kendall Story	Yes
Planning	Draft	Covered patios? Will the patios be covered?	06	Kendall Story	Kendall Story	Yes
Planning	Draft	Height/Stories Please provide the height & number of stories for the buildings in your site data table.	06	Kendall Story	Kendall Story	Yes

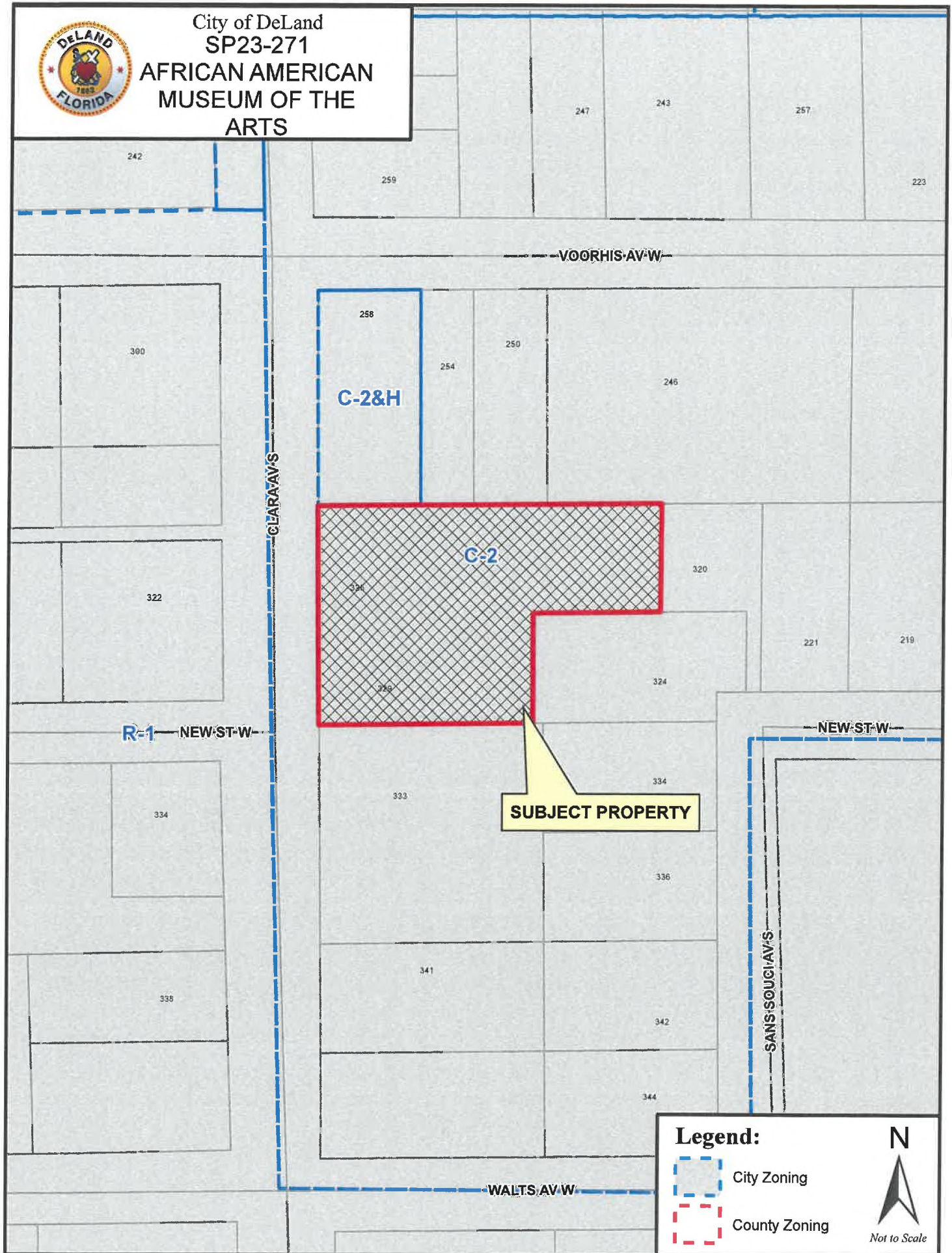
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Protection from Damage (bicycle parking)				
Planning	Draft	Bicycle parking and automobile parking shall be located so as to protect bicycles from damage. How will they be protected? 33-91.03	06	Kendall Story	Kendall Story	Yes
		Access to Bike Parking				
Planning	Draft	All bicycle parking areas shall afford a four-foot-wide access aisle to ensure safe access to spaces. 33-91.03(l)	06	Kendall Story	Kendall Story	Yes
		In legal, change lots "AS" TO "A5"				
Planning	Draft	Scrivner's error: AS changed to A5	01	Kendall Story	Kendall Story	Yes
		Update Details				
Utilities	Draft	Update to 11/7/2023	14	Jim Ailes	Jim Ailes	Yes
		Update Details				
Utilities	Draft	Utilities standard details need updated 11/7/2023	13	Jim Ailes	Jim Ailes	Yes
		USA				
Utilities	Draft	A Utility service agreement will also be required for this project.	10	Jim Ailes	Jim Ailes	Yes
		Downtown Fair Share Area				
Utilities	Draft	This project is in the project downtown fair share area and will need to sign an agreement and pay additional water connection and sewer connection fees.	10	Jim Ailes	Jim Ailes	Yes
		Water Line Size				
Utilities	Draft	Inadequate to provide proper pressure, service, and fire hydrant protection. Larger line needs provided. City has a 6" water main on Howry and Clara that could be extended over. A 4" line is on Voorhis but would not provide protection.	10	Jim Ailes	Jim Ailes	Yes
		Privat well #12				
Utilities	Draft	A question with the contaminated groundwater at the parcel to the south will a private well be allowed and not raise safety concerns for residents.	03	Jim Ailes	Jim Ailes	Yes

