

TRC AGENDA



**CITY OF DELAND
THURSDAY DECEMBER 21, 2023 AT 1:30 P.M.
CITY OF DELAND TRC MEETING ROOM
DELAND, FLORIDA**

A. CALL TO ORDER

B. ROLL CALL

C. OLD BUSINESS

1. Review of November 16, 2023 TRC Meeting Minutes

D. NEW BUSINESS

1. **Applicant Name:** Nicole Martin – Madden Moorhead & Stokes **Phil**
Project Name: SP23-237 – Class II Site Plan for Beresford Woods
Project Location: 0.27 acres located at 1095 Happy Forest Loop
Project Description: Model Home
2. **Applicant Name:** Bill Merckel – Merkel Development LLC **Phil**
Project Name: MS23-242 – Minor Subdivision for N McDonald Ave
Project Location: 0.60 acres located at the NE corner of N McDonald and Arizona Ave
Project Description: 2 single family lots
3. **Applicant Name:** Alex Magliacane, P.E. **Sam**
Project Name: SP23-248 – Class II Site Plan for Roseborough Travel
Project Location: 0.5 acres located at 610 E New York Ave
Project Description: New parking area and associated stormwater
4. **Applicant Name:** Mark Watts – Cobb Cole **Emily**
Project Name: Z23-250 – PD Rezoning for Summit Place Planned Development
Project Location: 66.46 acres located on Summit Ave west of I-4
Project Description: PD Amendment

E. OTHER BUSINESS

F. ADJOURNMENT

OLD BUSINESS

1



CITY OF DELAND
TECHNICAL REVIEW COMMITTEE MEETING
MEETING MINUTES
THURSDAY, NOVEMBER 16, 2023 - 1:30 P.M.
CITY HALL

OPENING OF MEETING:

Call to Order:

1:32 pm

Members Present:

Carol Kuhn, Chairperson
Belinda Williams Collins
Kendall Story
Debi Glick
Sam Nelson
Kristian Logan
Mariellen Calabro
Kit Dennis
Jamie Lunsford
Ray Bahrami
Steve Danskine
Jim Ailes
Danalee Petyk
Phil Mangus

Staff Present:

Bill Lawton, Deputy Building Official
Jerry Hindman, Chief Building Inspector

OLD BUSINESS:

1. Review of October 19, 2023 TRC Meeting Minutes

*Mariellen Calabro moved to approve the minutes as presented,
Ray Bahrami seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

2. **Applicant Name:** Ronald Young – Volusia County Schools Sam
Project Name: SP23-203 – Class IV Site Plan for Edith Starke Elementary
Project Location 11.24 acres located at 730 S Parsons Ave
Project Description: Elementary School

Applicants present:

Tim Moore – Volusia County School Board
John Dillard – Zev Cohen and Associates
Kate Donovan – Song and Associates

The applicant will address the comments as discussed and resubmit.

*Ray Bahrami moved to recommend the application be forwarded to Planning Board,
Sam Nelson seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

NEW BUSINESS:

1. **Applicant Name:** Sean Fortier – KCG Engineering Sam
Project Name: SP23-211 – Class II Site Plan for Trinity Gardens
Project Location: 104 acres located at the NE corner of E Beresford Ave and Blue Lake Rd
Project Description: Amenity Center

Applicants Present:

Brett LaRue – Barnett Design Group
David Romero - KCG

The applicant will address the comments as discussed and resubmit.

*Sam Nelson moved to recommend the application be conditionally approved,
Jim Ailes seconded the motion.
The TRC Committee voted unanimously in favor of motion.*

OTHER BUSINESS:

None.

ADJOURNMENT:

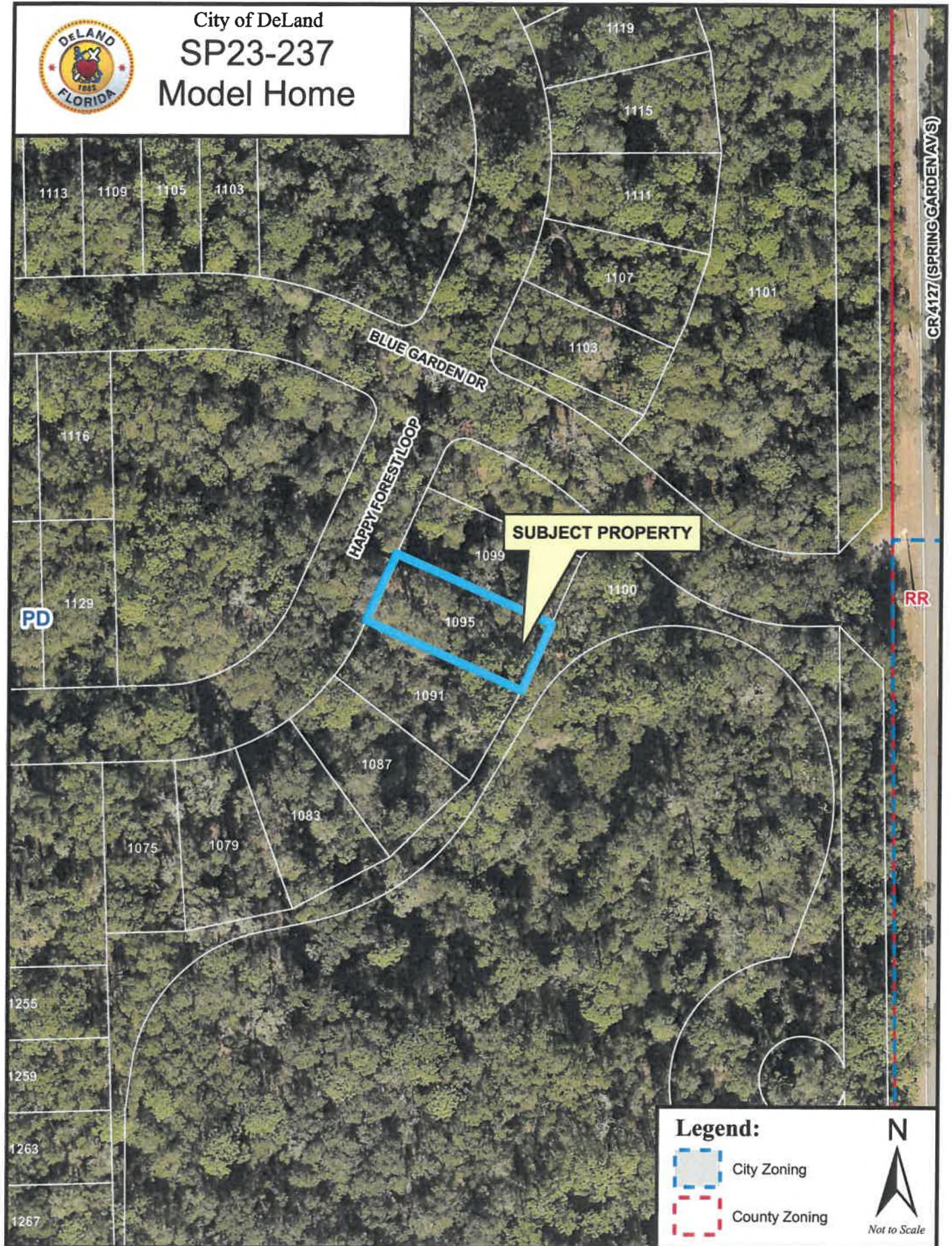
2:07 pm

NEW BUSINESS

1



City of DeLand
SP23-237
Model Home



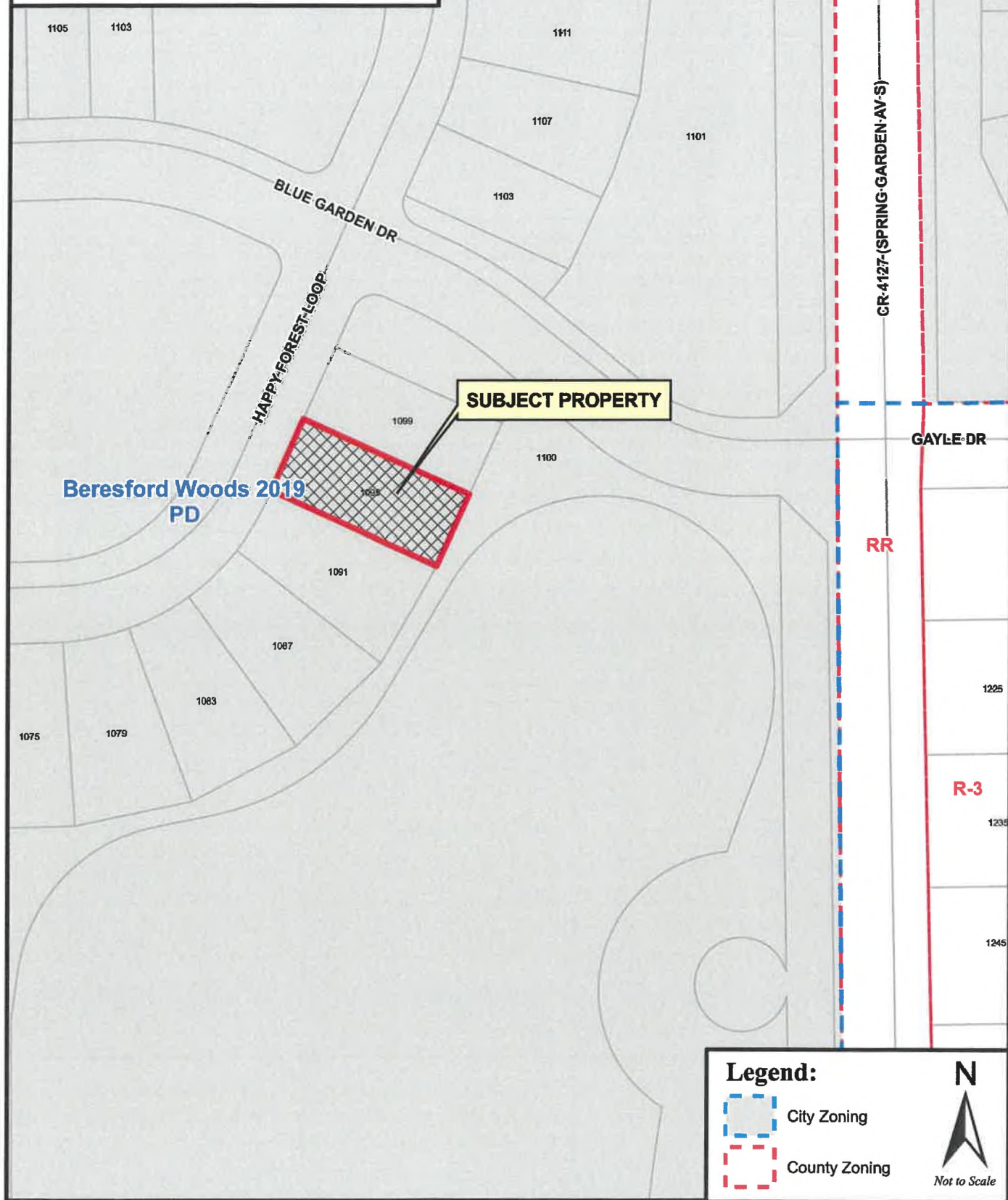
Legend:

-  City Zoning
-  County Zoning





City of DeLand
SP23-237
Model Home



Issues for record SP23-237**Job Address: 1095 HAPPY FOREST LOOP, DELAND FL 32720****Job Description: Model Home Site Plan**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Building	Draft	Lot 83 Sidewalk access Lot 83 ADA parking does not provide direct access to the concrete sidewalk. Cannot pass through driving area.		Bill Lawton	Bill Lawton	Yes
Engineering	Draft	Spot Elevation It appears that the last two digits of the rear common spot elevation may have been transposed. EI = 57.45 is what is shown on the approved site grading plans.	Survey.pdf	Steven Danskine	Steven Danskine	Yes
Engineering	Draft	Cross Section 917 Please provide a cross section for a concrete parking lot.	MODEL SITE PLAN	Steven Danskine	Steven Danskine	Yes
Forestry	Draft	Tree Barricade Detail Update with the latest version. It can be found on the City's website.	LS-1	Kit Dennis	Kit Dennis	Yes