NEW BUSINESS

6



City of DeLand
SP23-271
AFRICAN AMERICAN
MUSEUM OF THE
ARTS



Legend:

-  City Zoning
-  County Zoning





City of DeLand
SP23-271
AFRICAN AMERICAN
MUSEUM OF THE
ARTS



Issues for record SP23-271**Job Address: 325 S CLARA AV, DELAND FL 32720**

Job Description: The African American Museum of the Arts (AAMA) is proposing to expand the existing building located at 325 S. Clara Avenue in Deland. The site is ± 0.66 acres (Parcel ID: 701620020130). The following design is in compliance with the St. Johns River Water Management District (SJRWMD) and the City of Deland requirements. The project proposes a building expansion of ± 3,490 square feet, various improvements to the ± 1085 square foot existing building, a formal garden space, and accommodation for a future sculpture garden.

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Grading & Drainage Comments						
Engineering	Draft	1. City of DeLand Land Development Code required the FFE for new buildings to be at least 1' above the adjacent crown of road, except for conditions where this becomes impracticable. Given the ADA accessibility constraints imposed by the existing parking area, this requirement is waved in this instance. 2. Coupled with the comment pertaining to pre vs post discharge rates, it appears that there is an opportunity to increase runoff storage if YD-04 is elevated above the bottom, or potentially widening the upstream swale 3. The owner should be aware that the bubble up yard drains (YD-01 and YD-03) along with the 8" piping will be prone to clogging with grass clippings, leaves, etc. and will require regular maintenance to function properly. 4. A skimmer or other device at the overflow weir should be utilized to keep oils/grease and other floating pollutants from being discharged off site.	C1.2	Steven Danskine	Steven Danskine	Yes
Site Area Question						
Engineering	Draft	The project area listed on the SWPPP Plan, Sheet C1.0 is 0.80 ac while the area shown on the Site Dimension Plan, Sheet C2.0 indicates 0.66 ac. Please clarify.	C1.0	Steven Danskine	Steven Danskine	Yes
Stormwater Report Comments						
Engineering	Draft	1. The Pre vs. Post Peak Discharge table indicates that the site will discharge at a higher rate in the post condition than in the pre condition for the 100yr/24hr storm event, and the ICPR4 results support this. Please ensure that all post events are below pre events. 2. The Isohyetal Map (Figure 8) for the 100yr/24hr Max Rainfall indicates 10.8", however DeLand falls between the 11.0 and 11.5 rainfall curves. 3. Rainfall Depths: To avoid interpolation errors associated with isohyetal maps, I prefer the NOAA Atlas Precipitation Frequency Estimates. The following rainfall depths are indicated for this site: Mean Annual/24hr = 4.40", 25yr/24hr = 8.09", and 100yr/24hr = 11.2". https://hdsc.nws.noaa.gov/pfds/pfds_map_cont.html	Stormwater Report - Signed.pdf	Steven Danskine	Steven Danskine	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		4. I was unable to locate the vertical and horizontal Coefficient of Permeability (Kv and Kh) utilized to support the pond recovery analysis.				
Forestry	Draft	Tree Mitigation The mitigation required would be 111" DBH. Your plan provides 46" replacement without the Fringe trees, or 50" replacement if the size of the Fringe trees are increased to 3" caliper. If the site meets minimum coverage requirements (requirements cannot be calculated until the site size is confirmed) the remaining required replacement deficit can be mitigated with a payment into the Tree Replacement Reserve Account. The payment amount would be \$75 per inch.	