NEW BUSINESS

2

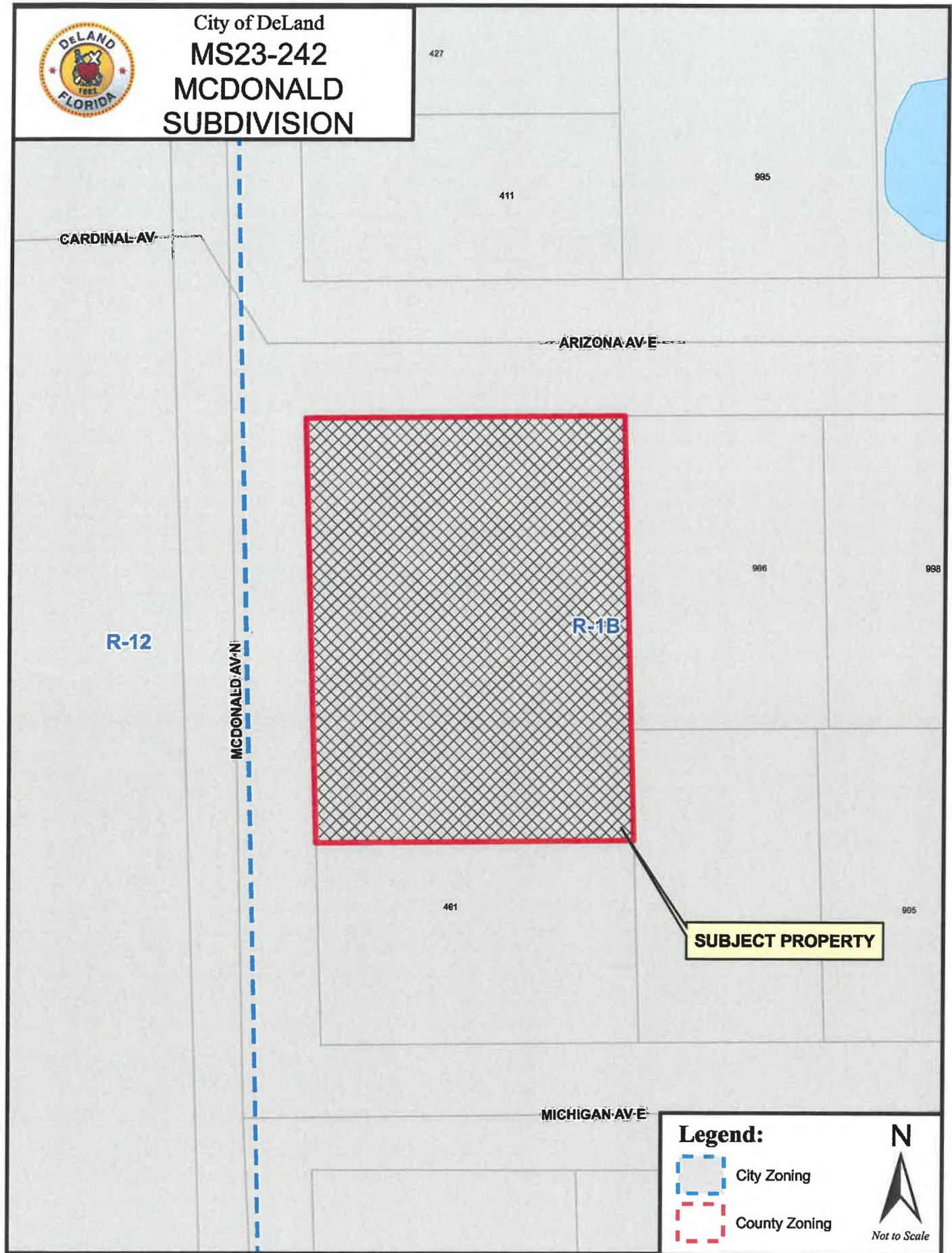


City of DeLand
MS23-242
MCDONALD
SUBDIVISION





City of DeLand
MS23-242
MCDONALD
SUBDIVISION



Issues for record MS23-242**Job Address: 0 N MCDONALD AV, deland fl 32****Job Description: proposal to develop 2 single family residential lots. Currently there is 2.5 lots**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Forestry	Draft	Historic Tree There is one historic Live Oak on proposed lot 1. It is located on the west side of the lot, just north of the southern lot line. This will need to be taken into consideration when planning future development on the lots.	mcdonald and arizona lot 1.pdf	Kit Dennis	Kit Dennis	No
Planning	Draft	Parcel Sq Ft Size Will need to add the square footage for the newly created parcels on the site plans.		Phillip Mangis	Phillip Mangis	Yes
Utilities	Draft	Utility Connections Does both lots have access to water, sewer, and reclaim?	mcdonald and arizona parent parcel survey.pdf	Jim Ailes	Jim Ailes	Yes

NEW BUSINESS

3



City of DeLand
SP23-248
ROSEBOROUGH
TRAVEL AGENCY

R-1

555

KENTUCKY AV N

601

618

619

625

629

C-1

SR 44 (NEW YORK AV E)

SUBJECT PROPERTY

630

FRANKFORT AV S

115

127

R-1

Legend:



City Zoning

County Zoning



Not to Scale



City of DeLand
SP23-248
ROSEBOROUGH
TRAVEL AGENCY

R-1

KENTUCKY AV. N

SR 44 (NEW YORK AV. E)

C-1

SUBJECT PROPERTY



R-1

FRANKFORT AV. S

Legend:



City Zoning

County Zoning



Not to Scale

Issues for record SP23-248**Job Address: 610 E NEW YORK AV, DELAND FL 32724****Job Description: New parking area and associated stormwater system for Roseborough Travel.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Draft	Retention Volume Standards for development up to one acre requires the retention of at least 1" over the entire project area, not just 2.5" over the new impervious area. Please recalculate for this volume.	FULL_Roseborough Storm Report_SS.pdf	Steven Danskin	Steven Danskin	Yes
Engineering	Draft	Drainage Comments 1. Given the relatively steep slope of the driveway, a portion of stormwater runoff may bypass the stormwater retention area on the west side. Curbing or grading may be necessary to avoid bypass. 2. Due to the high runoff velocity expected, energy dissipation and/or erosion control should be provided where the water enters the pond from the parking area. 3. Provide details as to how the retention pond will overflow and where it will discharge to in order to ensure no adverse downstream impacts.	5	Steven Danskin	Steven Danskin	Yes
Engineering	Draft	Construction Entrance Detail 1. Provide a detail for the construction entrance.	3	Steven Danskin	Steven Danskin	Yes
Engineering	Draft	Demolition Comments 1. The existing fence is not called out for demolition however it conflicts with and is in very close proximity to earthwork and paving operations. 2. Please indicate the approximate area of the 2,290 sf of sodded over asphalt pavement identified in the note. 3. Suggest removing the unnecessary curb cut, driveway apron and short sidewalk section, and replacing with FDOT Type F Curb and sod.	2	Steven Danskin	Steven Danskin	Yes
Engineering	Draft	General Comments 1. Please provide a letter of permit determination from St Johns River Water Management District. 2. New York Avenue is an FDOT roadway; therefore, provide a Right of Way Use Permit and Drainage Connection Permit from FDOT prior to construction.	1	Steven Danskin	Steven Danskin	Yes
Forestry	Draft	Tree Worksheets Your Tree Worksheets appear to have wrong information in them. If your site is	1	Kit Dennis	Kit Dennis	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		20,000sqft the minimum coverage should be 8 trees and 48" DBH. Please check the worksheets for accuracy.				
		Plant Schedule				
Forestry	Draft	Based on this plan, additional planting will be required in order to meet minimum coverage requirements. A plant list that includes the plants specs will need to be added. All planting material shall meet or exceed the standards of Florida #1 as given in the 2022 version of the Florida Grades and Standards for Nursery Plants.	6	Kit Dennis	Kit Dennis	Yes
		Tree Information Needed				
Forestry	Draft	Until we receive a tree survey that identifies the oaks by species, DBH and condition of each tree, and a retained/removal designation for each tree, we cannot determine replacement requirements or if minimum coverage requirements will be met.	1	Kit Dennis	Mariellen Calabro	Yes
		Tree Barricade Detail				
Forestry	Draft	Please add a Tree Barricade Detail to the plans. You can find the City's Tree Barricade Detail on the City website.	3	Kit Dennis	Kit Dennis	Yes
		Tree Protection				
Forestry	Draft	All existing trees to remain need to be shown having a tree barricade surrounding them. The barricade shall be placed at the dripline for all protected trees, and a distance of 1.5 times the dripline for historic trees.	3	Kit Dennis	Kit Dennis	Yes
		Tree Survey				
Forestry	Draft	All oak trees >6" DBH need to be identified by species. Please provide a spreadsheet that includes the following information for all of the trees on the site: Species, DBH, Condition, and whether the tree is being removed or preserved.	2	Kit Dennis	Kit Dennis	Yes
		Minimum Coverage Requirements				
Forestry	Draft	In order to meet minimum coverage requirements, your 20,000sqft site will need to have at least 8 trees and 48 DBH inches on it.	6	Kit Dennis	Kit Dennis	Yes
		Tree Protection Area				
Forestry	Draft	At least 15% of the site will need to be designated as tree protection area. The Tree Protection Area needs to be shown on the plan along with the dimensions of the area.	4	Kit Dennis	Kit Dennis	Yes
		ADA Access Aisle				
Planning	Draft	Please show the dimensions for the ADA aisle.	4	Samuel Nelson	Samuel Nelson	Yes