L-1.0	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Tree Protection Detail Replace the "Tree Protection Detail" with the current version of the City's "Tree Barricade Detail."	C1.1	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Landscape Note 17 1. Provide a Palm Staking Detail. 2. The Tree Planting Details show the use of Tree Frog systems, not 8' poles.	L-5.0	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Plant List Specifications In order to receive credit for the Fringe trees, the caliper must be increased to a minimum of 3", height should be 8', Spread should be 3.5', and the root ball should be 32" or 45 gallon. Root ball sizes or container sizes need to be added. MG, PE, and QV all should show 32" or 45 Gal.	L-1.0	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Total DBH After Development Your plan preserves 107" and provides 46" replacement for a total of 153". (157" if the Fringe tree size is increased to 3" calip or 2" DBH.)	L-1.0	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Protected Inches Remaining According to your Tree Data table, you will be preserving 107" DBH of protected trees.	L-1.0	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Tree Replacement Inches Once the specifications are edited in your plant list, the plan will provide 46" DBH replacement. If the Fringe tree size is increased to 3" calip (2" DBH) the plan would provide 50" DBH replacement.	L-1.0	Kit Dennis	Kit Dennis	Yes
Forestry	Draft	Protected Tree Removals	L-1.0	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Your plan indicates that you will be removing 334" DBH of protected trees. The mitigation for this will be 111" DBH replacement.				
		Historic Removals				
Forestry	Draft	There are no historic removals on the site. Historic removal and replacement inches should be 0.	L-1.0	Kit Dennis	Kit Dennis	Yes
		Site Square Footage				
Forestry	Draft	There are conflicting reports of the size of the site. This sheet says 28,584 sqft, Sheet C2.0 shows 28,592 sqft, Sheet C1.0 shows .8 A.C, and the Volusia County Property Appraisers website shows 29,175 sqft. What is the actual size of the entire parcel? Minimum coverage requirements cannot be calculated until the information is consistent in the plans.	L-1.0	Kit Dennis	Kit Dennis	Yes
		Tree Protection Note 1				
Forestry	Draft	The Tree Barricade shall be installed at dripline or 10' from the tree, whichever is greater.	T-1.0	Kit Dennis	Kit Dennis	Yes
		Tree To Be Protected				
Forestry	Draft	Relabel the "Tree To Be Protected" symbol in the legend and where it appears in the plan. It should be "Tree Barricade."	T-1.0	Kit Dennis	Kit Dennis	Yes
		Retention Areas in TPA				
Forestry	Draft	Retention areas are not permissible in designated Tree Protection Areas.	T-1.0	Kit Dennis	Kit Dennis	Yes
		Tree Protection Detail				
Forestry	Draft	Please replace this with the City's current Tree Barricade Detail. It can be found on the City's website.	T-1.0	Kit Dennis	Kit Dennis	Yes
		Palm Replacement				
Forestry	Draft	The Palms are highlighted in the Tree Data chart and it appears that you are not calculating mitigation for them. Palms are protected trees and mitigation is required.	T-1.0	Kit Dennis	Kit Dennis	Yes
		No Historic Trees				
Forestry	Draft	Chris Jackson determined that tree #1021 is a Laurel oak. There are no historic or specimen trees on site. Update the Tree Data chart.	T-1.0	Kit Dennis	Kit Dennis	Yes
		Additional Information				
Planning	Draft	Please provide a lighting photometric plan, per Section 33-94.02(c)(2), only if new	C0.1	Phillip Mangis	Phillip Mangis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		lighting is proposed. Please provide height of the proposed addition. If a dumpster is proposed, please show where the dumpster is going to be located. Some sheets show a Phase III, while other do not please be consistent and revise sheets. Show all proposed signage, signage is shown for illustrative purposes only, a separate sign permit is required. Include a statement/note on elevations that new addition will be constructed with similar materials and colors. Live oaks may not be the best plant option adjacent to the stormwater pond. Live oaks have an intrusive root system and may be problematic when adjacent to stormwater ponds. Please provide a detail for statement for sculpture garden.				
Core Getaway Buffer						
Planning	Draft	The West property boundary requires Class 'B' buffer, per Table 33-92.02(b). Please label and show on the site plan the dimensions of the ingress/egress. If the required landscape buffers cannot be met, please make a formal request for TRC to reduce the buffers based on redevelopment standards, per section 33-92.	L-1.0	Phillip Mangis	Phillip Mangis	Yes
Class 'A' Buffer						
Planning	Draft	The Class 'A' buffer on the North and South side is not required, per section 33-92.02(b)(3). Per section 33-92.02(b)(3), if a commercial use abuts another commercial use, a landscape buffer is not required.	L-1.0	Phillip Mangis	Phillip Mangis	Yes
Landscape Buffer						
Planning	Draft	Parking spaces and proposed stormwater area cannot encroach into the buffer area. Please show the actual number of existing trees on the site plan. It appears that the field measurements and actual measurement provided for landscape buffer do not match, please clarify. Please include actual TPA percentage.	L-1.0	Phillip Mangis	Phillip Mangis	Yes
Planning	Draft	Parking Please include the required and provided parking, broken down by use area within the building. Per section 33-91.03(j), the net parking calculation is 85% of the total gross building area or actual square footage of floor area in the building that is being used. Please include the square footage for each use on a dimensional floor plan.	C2.0	Phillip Mangis	Phillip Mangis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		Per the Bicycle Parking Standards (33-91.03. (i)) 1 bicycle parking space will be required. Please show the location of the bicycle space and label dimensions on the site plan. Also include a row on the parking table for bike parking. Is there a recorded access agreement for the adjacent north driveway?				
		Show Setback Distance				
Planning	Draft	Please update to show setback distances for the proposed building Phase I and existing vehicle use area; the minimum setback for the vehicle use area is 10ft. If the required setbacks cannot be met, please make a formal request for TRC to reduce setbacks based on redevelopment standards.	C2.0	Phillip Mangis	Phillip Mangis	Yes
		Tree Protection Area (TPA)				
Planning	Draft	Stormwater pond cannot be located in the Tree Protection Area (TPA). Please remove the stormwater pond from the TPA. If the required TPA cannot be met, please make a formal request for TRC to reduce the TPA based on redevelopment standards, per section 33-57.07(b)(8).	T-1.0	Phillip Mangis	Phillip Mangis	Yes
		Irrigation				
Utilities	Draft	How will site be irrigated. No potable irrigation only meter is allowed, must be connected past meter on property or well. Reclaim is not available.	C2.0	Jim Ailes	Jim Ailes	Yes
		Update				
Utilities	Draft	Standards need dated 11/7/2023	C4.3	Jim Ailes	Jim Ailes	Yes
		Utility Details				
Utilities	Draft	Need to upload latest version of utility standards dated 11/7/2023.	C4.2	Jim Ailes	Jim Ailes	Yes
		Sanitary #18				
Utilities	Draft	Please provide note on televising sewer and providing a thumb drive for inspection and review.	C0.3	Jim Ailes	Jim Ailes	Yes