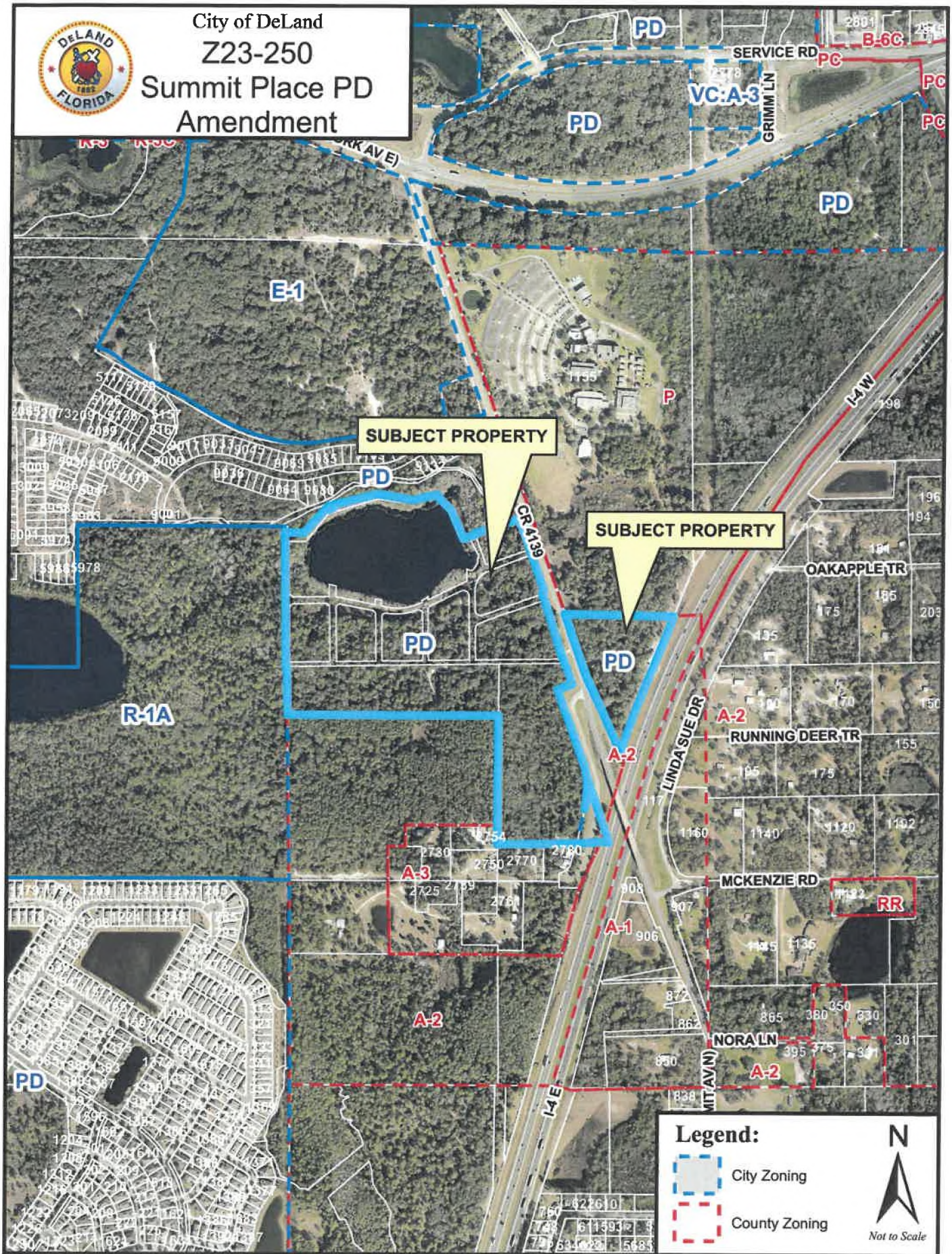
Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Buffer Standard	4	Samuel Nelson	Samuel Nelson	Yes
		Office uses abutting residential-single family use property are required to meet the minimum Buffer Standard "C" which is 20 feet from the property line. As this project is redevelopment, TRC may reduce this requirement. 33-92.02				
Planning	Draft	Site Lighting Is new lighting proposed for the parking lot? If so, please provide a photometric plan of the property.		Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Parking Requirement The parking requirement for office use is 1 space per 200 sq. ft. of net floor area. Please confirm the floor area being used for the business.	4	Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	FDOT Approval As E. New York Ave is a state road, this project will need to be approved by the Florida Department of Transportation.		Samuel Nelson	Samuel Nelson	Yes
Planning	Draft	Traffic Impact Analysis Please provide a Traffic Impact Analysis for the project.		Samuel Nelson	Samuel Nelson	Yes
Utilities	Draft	Utilities Show where water meter and backflow is located. Show where sewer connects and cleanouts to confirm no conflicts.	5	Jim Ailes	Jim Ailes	Yes

NEW BUSINESS

4

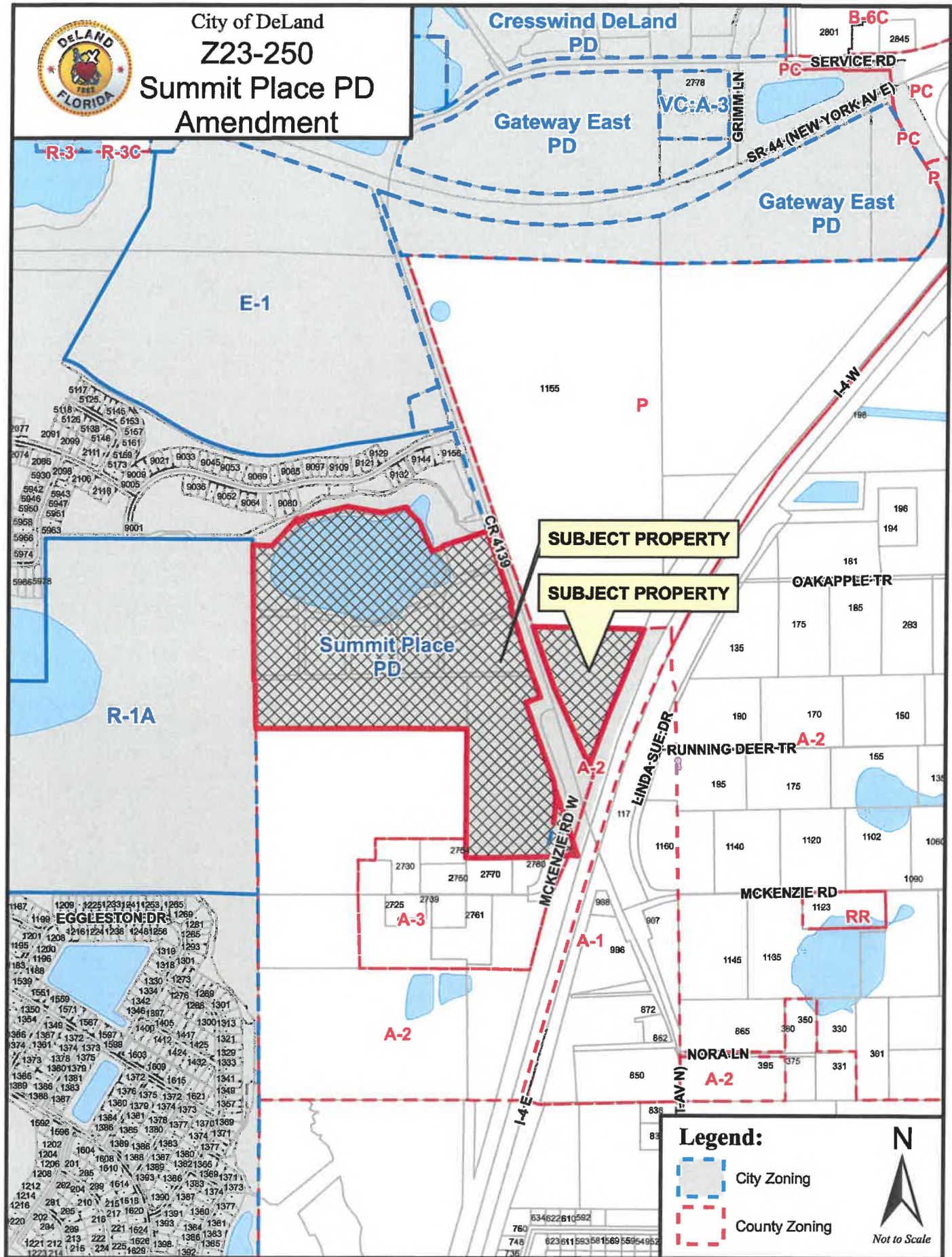


City of DeLand
Z23-250
Summit Place PD
Amendment





City of DeLand
Z23-250
Summit Place PD
Amendment



Issues for record Z23-250**Job Address: 0 E CR 4139, DELAND FL 32724****Job Description: To amend the Summit Place PD**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Planning	Draft	Revisions required An initial high-level review of the PD amendment yielded the following comments, for your reference, a copy of the City of DeLand updated Strategic Plan and Future Land Use Element (Lake Winnemissett Gateway Corridor) can be found within the attachments in the record. Staff found that significant and valuable portions of the previously-approved Summit Place PD have been removed, and staff does not support the removal of these portions. (Purpose & Intent, Transportation, Environmental, Development Standards, Tree Protection Areas, Design Requirements, Lighting, Landscaping). The name of the PD amendment will need to be changed to not be confused with previous versions (e.g. Summit Place PD first Amendment) Add new name and revision dates to the footer to clearly show the revisions progress Clarify the phasing plan. Will a phasing plan be implemented and if so, clearly outline how? The phasing plan section provided is unclear and contradictory. Create a purpose and intent section similarly to the previous approved PD. As stated in previous correspondences, the Lake Winnemissett Gateway Corridor does not support RV sales/service use. Similar uses were stated as prohibited uses in the approved PD. A full updated TIA will be required to reflect this use and ensuring the use adheres to the Lake Winnemissett Gateway Corridor and City's Strategic Plan. Previously-referenced prohibited uses are now listed as allowed uses in this amendment. Please review the Lake Winnemissett Gateway Corridor and City's strategic plan to ensure the proposed allowed uses coincide with these documents and the City's future plans. It appears the interstate buffer has been removed, a buffer along the interstate is required. Staff does not support reducing and/or removing the previously-approved PD for buffers, impervious surface area and building coverage. The Lake Winnemissett Gateway Corridor outlines the requirements for buffers and landscaping. Staff does not support removal of the overall unit count. The unit count is specifically outlined in the Lake Winnemissett Gateway Corridor, and will need to be addressed in		Emily Ragusa	Emily Ragusa	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
		the PD amendment. Additional architectural design standards and concept drawings which include the signage package must be included with the next submittal package. A resubmittal will need to include a redlined version of the PD amendment along with detailed/itemized project narrative outlining the proposed changes including the reason for the proposed changes. The City's Strategic Plan and Lake Winnemissett Gateway Corridor will need to be reviewed and incorporated into the new PD amendment. Please provide a revised PD amendment that adequately addresses these review comments in order for a full review of the next submittal.				
Utilities	Draft	Utilities Needs to extend and be required for reuse as well.	PD Amendment Agreement with exhibits-Summit Place PD.pdf	Jim Ailes	Jim Ailes	Yes